



CITY OF CAMPBELL
Community Development Department

May 4, 2018

**NOTICE OF CONDITIONAL USE AUTHORIZATION AND
ARCHITECTURAL MODIFICATION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for a Conditional Use Authorization and Architectural Modification pursuant to the Pruneyard Master Use Permit for the following project proposal:

File No.: PLN2018-71
Applicant: CraftWorks Restaurants and Breweries, Inc.
Project Address: 1875 S. Bascom Ave., Ste. 700 –
Rock Bottom Restaurant and Brewery
Property Owner: Ellis Partners
Zoning District: C-2-O (General Commercial / Overlay District)
General Plan: General Commercial
Project Description: Exterior improvements to the Rock Bottom Brewery façade and patio, including a new barrier, lighting, furniture, and mechanical screening; and expansion of the patio area and use of lounge-style furniture.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on May 4, 2018 and ends on May 14, 2018. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **May 14, 2018**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

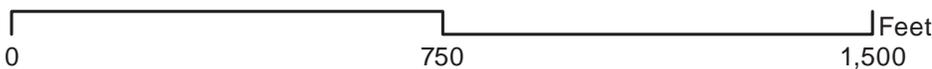
Project Location Map



Project Location: 1875 S. Bascom Blvd., Ste. 700

Application Type: Conditional Use Authorization and Architectural Modification

Planning File No.: PLN2018-71

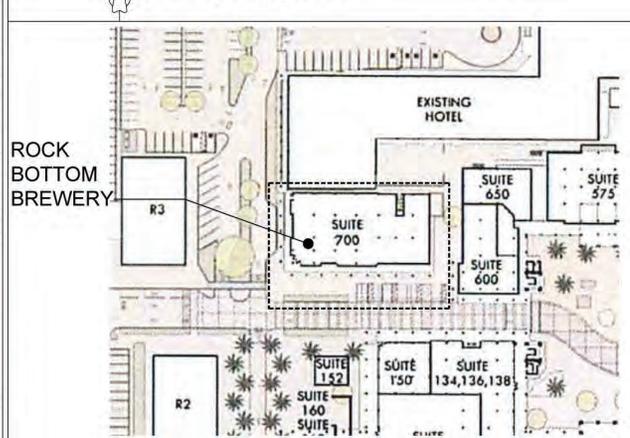


Community Development Department
Planning Division

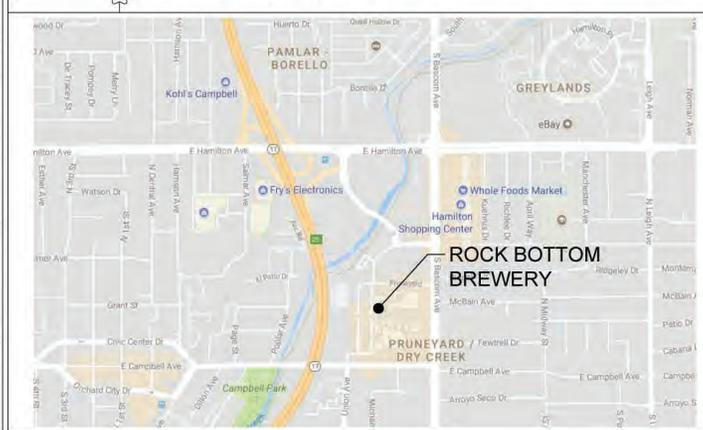


THE PRUNEYARD SHOPPING CENTER
 1875 S. BASCOM
 SUITE # 700
 CAMPBELL, CA 95008

SITE LOCATION MAP



AREA LOCATION MAP



DRAWING INDEX

	ORIGINAL PLAN DATE	LATEST REVISION NUMBER	LATEST REVISION DATE
GENERAL			
G100	COVER SHEET/GENERAL NOTES	03.23.18	
G101	OCCUPANT LOAD & EGRESS PLAN	03.23.18	
G102	CALIFORNIA GREEN BUILDING STANDARDS	03.23.18	
CIVIL / LANDSCAPE			
STRUCTURAL			
S001	STRUCTURAL NOTES	03.23.18	
S101	FOUNDATION PLAN	03.23.18	
S102	STRUCTURAL DETAILS	03.23.18	
S103	STRUCTURAL DETAILS	03.23.18	
ARCHITECTURAL			
A101	FLOOR PLAN	03.23.18	
A102	PROPOSED EXTERIOR ELEVATIONS	03.23.18	
A103	EXTERIOR DETAILS	03.23.18	
A104	INTERIOR ELEVATIONS	03.23.18	
A105	INTERIOR ELEVATIONS	03.23.18	
A106	ENLARGED RESTROOM PLAN & ELEVATIONS	03.23.18	
A107	ENLARGED BAR PLANS & ELEVATIONS	03.23.18	
A108	ENLARGED BAR PLANS & DETAILS	03.23.18	
A109	INTERIOR DETAILS	03.23.18	
A110	DOOR, WINDOW, & HARDWARE SCHEDULE	03.23.18	
A111	SCHEDULES	03.23.18	
FOOD SERVICE			
FS-1.0	FOOD SERVICE EQUIPMENT PLAN	02.22.18	
FS-2.0	FOOD SERVICE PLUMBING PLAN	02.22.18	
FS-3.0	FOOD SERVICE ELECTRICAL PLAN	02.22.18	
MEP			
