



CITY OF CAMPBELL
Community Development Department

June 1, 2018

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 12, 2018**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Mike Ma for a Site and Architectural Review Permit (PLN2018-61) to allow the construction of a new single-family residence and a Tree Removal Permit (PLN2018-62) to allow the removal of a protected tree (Oak) on property located at **1572 Theresa Avenue**. Staff is recommending that this project be found Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

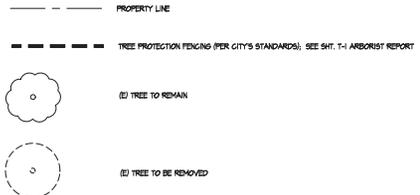
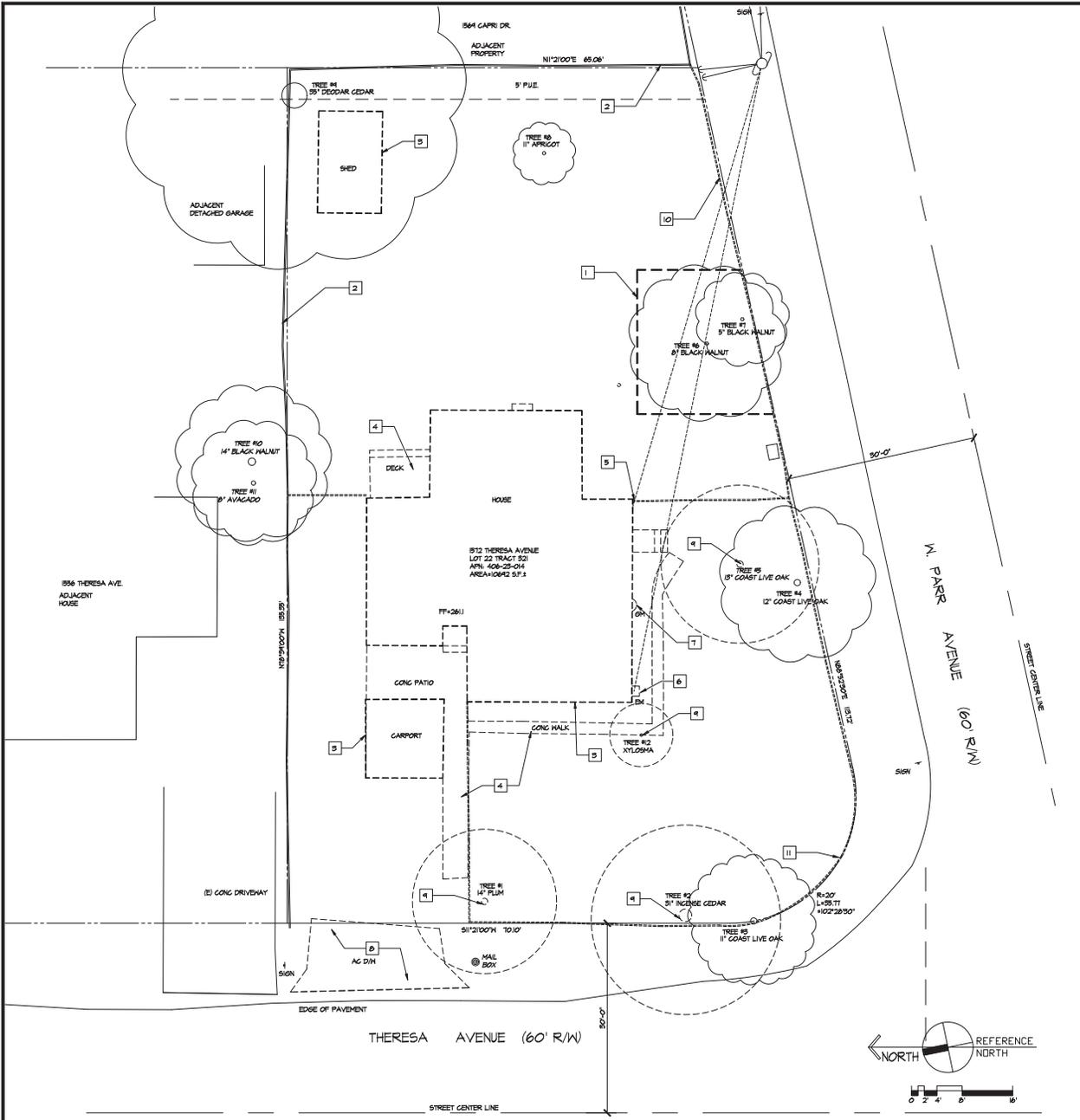
Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1572 Theresa Avenue**



- LEGEND**
1. VERIFY WITH OWNER & FOLLOW CITY'S REQUIREMENTS FOR PROTECTING (E) LANDSCAPING AND TREES DURING DEMOLITION AND CONSTRUCTION.
 2. COORDINATE WITH UTILITY COMPANIES & AGENCY FOR DISCONNECT & REMOVE UTILITY BOXES, PANELS, METERS, & ALL RELATED WIRES & CABLES.
 3. VERIFY WITH OWNER ON SALVAGING BUILDING MATERIALS, FURNISHINGS, & COMPONENTS FOR POSSIBLE REUSE.
 4. SEE PROPOSED SITE PLAN FOR TREE PROTECTION & OTHER ADDITIONAL INFORMATION.
 5. ALL (E) FENCE ALONG THE PROPERTY LINES TO REMAIN U.O.N. VERIFY WITH OWNER.
 6. BUILDING SETBACK VERIFICATION: PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE ILLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.
 7. ALL REMAINING EXISTING LANDSCAPE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, TYPICAL.
 8. REMOVE EXISTING LANDSCAPE WHERE NEW CONSTRUCTION OCCURRED. VERIFY WITH OWNER FOR ITEM TO BE SAVED AND REUSED.
 9. CONTRACTORS ARE REQUIRED TO OBTAIN ENCROACHMENT PERMITS PRIOR TO ANY WORKS AT CITY'S RIGHT OF WAY.
 10. REMOVE UNDERGROUND SEWER LINE COMPLETELY TO CONNECTION AT CITY'S MARK.

- GENERAL NOTES**
1. PROVIDE TREE PROTECTION FENCING PER CITY'S TREE PROTECTION REGULATIONS. SEE SHT. T-1 ARBORIST REPORT FOR ADDITIONAL INFORMATION.
 2. (E) & (R) HT. FENCE TO REMAIN.
 3. DEMOLISH (E) HOUSE, GARPORT & SHED.
 4. DEMOLISH ALL SITE FEATURE AS INDICATED, SUCH AS CONC. DRIVEWAY, WALKWAY, STEP, PATIO, ETC.
 5. REMOVE (E) OVERHEAD PHONE/ CABLE LINE. COORDINATE WITH PHONE / CABLE COMPANY.
 6. REMOVE (E) ELEC. METER & PANEL. COORDINATE PG # E.
 7. REMOVE (E) GAS METER. COORDINATE PG # E.
 8. (E) CONC. DRIVEWAY TO BE DEMOLISHED.
 9. (E) TREE TO BE REMOVED. SEE ARBORIST REPORT ON SHT. T-1.
 10. REMOVE (E) & (R) HT. FENCE ALONG N. PARK AVENUE.
 11. REMOVE (E) CHAINLINK FENCE.

① EXISTING SITE PLAN W/ DEMOLITION

1/8"=1'-0"



REVISIONS

NO.	DESCRIPTION

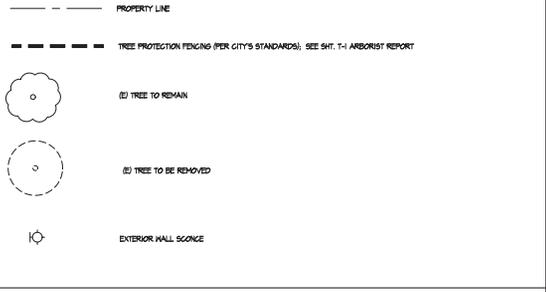
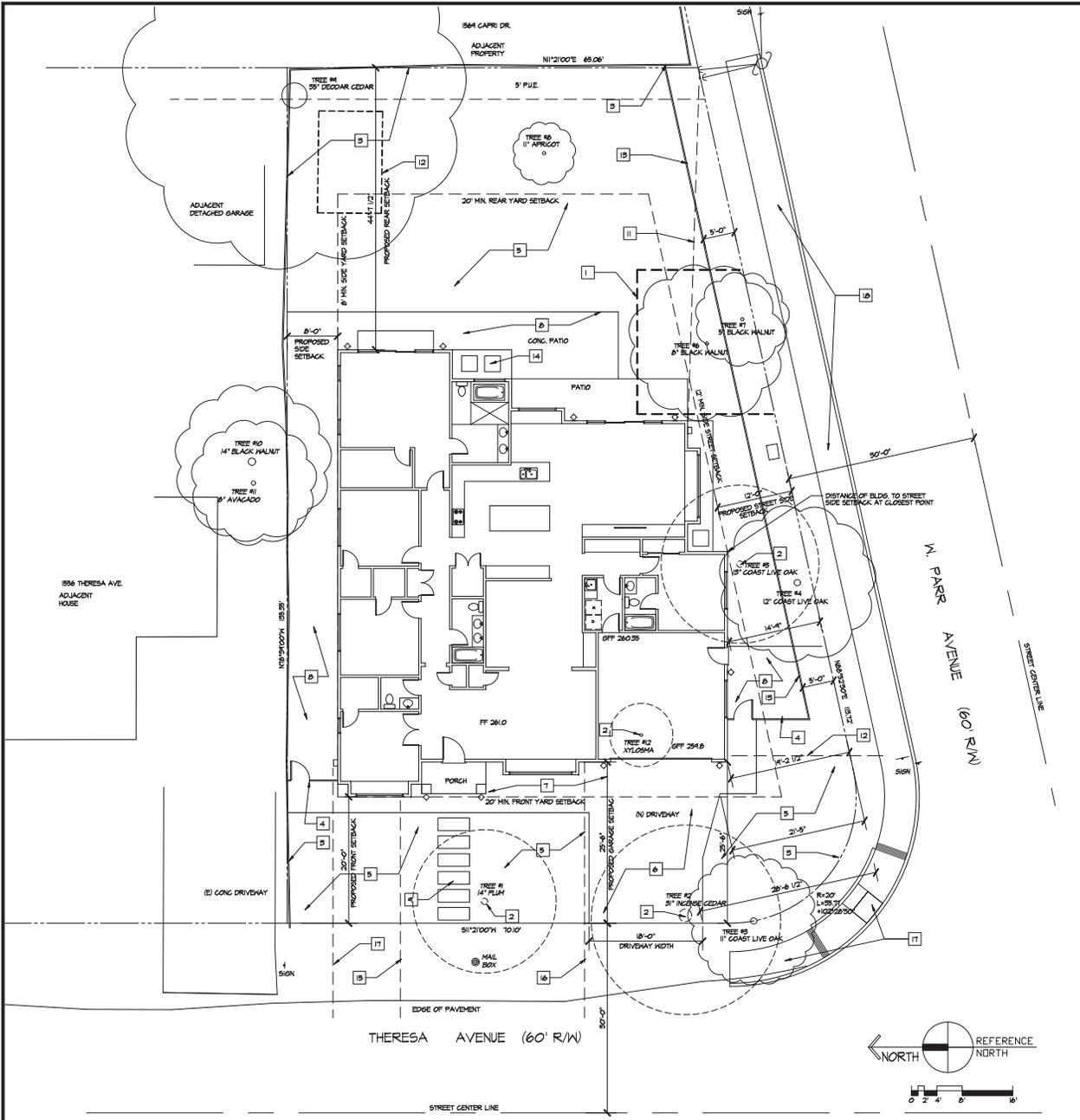
**LEE RESIDENCE
NEW HOUSE**
1572 THERESA AVENUE
CAMPBELL, CA 95008
APN: 408-23-014