CEC001	MEP ENERGY COMPLIANCE FORMS	03.23.18	
CEC002	MEP ENERGY COMPLIANCE FORMS	03.23.18	
CEC003	MEP ENERGY COMPLIANCE FORMS	03.23.18	
MPD101	MECHANICAL & PLUMBING DEMOLITION PLAN	03.23.18	
SP101	MEP SPECIFICATIONS	03.23.18	
SP102	MEP SPECIFICATIONS	03.23.18	
PLUMBING			
P001	PLUMBING SCHEDULES	03.23.18	
P101	WASTE & VENT PLAN	03.23.18	
P102	WATER & GAS PLAN	03.23.18	
MECHANICAL			
ELECTRICAL			
E001	ELECTRICAL NOTES & SYMBOLS	03.23.18	
E101	ELECTRICAL LIGHTING PLAN	03.23.18	
E201	ELECTRICAL POWER PLAN	03.23.18	
E301	MEZZANINE LIGHTING PLAN	03.23.18	
E401	LIGHTING DETAILS	03.23.18	
E402	LIGHTING DETAILS	03.23.18	

CONTACTS

LANDLORD / DEVELOPER
 Ella Partners
 111 Sutter Street, Suite 800
 San Francisco, CA 94104
 Contact: Kalisa Parker
 Email: klparker@ellapartners.com

OWNER
 Craftworks Restaurants & Breweries, Inc.
 8001 Anika Drive, Suite 500
 Broomfield, CO 80021
 Phone: (303) 654-4000
 Contact: Kim Wilford - Design Manager
 Email: kwilford@craftworks.com
 Contact: Mike Mohrwal - Construction Manager
 Email: mmohrwal@craftworks.com

ARCHITECT
 GHA ARCHITECTURE / DEVELOPMENT
 14801 Quorum Drive, Suite 300
 Dallas, TX 75244
 Phone: (972) 238-8884
 Contact: Ronnie Griffin
 Email: ron@gha.com

MEP ENGINEER
 Peter Higer
 5600 E Skelly Drive, Suite 1100
 Tulsa, OK 74135
 Phone: (918) 749-3000
 Contact: Peter Higer
 Email: phiger@peterhiger.com

STRUCTURAL ENGINEER
 Ronald A. Roberts, Associates, Inc.
 2844 N. Stemmons Freeway
 Dallas, TX 75247
 Phone: (214) 837-4289
 Contact: Andrew Livest
 Email: alivest@raa.net

KITCHEN DESIGNER
 Timoth Hokenberg
 4800 Chaga Street, Suite 400
 Dallas, CO 80221
 Phone: (720) 458-3288
 Contact: David Burton
 Email: david@hokenberg.com

CODE ANALYSIS

APPLICABLE CODES:

BUILDING CODE: 2016 CALIFORNIA BUILDING CODE
PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE
ELECTRIC CODE: 2016 NATIONAL ELECTRICAL CODE
MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE
FIRE CODE: 2016 CALIFORNIA FIRE CODE
ENERGY CODE: 2016 CALIFORNIA ENERGY CODE / CALIFORNIA GREEN BUILDING STANDARDS CODE
ACCESSIBILITY CODE: TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS

RESTAURANT AREA INFORMATION

BUILDING SQUARE FOOTAGE	AREA
EXISTING 1ST FLOOR	8,502 SQ.FT
PROPOSED 1ST FLOOR	8,492 SQ.FT
EXISTING MEZZANINE	1,232 SQ.FT
EXISTING PATIO	1,912 SQ.FT
PROPOSED PATIO	2,057 SQ.FT

CODE SUMMARY

CODE ITEMS	PROPOSED	ALLOWED
ZONING CLASSIFICATION	C-2	
USE GROUP	A-2	
TYPE OF CONSTRUCTION	V-B FULLY SPRINKLED	
NUMBER OF STORIES	SINGLE	3 (SPRINKLED)
MAXIMUM BUILDING HEIGHT	EXISTING	75 FT. (SPRINKLED)
CLIMATE ZONE	3	