CLIENT

DATE	04/06/18
CHECKED	
DRAWN	MM
JOB NO.	

**EXISTING
SITE PLAN
w/ DEMOLITION**

A1.1



- LEGEND**
- A. BUILDING SETBACK VERIFICATION: PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.
 - B. ALL REMAINING EXISTING LANDSCAPE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. TYPICAL.
 - C. REMOVE EXISTING LANDSCAPE WHERE NEW CONSTRUCTION OCCURRED. VERIFY WITH OWNER FOR ITEM TO BE SAVED AND REISED.
 - D. REMOVE EXISTING FENCE WHERE NEW CONSTRUCTION OCCURRED.
 - E. PREPARE SITE FOR NEW CONSTRUCTION WHERE OCCURRED. SEE NEW FLOOR PLAN.
 - F. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF WORK. APPLY FOR THIS PERMIT AT THE PUBLIC WORKS ENGINEERING (PWE) DIVISION. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
 - G. REFER TO SHT. C-1 FOR DOWNPOUT/ SLASH BLOCK LOCATIONS.
 - H. REMOVE ALL (R) ONSITE SUBGRADE SEWER LINE # INSTALL (N) FROM STREET MAIN.
 - I. SEE SOIL REPORT FOR SITE # FOUNDATION COMPACTION & GRADING REQUIREMENTS.
 - J. OPENINGS FOR CRAWLSPACE VENTILATION SHALL BE LOCATED WITHIN 3'-0" OF CORNERS.
 - K. COMPLETELY REMOVE EXISTING SEWER LINES ON SITE TO CITY'S SEWER CONNECTION AT PROPERTY LINE. INSTALL NEW SEWER LINES AND CLEANOUT ACCORDINGLY.
 - L. ALL TREE PROTECTION AND INSPECTION SCHEDULE MEASURES, DESIGN RECOMMENDATIONS, WATERING, AND CONSTRUCTION SCHEDULING SHALL BE IMPLEMENTED IN FULL BY OWNER AND CONTRACTOR, AS STATED IN THE TREE PROTECTION REPORT ON SHEET T-1 AND APPROVED PLANS.
 - M. UTILITY TRENCHING SHALL NOT OCCUR WITHIN THE TRZ OF THE PROTECTED TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT NO TRENCHING OCCURS WITHIN THE TRZ OF THE PROTECTED TREE BY CONTRACTORS, CITY CREWS OR FINAL LANDSCAPE WORKERS. SEE SHEET T-1 FOR INSTRUCTIONS.

- GENERAL NOTES**
- (1) PROVIDE TREE PROTECTION FENCING PER CITY'S TREE PROTECTION REGULATIONS. SEE SHT. T-1 ARBORIST REPORT FOR ADDITIONAL INFORMATION.
 - (2) (R) TREE TO BE REMOVED. SEE ARBORIST REPORT ON SHT. T-1.
 - (3) (R) 6" HT. HD. FENCE TO REMAIN.
 - (4) (N) 6" HT. HD. FENCE & GATE.
 - (5) (N) LANDSCAPING.
 - (6) (N) CONC. PAVEMENT DRIVEWAY.
 - (7) (N) CONC. PAVEMENT WALKWAY.
 - (8) (N) CONC. WALKWAY/ PATIO.
 - (9) (N) CONC. PAD WALKWAY.
 - (10) (N) GAS METER & LINE. VERIFY AND COORDINATE WITH UTILITY COMPANY.
 - (11) (N) ELEC. METER & LINE. VERIFY AND COORDINATE WITH UTILITY COMPANY.
 - (12) SCHEMATIC LOCATION FOR UNDERGROUND GAS LINE.
 - (13) NEW 6" HT. HD. FENCE AT 9' SETBACK FROM W. PARK AVENUE. NEW FENCE SHALL MEET CITY ORDINANCE.
 - (14) GAS UNITS ON 3" CONC. PAD.
 - (15) SCHEMATIC LOCATION FOR UNDERGROUND SEWER LINE.
 - (16) SCHEMATIC LOCATION FOR UNDERGROUND WATER LINE.
 - (17) SCHEMATIC LOCATION FOR UNDERGROUND GAS LINE.
 - (18) NEW SIDEWALK & CURB RAMP FOR PUBLIC WORKS REQUIREMENTS. SEE CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

KEYNOTES

TOTAL FRONT YARD (20'-0" SETBACK) AREA	176 SF.
TOTAL PERMEABLE AREA	(177 SF. (84% N))

① PROPOSED SITE PLAN 1/8"=1'-0"

PERMEABLE AREA AT FRONT YARD



REVISIONS

NO.	DESCRIPTION

**LEE RESIDENCE
NEW HOUSE**
1572 THERESA AVENUE
CAMPBELL, CA 95008
APN: 406-23-014

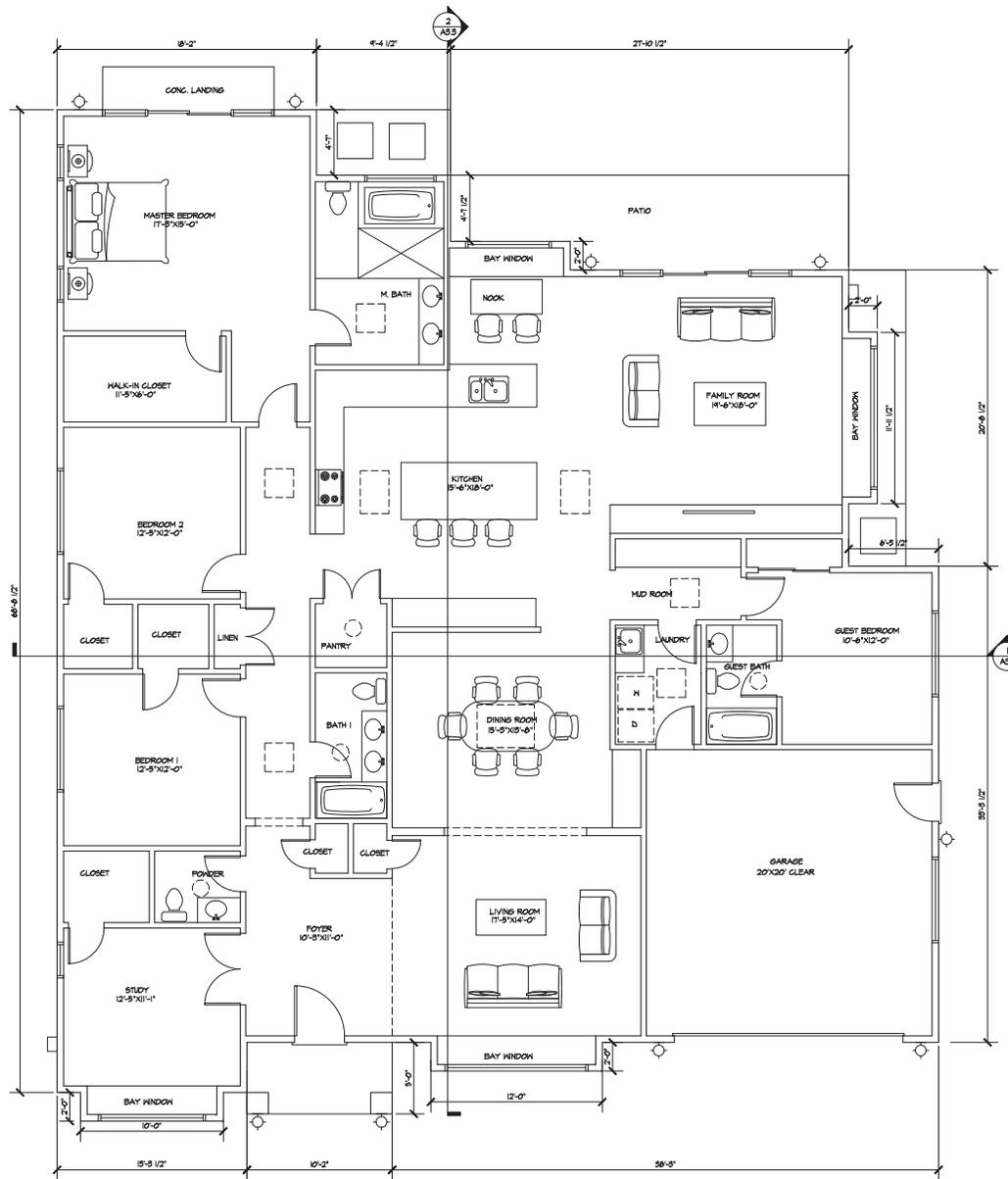
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DATE	04/06/18
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DRAWN	MM
JOB NO.	

**PROPOSED
SITE PLAN**

A1.2



**March
DESIGN**
ARCHITECTURE | INTERIOR | PLANNING
111 MAIN STREET, SUITE 210
LOS ALTOS, CA 94022
650.562.1807
march@marshall.design

REVISIONS

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1572 THERESA AVENUE
CAMPBELL, CA 95008
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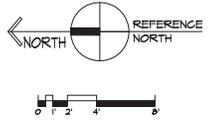
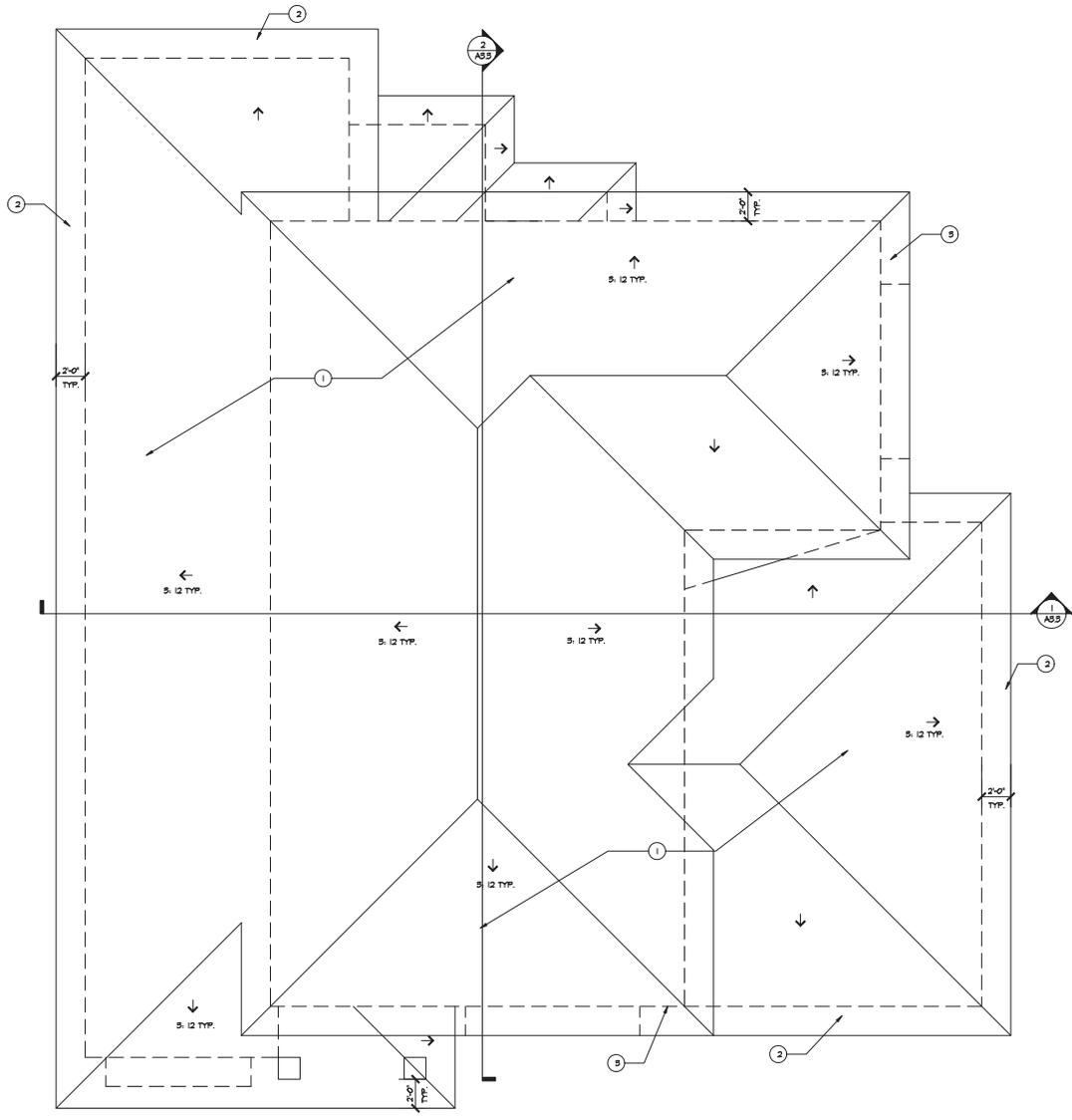
JOB NO.

**PROPOSED
FLOOR PLAN**

A2.1

1 PROPOSED FLOOR PLAN

1/4" = 1'-0"



1. ROOF SLOPE TO BE 5 :12, U/D.
2. PROVIDE GALV. SHEET METAL FLASHING AT ALL RIDGES, VALLEY OF ROOF AND AROUND SUN TUNNELS, VENTS, PIPES, ETC.
3. PROVIDE CRICKETS AS NEEDED.

ROOF PLAN GENERAL NOTES

- ① GLASS A COMPOSITION ROOFING, TYP.
- ② ROOF OVERHANG.
- ③ DASHED LINE INDIGATES EXTERIOR WALL.

ROOF PLAN KEYNOTES

**March
DESIGN**

ARCHITECTURE | INTERIOR | PLANNING

111 MAIN STREET, SUITE 215
LOS ALTOS, CA 94022
950.562.1907
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REVISIONS

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APN: 406-23-014

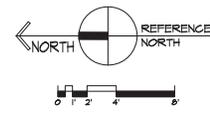
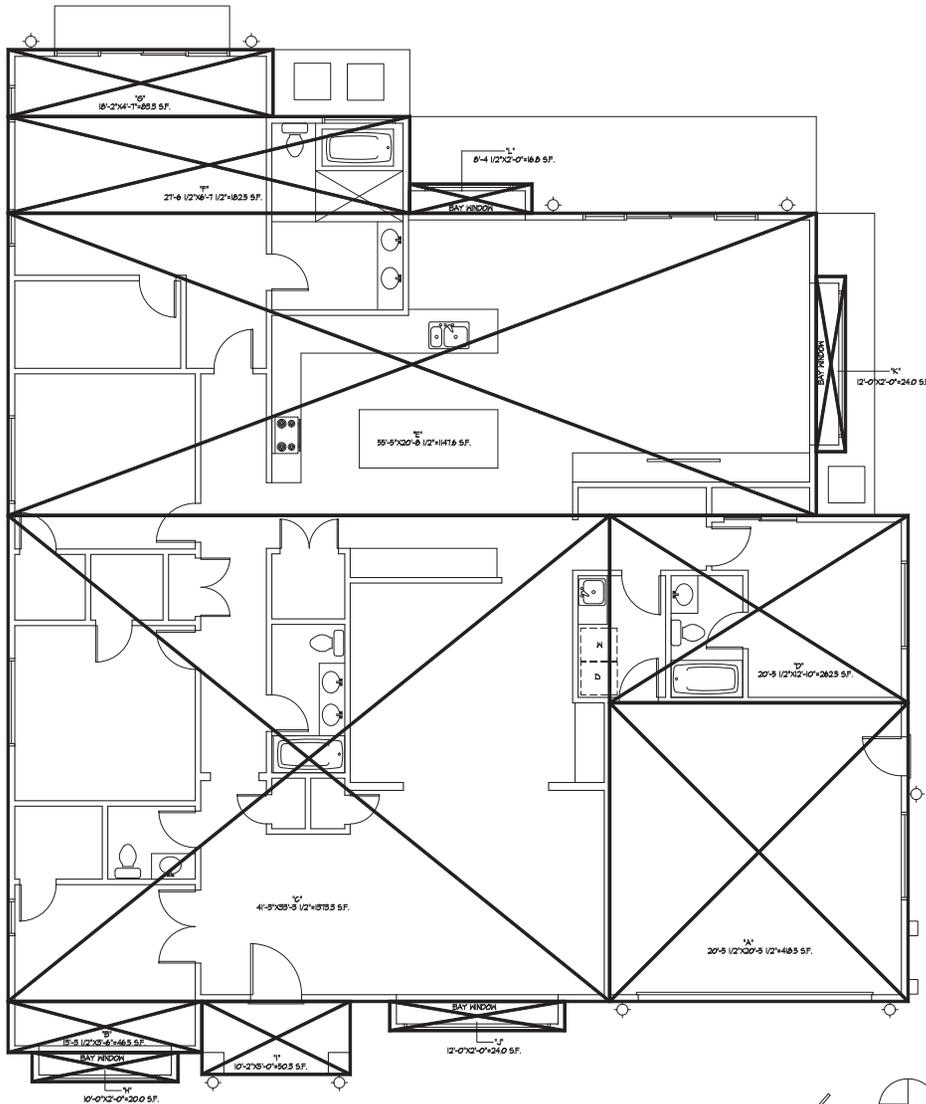
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**PROPOSED
ROOF PLAN**

A2.2

① PROPOSED ROOF PLAN

1/4" = 1'-0"



GROUND FLOOR AREA

"A"	485 S.F. (GARAGE)
"B"	465
"C"	1373.3
"D"	2625
"E"	1147.6
"F"	1825
"G"	833
SUBTOTAL	3,045.7 S.F.