OCCUPANT LOAD FACTOR - SEE G101 FOR OCCUPANCY CALCULATIONS

LOAD TYPE	OCCUPANTS
INTERIOR OCCUPANT LOAD (PATIO NOT INCLUDED)	302 OCCUPANTS
EXTERIOR OCCUPANT LOAD (PATIO)	110 OCCUPANTS
TOTAL BUILDING AND PATIO OCCUPANT LOAD	412 OCCUPANTS

INTERIOR OCCUPANT LOAD ACCESSIBLE EXIT REQUIREMENTS

OCCUPANT LOAD	WIDTH/PER PERSON	WIDTH REQUIRED	WIDTH PROVIDED
302	2 in.	60.4 in.	184.5 in. (CLEAR WIDTH)

PLUMBING FIXTURE COUNT REQUIREMENT:

PER 2018 CALIFORNIA PLUMBING CODE: TABLE 422.1 & TABLE A (OCCUPANT LOAD FACTOR)

GROUND LEVEL INTERIOR SQ. FT.	REQUIRED
8,492 SQ.FT.	1,232 SQ.FT.
2,057 SQ.FT.	2,057 SQ.FT.
8,492 + 2,057 =	11,781 SQ.FT.

11,781/30 = 393 OCCUPANTS

TOTAL OCCUPANT LOAD	REQUIRED LAVATORY	REQUIRED WATER CLOSET	REQUIRED URINAL	PROVIDED LAVATORY	PROVIDED WATER CLOSET	PROVIDED URINAL
393	2	3	1	2	2	3
MEN	197	2	3	1	2	3
WOMEN	197	2	4	N/A	2	5

INTERIOR & EXTERIOR FINISHES

INTERIOR WALL & CEILING FINISH CLASSIFICATIONS:

CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED INDEX 0-450
 CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED INDEX 0-450
 CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED INDEX 0-450

SMOKE DEVELOPED INDEXES OF INTERIOR MATERIALS: 0-450

USE GROUP	VERTICAL EXITS & EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS	ROOMS AND ENCLOSED SPACES
A-2	B	B	C
SPRINKLED	N/A TO PROJECT	N/A TO PROJECT	ALL AREAS

REQUIRED SPECIAL INSPECTIONS & TESTING

STRUCTURAL SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS ARE REQUIRED FOR SPECIFIC BUILDING ELEMENTS. REFER TO STRUCTURAL DRAWINGS FOR THE LIST OF WORK REQUIRING SPECIAL INSPECTIONS. AN APPROVED SPECIAL INSPECTION SERVICE IS REQUIRED. THE NAME OF THE SPECIAL INSPECTION AGENCY AND CONTACT INFO SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT ONCE CONTRACTED. REPORTS SHALL BE SUBMITTED TO VERIFY CONFORMANCE WITH THE DRAWINGS.

DEFERRED/SEPARATE SUBMITTALS

- BUILDING SIGNAGE

SCOPE OF WORK

REPLACE ALL LIGHTING WITH TITLE 24 COMPLIANT LIGHTING. REPLACE ALL INTERIOR AND EXTERIOR FURNITURE. REPLACE AND/OR PAINT INTERIOR "FRONT OF HOUSE" FINISHES. REPLACE EXISTING RESTROOM PLUMBING FIXTURES AND FINISHES AND RECONFIGURE THE FLOOR PLAN TO BE AS CLOSE TO FULL ACCESSIBILITY COMPLIANCE AS POSSIBLE. INSTALL PLANTERS AND NEW PATIO RAILING. SQUARE THE EXISTING ANGLED ENTRY AND RECONFIGURE THE EXISTING STEPS. CREATE AN EXTERIOR WAITSTATION ALCOVE. REMOVE EXISTING STONE FROM BASE OF THE EXISTING EXTERIOR WALLS AND REPLACE WITH STUCCO TO MATCH REMAINDER OF WALL. REPLACE THE EXISTING BAR AND BAR EQUIPMENT. REPAIR DAMAGED SHEATHING AND FINISH MATERIALS IN THE SERVING TANKS ROOM. UPGRADE THE EXISTING ROOF SCREEN. OTHER MISCELLANEOUS ITEMS SHOWN IN THE CONSTRUCTION DOCUMENTS THAT ARE NOT INCLUDED IN THIS BRIEF DESCRIPTION.