TOTAL FLOOR AREA 3,514.2 S.F.

FLOOR AREA CALCULATIONS

TOTAL FLOOR AREA	3,514.2 S.F.
"H"	20.0
"I"	50.3
"J"	24.0
"K"	24.0
"L"	16.8
SUBTOTAL	135.1 S.F.
TOTAL COVERAGE	3,649.3 S.F.



ARCHITECTURE | INTERIOR | PLANNING
 111 MAIN STREET, SUITE 29
 LOS ALTOS, CA 94022
 650.362.1907
 info@marchdesign.com

REVISIONS

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NEW HOUSE
 1572 THERESA AVENUE
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FLOOR AREA & COVERAGE CALCULATIONS



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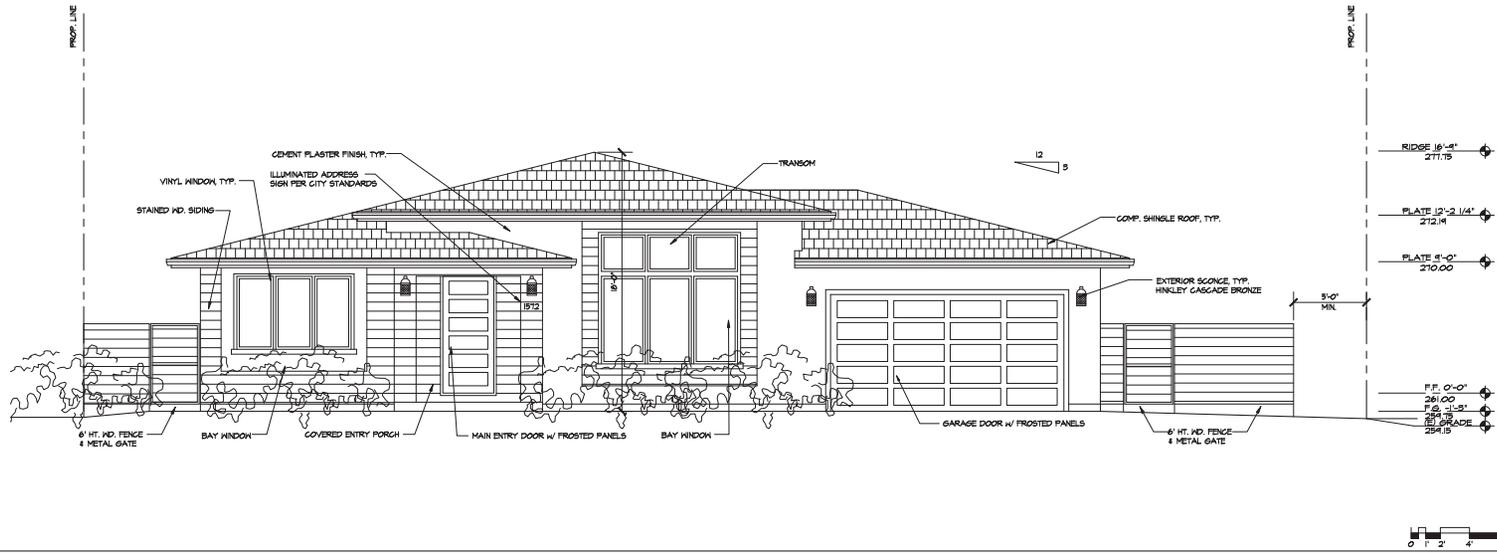
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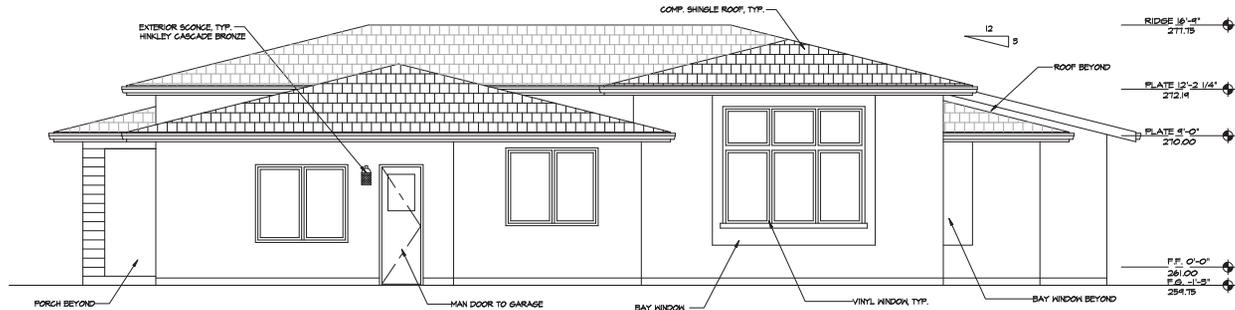
**PROPOSED
EXTERIOR
ELEVATIONS**

A3.1



① PROPOSED FRONT- THERESA AVENUE ELEVATION (WEST)

1/4" = 1'-0"



② PROPOSED SIDE STREET (W. PARR AVENUE) ELEVATION (SOUTH)

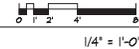
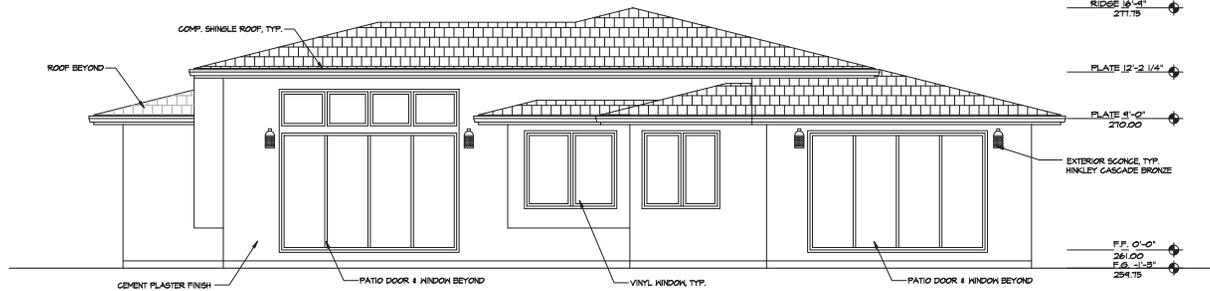
1/4" = 1'-0"



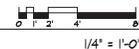
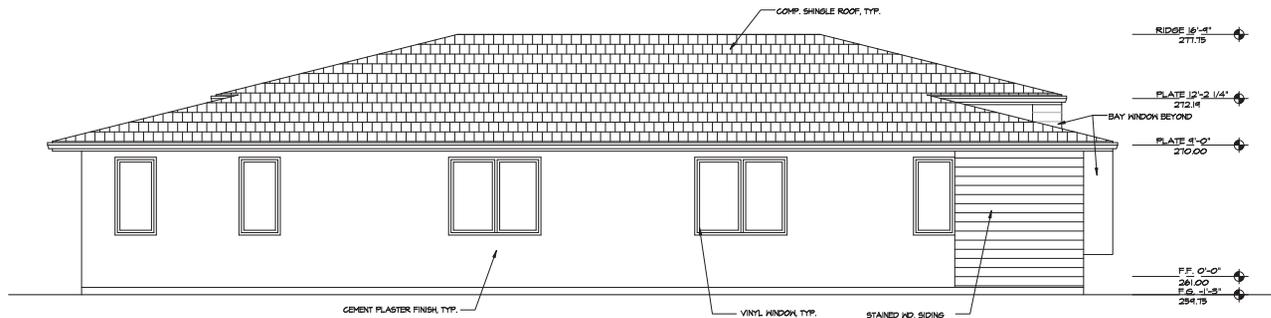
**March
DESIGN**
ARCHITECTURE | INTERIOR | PLANNING
111 MAIN STREET, SUITE 219
LOS ALTOS, CA 94022
800.362.1807
info@march.design

REVISIONS

NO.	DESCRIPTION



① PROPOSED REAR ELEVATION (EAST)



② PROPOSED LEFT SIDE ELEVATION (NORTH)

**LEE RESIDENCE
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1572 THERESA AVENUE
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JOB NO.