Architecture / Development
 14801 Quorum Drive
 Suite 300
 Dallas Texas 75254
 Ph: 972 238-8884
 Fax: 972 238-5054



ROCK BOTTOM BREWERY
 THE PRUNEYARD SHOPPING CENTER
 1875 S. BASCOM, SUITE #700
 CAMPBELL, CA 95008



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY
 ALL EXISTING CONDITIONS AND
 DIMENSIONS. NOTIFY ARCHITECT
 OF ANY DISCREPANCIES PRIOR
 TO BEGINNING CONSTRUCTION

NO REVISION

PROJECT NUMBER
170369

SHEET NUMBER
G100

ORIGINAL ISSUE DATE - 03.23.18

PRINTED BY: 8/20/2018
 DRAWING NAME: 170369-G100-170369.DWG
 DATE: 08/20/2018 2:46pm



ROCK BOTTOM BREWERY
 THE PRIMEYARD SHOPPING CENTER
 1875 S. DAWSON, SUITE #700
 CAMPBELL, CA 95008



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY
 ALL EXISTING CONDITIONS AND
 DIMENSIONS. NOTIFY ARCHITECT
 OF ANY DISCREPANCIES PRIOR
 TO BEGINNING CONSTRUCTION

NO REVISION

PROJECT NUMBER
170369

SHEET NUMBER

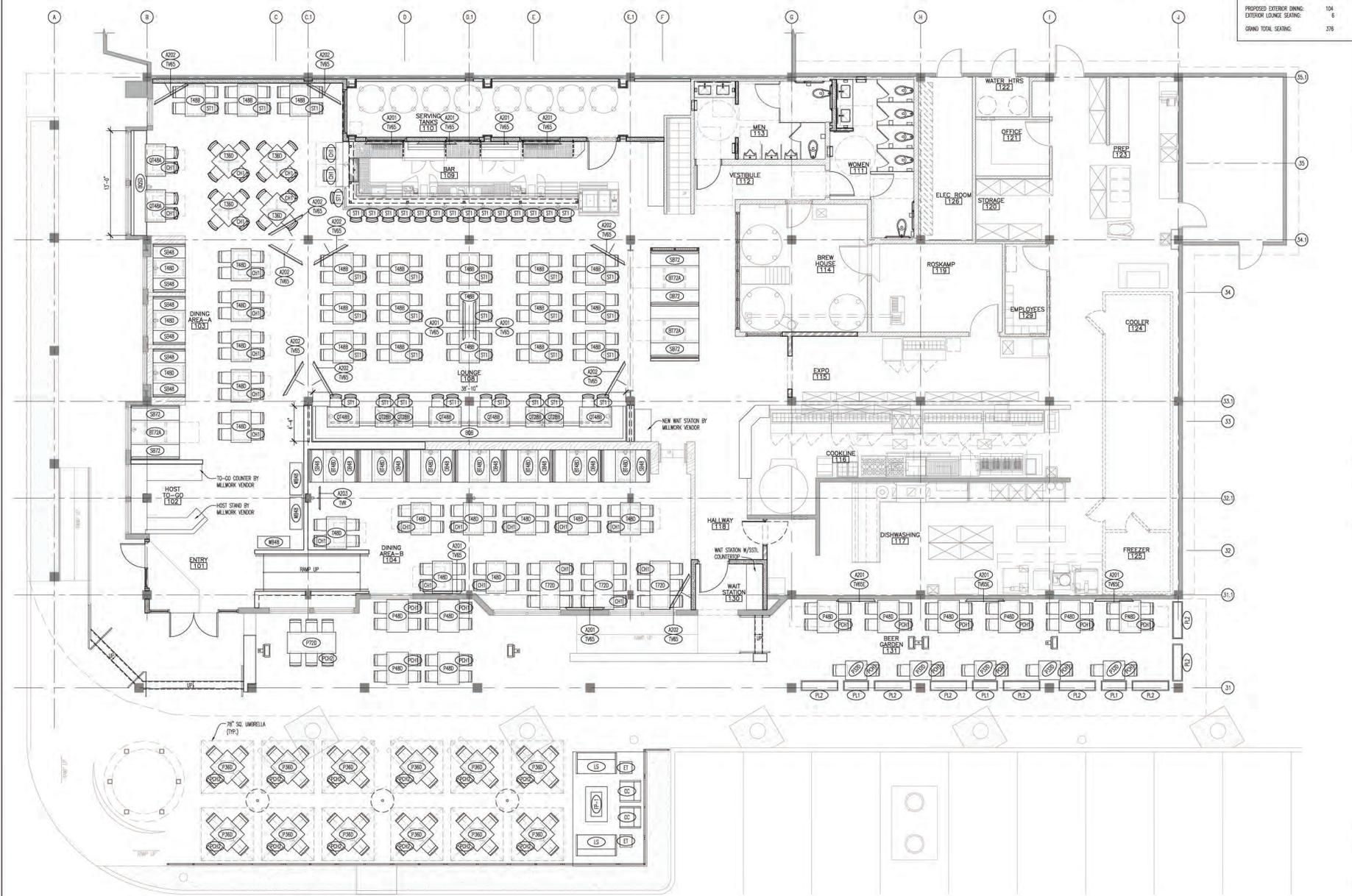
A112

ORIGINAL ISSUE DATE - 03.23.18

SEATING TABULATIONS

EXISTING EXTERIOR SEATING:	271
EXISTING INTERIOR SEATING:	116
PROPOSED EXTERIOR DINING:	266
PROPOSED INTERIOR DINING:	104
EXTERIOR LOUNGE SEATING:	6
GRAND TOTAL SEATING:	376