**PROPOSED
EXTERIOR
ELEVATIONS**

A3.2



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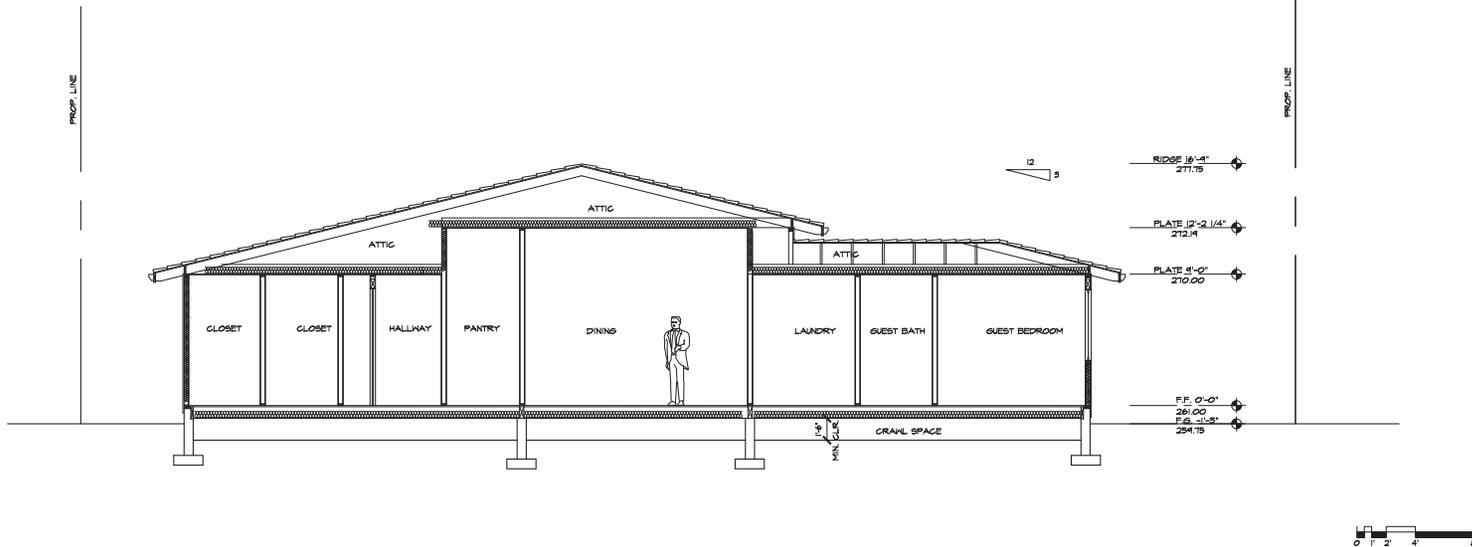
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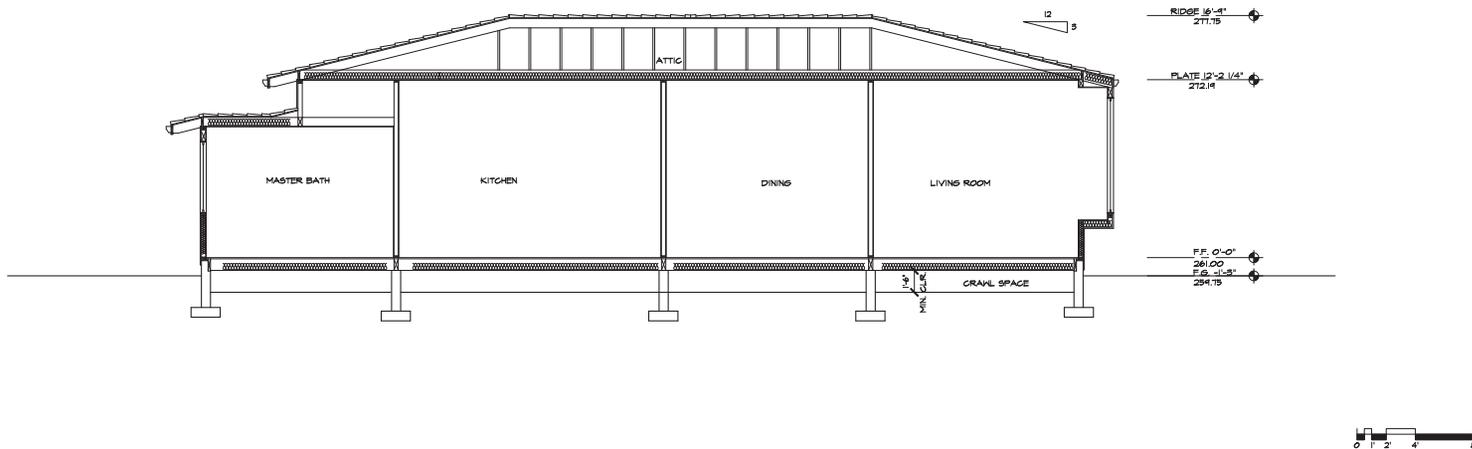
**BUILDING
SECTIONS**

A3.3



① SECTION

1/4" = 1'-0"



② SECTION

1/4" = 1'-0"



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REVISIONS

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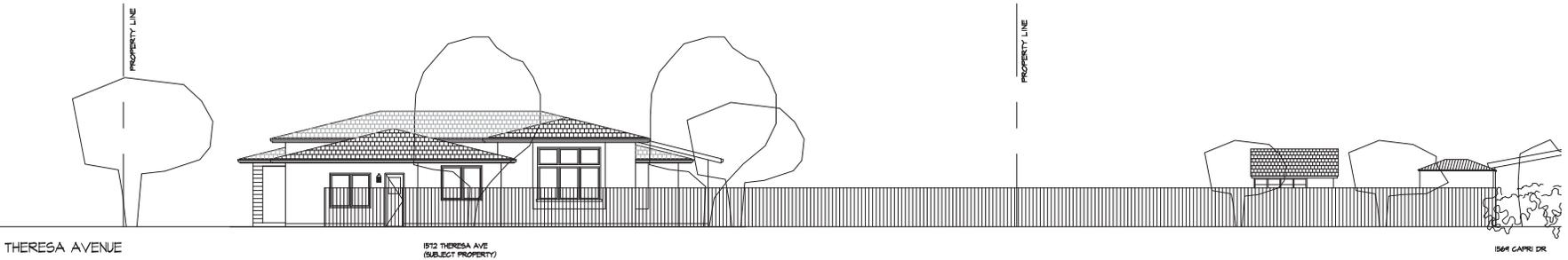
**STREET
VIEWS**

A3.4



① STREET VIEW ON THERESA AVENUE

1/8" = 1'-0"



② STREET VIEW ON W. PARR AVENUE

1/8" = 1'-0"

1572 Theresa/11/6/17 (3)

Summary:
The trees on site are a mix of native oaks and several imported trees (exotics). The trees are in very poor to fair condition with no excellent trees on site. The trees have not been well maintained recently with the cedar tree #9 being the only trimmed tree.

Plan #1: Cedar #2, Black walnut #7 and apricot #8 are all in severe decline and should be removed. The trees will continue to decline and soon will die. Removal and replacement of the protected trees should be carried out.

The two protected oak trees #1 and #5 have poor form with included bark. Removal of these trees are recommended. The trees are also poorly located and reduce the use of the property.

Dead cedar #9 is poorly located and does not contribute to the property. The tree has a history of limb loss and has had recent limb removal. The tree was poorly trimmed with the tree trimmers using climbing spikes from the base to climb the tree. The trimming consisted of limb removal which will encourage end weight growth and increase the chances of limb failure.

If any trees on this site are retained the following tree protection plan will help reduce impacts to the retained trees.

Tree Protection Plan:
Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2-inch diameter metal poles pounded into the ground to a depth of no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be placed at 10X the tree diameter where possible.

Where not possible tree protection should be placed as close as possible to the proposed work while still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the drip-line of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The following tree protection distances should be followed throughout the entire length of the project:

Landscape Buffer

Where tree protection does not cover the entire root zone of the trees (10X diameter), or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Kiely Arborist Services LLC

Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
656-515-9783

November 6, 2017

Mr. Michael Ma
20660 Stevens Creek Boulevard
Cupertino, CA 95014

Site: 1572 Theresa, Campbell, CA

Dear Mr. Ma,

As requested on Friday, November 3, 2017, I visited the above site to inspect and comment on the trees. New construction is proposed for this site and your concern as to the future health and safety of the trees on site has prompted this visit.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a to scale map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition ratings are based on 50 percent vitality and 40 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

1572 Theresa/11/6/17 (4)

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist by spraying the burlap multiple times a day.

Trenching and Excavation

Trenching for irrigation, electrical, drainage or any other reason, should be done when beneath the drip-line of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open with exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below. The site arborist will be on site during any excavation within the drip-lines of protected trees.

Irrigation

Normal irrigation should be maintained throughout the entire length of the project. Irrigation should consist of surface flooding, with enough water to wet the entire root zone. If the root zone is traumatized this type of irrigation should be carried out two times per month during the warm dry season.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A

1572 Theresa/11/6/17 (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Plum (<i>Prunus ramosa</i>)	14.1 @ 1'	15	25/30	Poor vigor, poor form, nearly dead.
2	Incense cedar (<i>Calocedrus decurrens</i>)	31.1	35	50/35	Poor vigor, poor form, top is dead.
3	Coast live oak (<i>Quercus agrifolia</i>)	10.8	50	23/25	Good vigor, poor form, lean southeast, poor location.
4P	Coast live oak (<i>Quercus agrifolia</i>)	12.3	55	30/25	Fair vigor, fair form, multi leader at 5 feet.
5P	Coast live oak (<i>Quercus agrifolia</i>)	12.8	45	30/25	Fair vigor, poor form, poor crotch at 4 feet.
6	Black walnut (<i>Juglans californica</i>)	7.8	50	30/25	Fair vigor, fair form, codominant at 8 feet.
7	Black walnut (<i>Juglans californica</i>)	4.9	40	25/15	Fair vigor, poor form, re-sprouts from removed tree.
8	Apricot (<i>Prunus armeniaca</i>)	11.5	25	10/10	Poor vigor, poor form, decay in trunk.
9P	Dead cedar (<i>Cedrus deodara</i>)	35.4	55	50/55	Fair vigor, fair form, recently trimmed, history of limb loss, poor location.
10P	Black walnut (<i>Juglans californica</i>)	14	55	25/25	Poor-fair vigor, fair form, 3 feet from property line.
11*	Avocado (<i>Ferrea americana</i>)	8	45	25/20	Poor-fair vigor, poor form, leans south.
12	Nyctoma (<i>Nyctoma congestum</i>)	4.5	55	10/10	Good vigor, poor form, poor location.

*indicates neighbor's tree P indicates protected tree.



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CLIENT

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JOB NO.

ARBORIST REPORT

GRADING AND DRAINAGE PLANS

ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 1572 THERESA AVENUE, CAMPBELL, CA
BUILDING PERMIT NO. 2017 -
ASSESSORS PARCEL NO. 406-23-014

INDEX OF DRAWINGS

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CITY STANDARD DETAILS	2
GRADING AND DRAINAGE PLAN	3
EROSION CONTROL PLAN	4
BLUE PRINT FOR A CLEAN BAY	5

- CALIFORNIA BUILDING CODE**
ALL WORK SHALL COMPLY WITH THE 2015 CALIFORNIA BUILDING CODE.
- O.S.H.A. REGULATIONS**
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- GEOTECHNICAL (SOILS) REPORT**
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL (SOILS) REPORT PREPARED BY CAPEX, DATED JUNE 18, 2016, PROJECT NO. 1078.
- SPECIFICATIONS AND OBSERVATIONS**
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY (866-210) SHALL BE NOTICED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM**
PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.

- LOCAL NON-POINT SOURCE ORDINANCE**
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.

- UNDERGROUND UTILITIES AND STRUCTURES**
THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL MAKES NO CLAIM OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.

- EROSION CONTROL**
EROSION CONTROL, PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.

- UTILITY ELEVATION VERIFICATION**
THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND STORM DRAIN CONSTRUCTION PLOT TO ANY SITE WORK. SHOULD LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.

- UTILITY CROSSINGS**
THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.

- GRADING REQUIREMENTS**
DRAINAGE, INCLUDING ALL CURBS AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2% FOR AT LEAST 5 FEET. MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN 1%.

- GRADED SITE ELEVATIONS**
ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 MM) PLUS 2 PERCENT. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS MAINTAINED AT ALL TIMES.

- CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY**
THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

- TOPOGRAPHY SURVEY**
THE TOPOGRAPHY SURVEY MADE BY RW ENGINEERING, INC. ON 11/17/16.

- TREE REMOVAL AND PRESERVATION**
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.

- PROJECT PLANS**
THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.

- FINAL LETTER OF INSPECTION**
THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.

- GRADE EVENLY**
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.

- APPROVAL OF PLANS**
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OR INTERESTS TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS, PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITY AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.

- WELL LOCATIONS**
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 302 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.

- EARTHWORK QUANTITIES**
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND ADJUST FEES.

- ELEVATION ADJUSTMENTS**
ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.

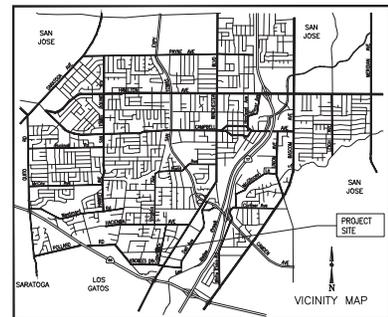
- TRUCK ROUTE**
THE TRUCK ROUTE SHALL BE ON HACIENDA AVENUE OR KNOWLES DRIVE.

- CONTRACTOR RESPONSIBILITIES**
THE SOILS ENGINEER AND ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMANS ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

- NEAT AND CLEAN PREMISES**
DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNDESIRABLE ACCUMULATION OF RUBBISH



CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS



AGENCY INDEX

- | | |
|------------------------------------|----------------|
| SANTA CLARA COUNTY FIRE DEPARTMENT | (408) 378-4010 |
| CITY OF CAMPBELL - PUBLIC WORKS | (408) 866-2150 |
| CITY OF CAMPBELL - POLICE | (408) 866-2121 |
| SDC TELEPHONE | (408) 811-3900 |
| PACIFIC GAS & ELECTRIC | (408) 973-9890 |
| SAN JOSE WATER COMPANY | (408) 279-7900 |
| SANTA CLARA VALLEY WATER DISTRICT | (408) 265-2600 |
| COMCAST CABLE TELEVISION | (408) 452-9100 |
| WEST VALLEY SANITATION DISTRICT | (408) 378-2407 |

- ANY ABANDONED UNDERGROUND PIPES**
ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED ADEQUATELY PULGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CAMPBELL BUILDING DIVISION.

- HUMAN REMAINS**
IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE CITY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.

- MAINTENANCE PROCEDURES**
THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

- DUST CONTROL**
ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

- CONSTRUCTION MITIGATION MEASURE**
HOURS OF CONSTRUCTION SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND 9:00 A.M. TO 4:00 P.M. ON SATURDAY. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE ON SUNDAYS AND HOLIDAYS.

- CONSTRUCTION PERIMETER RETENTION WALLS**
ALL PROPERTY LINE RETENTION WALLS SHALL BE MADE OF CONCRETE OR MASONRY.

- STORMWATER TREATMENT FACILITIES**
ALL STORMWATER TREATMENT FACILITIES REQUIRE PUBLIC WORKS INSPECTIONS. CALL 408-866-2150 TO SCHEDULE INSPECTIONS 48-HOURS PRIOR.

ABBREVIATIONS

AB	AGGREGATE BASE	LOL	LAYOUT LINE
AC	ASPHALT CONCRETE	MAX	MAXIMUM
BC	BEGIN CURVE	MH	MANHOLE
BCR	BEGIN CURB RETURN	MIN	MINIMUM
CL	CLASS	OG	ORIGINAL GRADE
DIA	DIAMETER	PB	PULL BOX
DWY	DRIVEWAY	PCC	PORTLAND CEMENT CONCRETE
EC	EDGE CURVE	PVC	POLYVINYL CHLORIDE
ED	EDGE DRAIN	R	RADIUS
EG	EXISTING	RC	REINFORCED CONCRETE PIPE
FC	FACE OF CURB	RIW	RIGHT-OF-WAY
FG	FINISH GRADE	STA	STATION
FG	FIRE HYDRANT	SW	SIDEWALK
INV	INVERT	TC	TOP OF CURB
IRR	IRRIGATION	TEMP	TEMPORARY
		TYP	TYPICAL

Earthwork Quantities

FILL:	5 CY
CUT:	20 CY
IMPORT:	0 CY
EXPORT:	15 CY

CITY OF CAMPBELL
PLANNING DIVISION CLEARANCE

PLAN CHECK # _____
APPROVED BY: _____
DATE: _____

THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL OPERATION REPORT ON _____ IN CAMPBELL, CALIFORNIA, PROJECT NO. _____, DATED _____, PREPARED BY _____

(NAME) _____ DATE _____

CITY OF CAMPBELL
PUBLIC WORKS DEPARTMENT CLEARANCE

THIS PLAN WITH ATTACHED DOCUMENTS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF CAMPBELL AND STATE OF CALIFORNIA CODES AND THE CURRENT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THIS PLAN SHALL NOT BE CHANGED OR MODIFIED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. WORK PERFORMED RELATED TO THIS PLAN SHALL BE DONE IN ACCORDANCE WITH THIS PLAN AND ALL APPLICABLE CODES. THIS APPROVAL SHALL NOT BE HELD TO PERMIT OR UNDERSTOOD AS TO BE AN APPROVAL OF A VIOLATION OF ANY CITY OR STATE LAW.

BENCHMARK
ELEVATION: 259.88' NAVD 88 DATUM
LOCATION: ON W. PARR AVENUE
DESCRIPTION: PK NAIL SET
WEBSITE FOR CITYWIDE BENCHMARKS: <http://www.ci.campbell.ca.us/85/Benchmark>

SEAL OF ENGINEER OF WORK:
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.
THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
THE DESIGN INCLUDES PRINCIPLES AND TECHNIQUES TO REDUCE QUANTITY AND IMPROVE THE QUALITY OF STORM WATER RUNOFF, AS REQUIRED BY NPDES.
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

[Signature] C50541

P.E.
SCALE: N.T.S.
SHEET: 1 of 5

Revision: _____ Date: 7/28/17
Drawn By: TN
Designed By: TN

RW ENGINEERING, INC.
CIVIL ENGINEERS
LAND SURVEYORS
550 ALAMONT DRIVE, MILPITAS, CA 95035
(415) 962-8800
www.rwengr.com

RW

TITLE SHEET
GRADING AND DRAINAGE PLANS
PROJECT ADDRESS: 1572 THERESA AVENUE, CAMPBELL, CA
BUILDING PERMIT NO. 2017-_____
CAMPBELL, CALIFORNIA

SCALE: N.T.S.
SHEET: 1 of 5

No.	Revision	Date	By	Chd

Date: 7/28/17
 Drawn By: TN
 Designed By: TN

RW
 RW ENGINEERING, INC.
 CIVIL ENGINEERS LAND SURVEYORS
 555 ALAMONT DRIVE, MOUNTAIN VIEW, CA 94039
 (916) 468-5556
 www.rwengineering.com

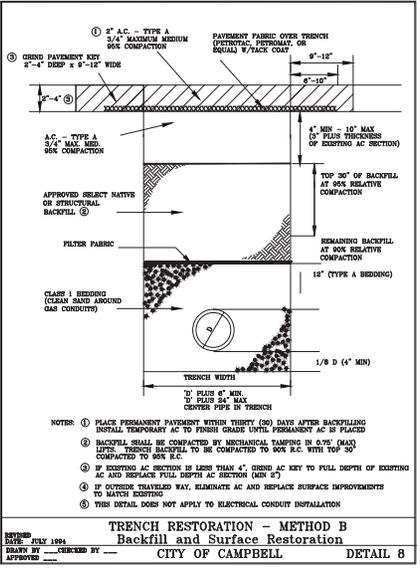
CITY STANDARD DETAILS
 GRADING AND DRAINAGE PLANS
 PROJECT ADDRESS: 1572 THERESA AVENUE, CAMPBELL, CA
 BUILDING PERMIT NO. 2017-...