GENERAL NOTES:
 - REFER TO SHEET #A11 FOR FURNITURE SCHEDULE
 - EXTERIOR SEATING IS LESS THAN SIZE OF TOTAL SEATING



01 FURNISHINGS PLAN
 SCALE: 3/16"=1'-0"

DESIGNED BY: ROBERT
 DRAWING NAME: A112 - FURNISHING
 DATE: MAR 23, 2018 - 2:48pm



ROCK BOTTOM BREWERY
 THE PRIMEYARD SHOPPING CENTER
 1875 S. DAWSON, SUITE #700
 CAMPBELL, CA 95008



DO NOT SCALE DRAWINGS
 CONTRACTOR TO VERIFY
 ALL EXISTING CONDITIONS AND
 DIMENSIONS. NOTIFY ARCHITECT
 OF ANY DISCREPANCIES PRIOR
 TO BEGINNING CONSTRUCTION

NO REVISION

PROJECT NUMBER
170369
 SHEET NUMBER
A201

ORIGINAL ISSUE DATE - 03.23.18

KEY NOTES

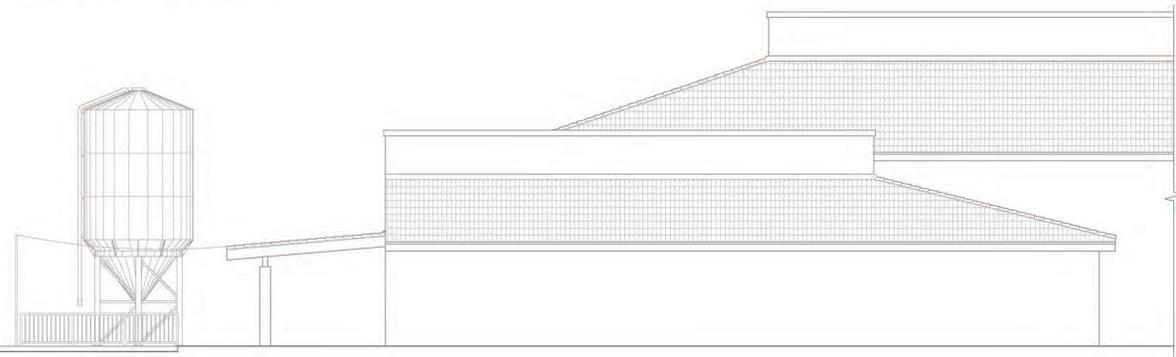
◊ EXISTING STONE BASE TO BE REMOVED

FINISH SCHEDULE

GROUP	MANUFACTURER	DESCRIPTION
CEILING		
CE-1	-	WALL CLAD, 24"x48" OPSUM BROWN BAYED SOLAR TILE, COLOR = SANDW
CE-2	ARISTON	WHITE, 12"x12" ALUMINUM GRID WHITE, TO MATCH TILES
CE-3	-	PAINTED OPSUM BOARD, SMOOTH FINISH, COLOR PER PLANS
CE-4	-	PAINTED OPSUM BOARD, SMOOTH FINISH, COLOR PER PLANS
PAINT STAIN		
PS-1	BENJAMIN MOORE	978 BROWN HOLLOW EGGSHELL
PS-2	BENJAMIN MOORE	979 STAMPEDE EGGSHELL
PS-3	BENJAMIN MOORE	1803 GRANITE EGGSHELL
PS-4	BENJAMIN MOORE	1803 GRANITE SEM-GLOSS
PS-5	BENJAMIN MOORE	872 ALUSAN SEAS EGGSHELL
PS-6	BENJAMIN MOORE	2174-20 CONWAGOR EGGSHELL
PS-7	BENJAMIN MOORE	1546 DRAGONEST TUFF
PS-8	BENJAMIN MOORE	1616 STONY SKY STAIN
PS-9	SHERWIN WILLIAMS	SW 6328 PRICKED; SEM-GLOSS
PS-10	PRIST-GLENN	BROWN-ON BLACK CHALKBOARD PAINT
PS-11	SHERWIN WILLIAMS	SW 7023 HORSETAIL GRAY FROM LANDLORD'S COLOR PALETTE
PS-12	SHERWIN WILLIAMS	SW 6037 MORRIS ROOM GREY (FROM LANDLORD'S COLOR PALETTE)
PS-13	SHERWIN WILLIAMS	SW 7004 SNOWBOUND (FROM LANDLORD'S COLOR PALETTE)
PS-14	SHERWIN WILLIAMS	SW 7027 WELL-BRED BROWN (FROM LANDLORD'S COLOR PALETTE)
FLOOR BASES		
FB-1	-	1x6 WOOD BASE PAINTED 'TYPICAL'
FB-2	ARISTON	4 1/4" x 8" RUBBER CORE BASE; R4140, COLOR = JET BLACK
TILE		
TI-1	UNDER TILE	QUARRY TILE, E-QUARRY SERIES, 6"x6" GRAY, SMOOTH, QUARTZ/AGGREGATE, GROUT = 'TAN'
TI-2	UNDER TILE	QUARRY TILE COVE BASE, E-QUARRY SERIES, 6"x6" GRAY, SMOOTH, QUARTZ/AGGREGATE, GROUT = 'TAN'
TI-3	CROSSVILLE	12"x12" PORCELAIN TILE, ARTISTE STATE, MELTING POINT, GROUT = 'GR-1'
TI-4	STONE SOURCE	24"x24" PORCELAIN TILE, WAZZANO, NATURAL, GROUT = 'GR-1'
TI-5	UNITED	12"x12" PORCELAIN TILE WITH 8" OFFSET, VITRA UPDOWN, WHITE, GROUT = 'GR-2'
TI-6	STONE SOURCE	6"x6" PORCELAIN TILE, OLD COTTIC, COLOR = PALPE, GROUT = 'GR-2'
TI-7	STONE SOURCE	3"x3" CERAMIC TILE WITH 8" OFFSET, BUCAGE, COLOR = TITANO, GROUT = 'GR-2'
GROUT		
GR-1	LAROCHE	SINETS GROUT, 1/8" JOINT, COLOR = FES BLEN
GR-2	CUSTOM BUILDING PRODUCTS	SINETS GROUT, 1/8" JOINT, COLOR = #45 BLEACHED WOOD
GR-3	LAROCHE	SPECTRACOCK 2000 IC, 1/8" GROUT JOINT, COLOR = #27 HEMP
LAMINATE		
LA-1	WABITE	FIBER REINFORCED PLASTIC PANELS, P145 SLABS, POLISHED SURFACE, SEAM JOINT INSTALLATION, WHITE COIR, MATCHES SOLICORE SLAB
LA-2	WABITE	FIBER REINFORCED PLASTIC PANELS, P145 SLABS, POLISHED SURFACE, SEAM JOINT INSTALLATION, WHITE SOLICORE SLAB, MATCHES SOLICORE SLAB
LA-3	FORMICA	PLASTIC LAMINATE, COLOR = 837-SB GRANITE
LA-4	FORMICA	PLASTIC LAMINATE, COLOR = 882-SB GRANITE, MILL
DOOR		
DO-1	MILLWORK VENDOR	WHITE OAK WITH CLEAR COAT
SOUL'S SURFACE		
SS-1	SLEUSION	SOLID SURFACE, COLOR = CALYPSO, POLISHED TEXTURE, 1.2cm THICKNESS UNAD. PROVIDE 2cm THICKNESS AT 88 LAGS.
SS-2	DUPONT	SOLID SURFACE, COLOR = DARTH, POLISHED TEXTURE, 1.2cm THICKNESS UNAD. PROVIDE 2cm THICKNESS AT 88 LAGS.
METAL		
ME-1	BERRODZ (OR EQ)	PRE-FINISHED METAL FACIA/COPIING, COLOR = WHITE BLACK
ME-2	BERRODZ (OR EQ)	PRE-FINISHED METAL FACIA/COPIING, COLOR = TAN
ME-3	BERRODZ	16"-18" HORIZONTAL METAL WALL PANEL, COLOR = PINKBATHERED GALVALUME
ME-4	ALUCOBOND	ALUCOBOND PE ALUMINUM COMPOSITE PANEL, COLOR = TITANUM METALLIC POF 3 / SR 46
ME-5	ALUCOBOND	ALUCOBOND PE ALUMINUM COMPOSITE PANEL, VERTICAL ORIENTATION, COLOR = SUMMER SLEDE METALLIC POF 3 / SR 27
DOOR SET, WINDOW, LOCKING		
DS-1	BEINLEY	24"x24" CARPET TILE, HITCHHICKER CONSPIRACY BEERY, QUARTER TURN
DS-2	ARISTON	WALL COMPOSITION TILE #6076, 12"x12" SQUARE, COLOR = BLACK L
DS-3	ARISTON	LUXURY WALL TILE #MCT14, 18"x24", NATURAL COLLECTIONS, SILK SURF, COLOR = BUTIRUM
FIBER CEMENT, JOINT JOBSTERS		
FC-1	FIBERON	STANDARD CLEADING, HORIZONTAL, COLOR = WAIN STAIN
FC-2	FIBERON	PROTECT ADVANTAGE BEADING, HORIZONTAL, SQUARE CODE BORDERS WITH FACE FASTENING SYSTEM, COLOR = CHESTNUT
FC-3	JAMES HARDIE	INTERPLANT LIP SOILING, COLORED, SMOOTH, 8-3/4" EXPOSURE, PAINT PER ELEVATION
ET B. SET, COO		
ET-1	-	3/4" STUCCO SYSTEM PAINTED 'TYPICAL' TO MATCH EXISTING COLOR AND TEXTURE.
MASONRY		
MS-1	-	STANDARD GRAY CONCRETE 'TYPE 2 FINISH' WITH SHERWIN WILLIAMS SILVER-WAVE CLEAR SEALER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
MS-2	NORTHERN STONE SUPPLY	ADHERED STONE VENEER, 1/2" HONEY HERITAGE LEASE STONE, DRYSACK FROM LANDLORD'S COLOR PALETTE
MS-3	NORTHERN STONE SUPPLY	CAST STONE WALL CAP MADE FROM STONE MATCHING 'TYPICAL' CUT TO PAPER THICKNESS AND SIZE/SHAPE.