CAMPBELL, CALIFORNIA

SCALE:
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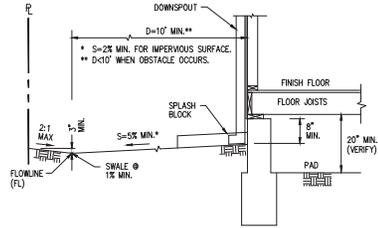
SHEET:
 2 OF 5



GRADING NOTES:

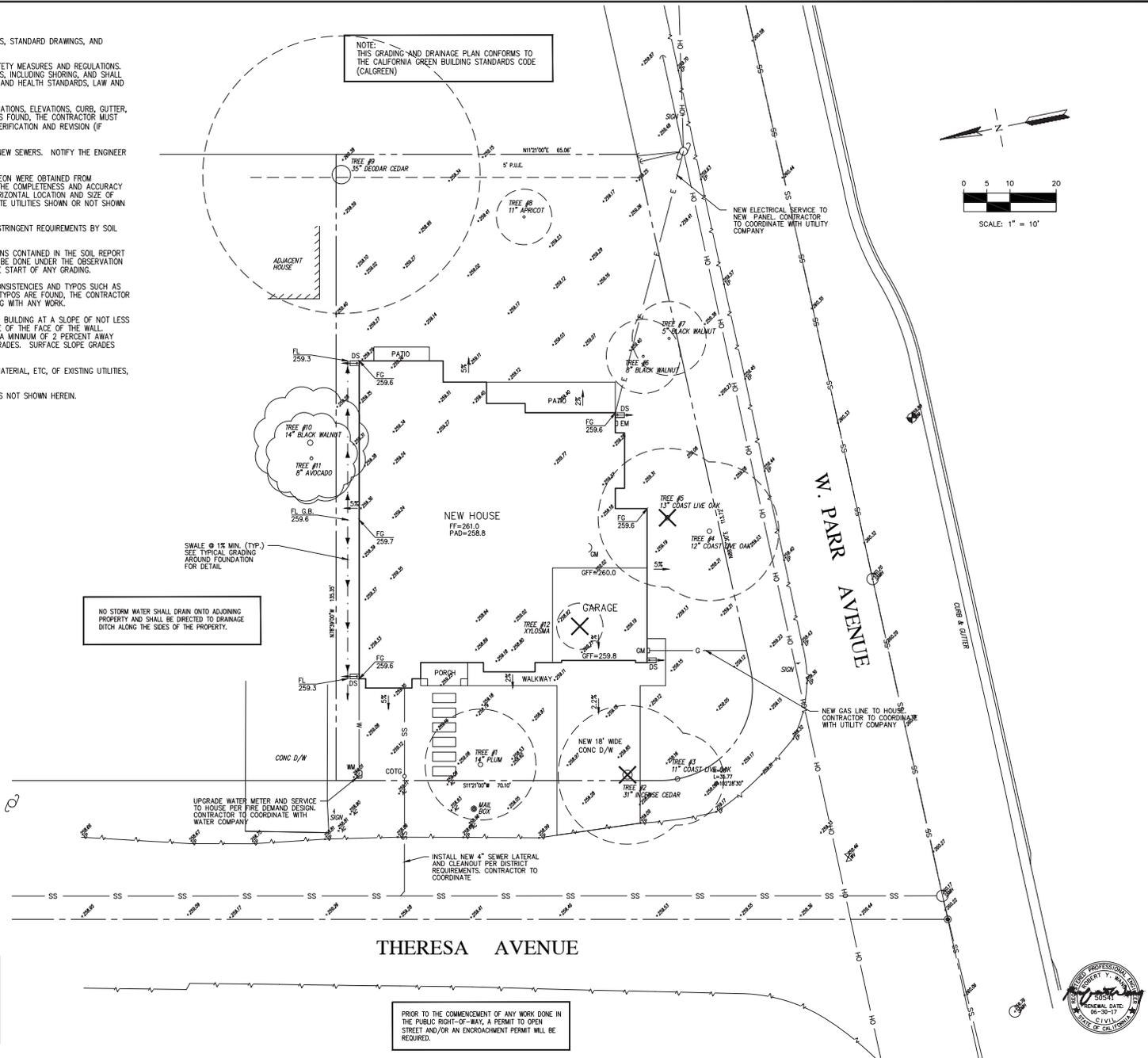
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF CAMPBELL.
- THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPUS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPUS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
- GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
- FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
- SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

NOTE:
CONTRACTOR SHALL VERIFY ALL FINISH FLOOR, GARAGE FLOOR, AND PAD ELEVATION WITH STRUCTURAL PLAN PRIOR TO CONSTRUCTION.



TYPICAL GRADING AROUND FOUNDATION
NOT TO SCALE

- NOTE TO CONTRACTOR:
- CONTRACTOR SHALL MANAGE AND CONTROL STORMWATER DURING CONSTRUCTION. INTERIM GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PROVIDED TO ENSURE NO STORMWATER WILL FLOW ONTO ADJACENT PROPERTIES AND TO RETAIN AS MUCH STORMWATER AS FEASIBLE ON-SITE UNTIL FINAL GRADING AND DRAINAGE IMPROVEMENTS ARE IN PLACE.
 - LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.
 - CONTRACTOR SHALL VERIFY PAD ELEVATION WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS AS NECESSARY.



NOTE:
THIS GRADING AND DRAINAGE PLAN CONFORMS TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)

NO STORM WATER SHALL DRAIN ONTO ADJOINING PROPERTY AND SHALL BE DIRECTED TO DRAINAGE DITCH ALONG THE SIDES OF THE PROPERTY.

PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

<p>RW ENGINEERING, INC. CIVIL ENGINEERS LAND SURVEYORS 555 ALAMONT DRIVE, MORTICO, CA 95030 (916) 468-5555 www.rwengr.com</p>	Date: 7/28/17	By: []
	Drawn By: TN	Checked By: []
<p>GRADING & DRAINAGE PLANS PROJECT ADDRESS: 1572 THERESA AVENUE, CAMPBELL, CA BUILDING PERMIT NO. 2017-...</p>	<p>SCALE: N.T.S.</p>	<p>SHEET: 3 OF 5</p>



GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION AVOIDANCE SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED, AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL, PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

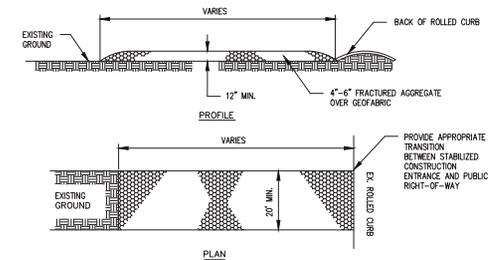
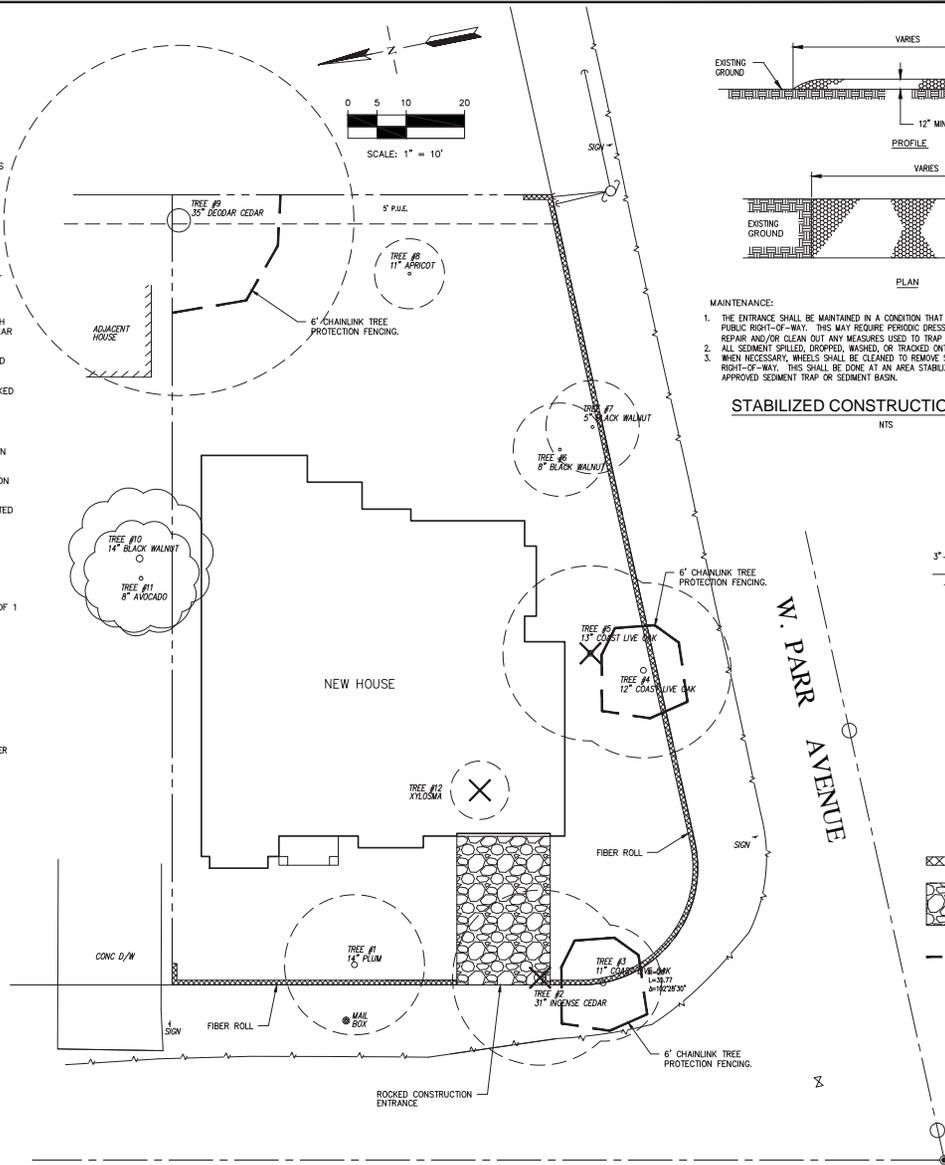
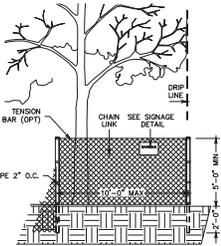
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.

ADDITIONAL NOTES:

1. STABILIZE ALL DENUDED AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETOURING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING, OR MAINTENING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.