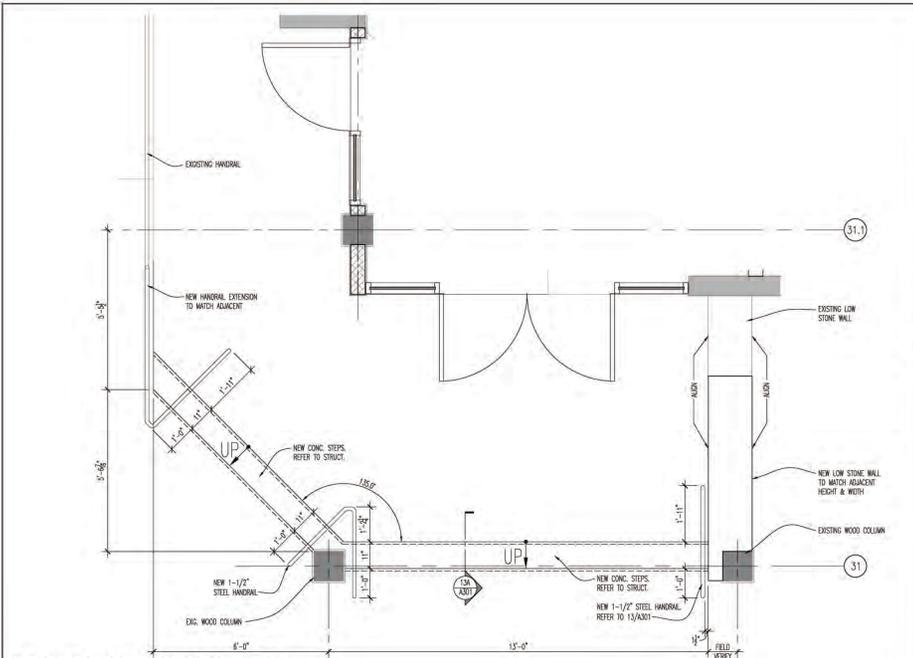
01 EXISTING WEST ELEVATION
 SCALE: 3/16"=1'-0"



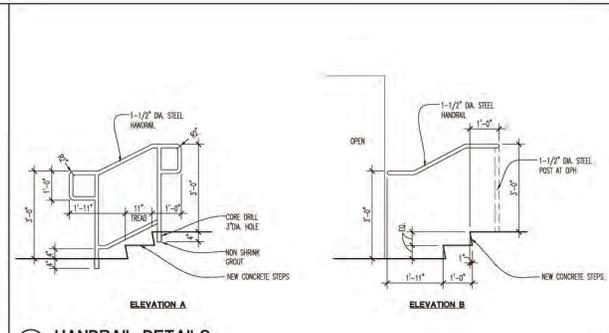
02 EXISTING EAST ELEVATION
 SCALE: 3/16"=1'-0"



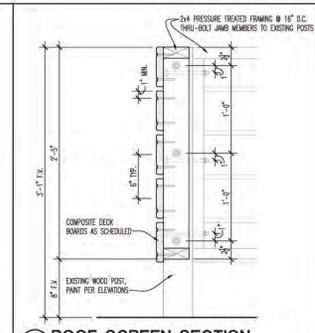
03 EXISTING SOUTH ELEVATION
 SCALE: 3/16"=1'-0"



02 ENLARGED MAIN ENTRY PLAN
SCALE: 1/2"=1'-0"



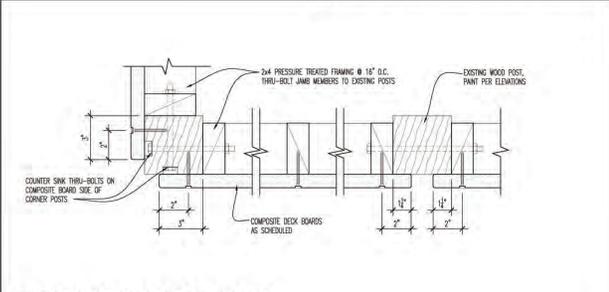
13 HANDRAIL DETAILS
SCALE: 1/2"=1'-0"



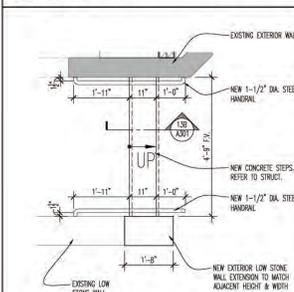
21 ROOF SCREEN SECTION
SCALE: 1 1/2"=1'-0"



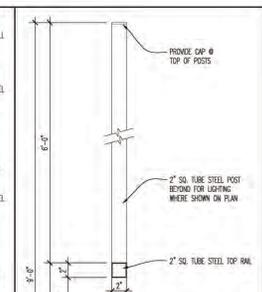
14 NOT USED
SCALE: 1"=1'-0"



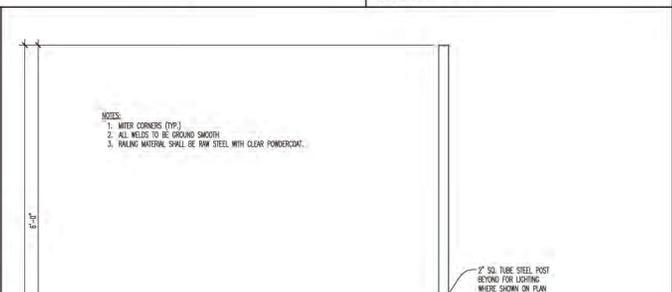
18 ROOF SCREEN PLAN DETAIL
SCALE: 3"=1'-0"



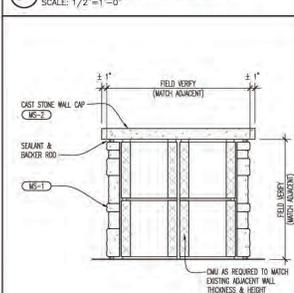
03 ENLARGED STEPS PLAN
SCALE: 1/2"=1'-0"



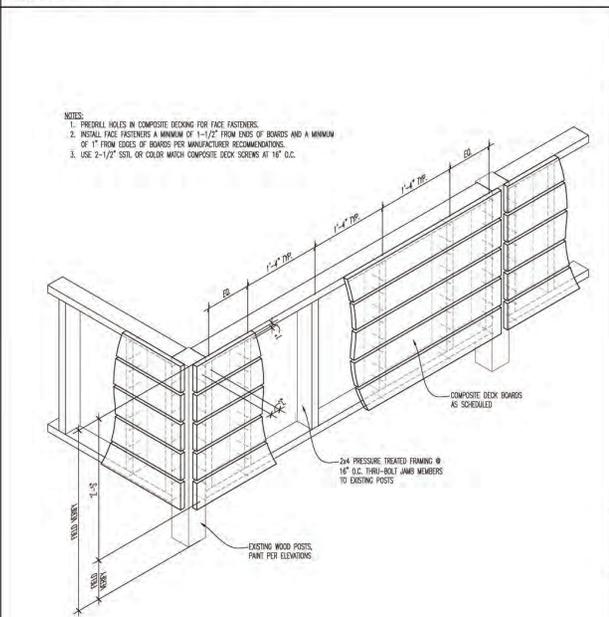
08 PATIO RAILING SECTION
SCALE: 1 1/2"=1'-0"



12 PATIO RAILING ELEVATION
SCALE: 1"=1'-0"



04 STONE LOW WALL
SCALE: 1 1/2"=1'-0"



20 ROOF SCREEN ISOMETRIC
SCALE: 1"=1'-0"



Architecture / Development
14801 Coonrod Drive
Suite 300
Dallas Texas 75254
Ph: (972) 238-8884
Fax: (972) 238-5054



ROCK BOTTOM BREWERY
THE PRUNEYARD SHOPPING CENTER
1875 S. DAWSON, SUITE 4700
CAMPBELL, CA 95008



DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS. NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

NO REVISION

PROJECT NUMBER
170369

SHEET NUMBER
A301

ORIGINAL ISSUE DATE - 03.23.18

PRINTED BY: ROBERT
DRAWING NAME: A301 - TYPING.DWG
DATE: 03/23/2018 - 2:48pm