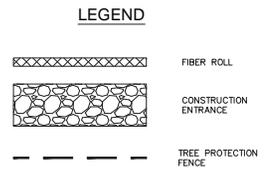
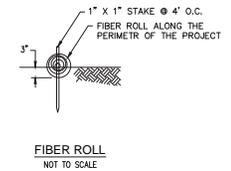
EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE CITY OF CAMPBELL PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.



- MAINTENANCE:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.
 2. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

STABILIZED CONSTRUCTION ENTRANCE (TO BE MAINTAINED)



THERESA AVENUE

Chd			
By			
Date			
Revision			
No.			
Date	7/28/17	Drawn By:	TN
Designed By:	TN		
<p>RW ENGINEERING, INC. CIVIL ENGINEERS LAND SURVEYORS 550 ALAMONT DRIVE, SUITE 100, CAMPBELL, CA 95008 (408) 438-0800 www.rwengineering.com</p>			
<p>GRADING & DRAINAGE PLANS PROJECT ADDRESS: 1572 THERESA AVENUE, CAMPBELL, CA BUILDING PERMIT NO. 2017-...</p>			
<p>CAMPBELL, CALIFORNIA</p>			
SCALE:	N.T.S.		
SHEET:	4 OF 5		



FRESH CONCRETE AND MORTAR APPLICATION BEST MANAGEMENT PRACTICES FOR:	LANDSCAPING, GARDENING, AND POOL MAINTENANCE BEST MANAGEMENT PRACTICES FOR THE:	LANDSCAPING GARDEN MAINTENANCE BEST MANAGEMENT PRACTICES FOR THE:	HEAVY EQUIPMENT OPERATION BEST MANAGEMENT PRACTICES FOR THE:	PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP
<ul style="list-style-type: none"> Masons and bricklayers Sidewalk construction crews Plato construction workers Construction inspectors General contractors Home builders Developers <p>When cleaning up after driveway or sidewalk construction, wash lines onto dirt areas, not down the driveway or into the street or storm drain.</p> <p>Place bay hales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.</p> <p>Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and wind. Protect dry materials from wind.</p> <p>Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.</p> <p>Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.</p> <p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials in the storm drains or creeks causes serious problems and is prohibited by law.</p>	<ul style="list-style-type: none"> Landscapers Gardeners Swimming pool/spa service and repair workers General contractors Home builders Developers <p>Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.</p> <p>Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.</p> <p>Schedule grading and excavation projects for dry weather.</p> <p>Use temporary check dams or ditches to divert runoff away from storm drains.</p> <p>Protect storm drains with bay hales or other erosion controls.</p> <p>Revegetation is an excellent form of erosion control for any site.</p>	<ul style="list-style-type: none"> Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash. Dispose of unused pesticide as hazardous waste. Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost. In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste. Do not blow or rake leaves, etc. into the street. <p>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p>	<ul style="list-style-type: none"> Vehicle and equipment operators Site supervisors General contractors Home builders Developers <p>Designate one area of the construction site, well away from streams and storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.</p> <p>Maintain all vehicles and heavy equipment. Inspect frequently for leaks.</p> <p>Perform major maintenance, repair jobs, vehicle and equipment washing off site.</p> <p>If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.</p> <p>Do not use diesel oil to lubricate equipment or parts.</p> <p>Clean up spills immediately when they happen.</p>	<ul style="list-style-type: none"> Painters Paperhangers Plasterers Graphic artists Dry wall crews Floor covering installers General contractors Home builders Developers <p>Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.</p> <p>For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.</p> <p>For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.</p> <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Recycle/reuse leftover paints whenever possible. Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste. Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste. <p>PAINT REMOVAL</p> <ul style="list-style-type: none"> Chemical paint stripping residue is a hazardous waste. Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash. When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spill into soil. Or, check with the local wastewater treatment authority to find out if you can collect (map or vacuum) building cleaning water and dispose of the sanitary sewer.
<h1>Blueprint for a Clean Bay</h1> <h2>BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.</h2> <h3>SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM</h3>				
<p>EARTH MOVING ACTIVITIES</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Bulldozers, backhoe, and grading machine operators Dump truck drivers Site supervisors General contractors Home builders Developers 	<p>DETECTING CONTAMINATED SOIL OR GROUNDWATER</p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p> <p>WATCH FOR ANY OF THESE CONDITIONS:</p> <ul style="list-style-type: none"> Unusual soil conditions, discoloration, or odor Abandoned underground tanks Abandoned wells Buried barrels, debris, or trash 	<p>ROADWORK AND PAVING</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Road Crews Driveway/sidewalk/parking lot construction crews Seal coat contractors Operators of grading equipment dump trucks concrete mixers Construction inspectors General contractors Developers 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry 	<p>ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION PREVENTION</p> <p>Spill Response Agencies</p> <ol style="list-style-type: none"> Dial 911 Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours). <p>Local Pollution Control Agencies</p> <p>Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195</p> <p>Santa Clara Valley Water District (408) 927-0710</p> <p>San Jose Santa Clara Water Pollution Control Plant (408) 945-5300</p> <p>Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga</p> <p>Sunnyvale Water Pollution Control Plant (408) 730-7270</p> <p>Palo Alto Regional Water Quality Control Plant (415) 328-2508</p> <p>Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford</p>
<p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Don't mix up more fresh concrete or cement than you will use in a day. Set up and operate small mixers on tarps or heavy plastic drop cloths. <p>Remove existing vegetation only when absolutely necessary.</p> <p>Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.</p> <p>Protect downslope drainage courses, streams, and storm drains with bay hales or temporary drainage swales.</p> <p>Use check dams or ditches to divert runoff around excavations.</p> <p>Cover stockpiles and excavated soil with secured tarps or plastic sheeting.</p>	<p>WHAT CAN YOU DO?</p> <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Develop and implement erosion/sediment control plans for embankments. Schedule excavation and grading work for dry weather. Check for and repair leaking equipment. Perform major equipment repairs in designated areas at your yard, away from the construction site. When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks. Do not use diesel oil to lubricate equipment or parts. <p>STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES</p> <p>Soil excavation and grading operations loosen large amounts of dirt that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.</p>	<p>ROADWORK AND PAVING</p> <ul style="list-style-type: none"> Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose of dirt area. Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms. Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use. Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil. Collect and recycle or appropriately dispose of excess above-grade gravel or sand. Avoid over application by water trucks for dust control. <p>ASPHALT-CONCRETE REMOVAL</p> <ul style="list-style-type: none"> Avoid creating excess dust when breaking asphalt or concrete. After breaking old pavement, be sure to remove all chunks and pieces. Do not use diesel oil to lubricate equipment or parts. Recycle used oil, concrete, broken asphalt, etc. whenever possible. 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION</p> <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and berms if necessary. Make major repairs off site. Keep pollutants off of exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down. Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site. Make sure portable toilets are in good working order. Check frequently for leaks. 	<p>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</p> <p>A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>
<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Schedule excavation and grading work for dry weather. Perform major equipment repairs away from the job site. When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains. Do not use diesel oil to lubricate equipment or parts. 	<p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>			

Created By:					
Revised By:					
Approved By:					
Date:	07/07/03				
Drawn By:					
Designed By:					

PLAN FOR THE IMPROVEMENT OF
BLUEPRINT FOR A CLEAN BAY
 ENCROACHMENT PERMIT NO.



SCALE:
N.T.S.

SHEET:
9 OF 9

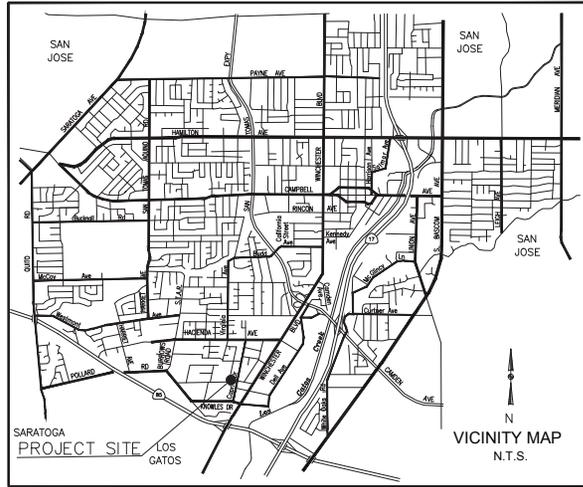
GENERAL NOTES

- 1. ENCROACHMENT PERMIT**
OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT BEFORE PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. MAINTAIN A COPY OF THE PERMIT ON THE JOB SITES AT ALL TIMES.
- 2. WORK CONFORMANCE REQUIREMENTS**
THE WORK ENBRAGED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CAMPBELL STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (CCSS) DATED JULY 1994, AND IN ACCORDANCE WITH THE PROJECT PLANS. ATTENTION IS ALSO DIRECTED TO THE CITY OF SAN JOSE STANDARD SPECIFICATIONS (SSSS) AND STANDARD DETAILS (SDSD) DATED JULY 1992, THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS (SS) AND STANDARD PLANS (SSP) DATED MAY 2006, PORTIONS OF WHICH ARE INCORPORATED INTO THE CCSS BY REFERENCE.
- 3. WORK IN PUBLIC RIGHT-OF-WAY**
THESE PLANS ONLY APPROVE WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND PUBLIC EASEMENTS. SEPARATE PLAN APPROVALS AND PERMITS ARE REQUIRED FOR INSTALLATION OF ANY PUBLIC UTILITY FACILITY, AND ANY WORK ON PRIVATE PROPERTY.
- 4. CONTRACTOR RESPONSIBILITIES**
THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF THE WORK, EXCEPTING LIABILITY ARISING FROM THE NEGLIGENCE OF THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS.
- 5. GEOTECHNICAL (SOILS) REPORT**
GEOTECHNICAL CONSTRUCTION REPORTS SHALL BE A REPORT ENTITLED "PREPARED FOR [PROJECT NAME] DATED [DATE] THE REPORT IS FOR INFORMATION ONLY."
- 6. PROJECT SCHEDULE**
PRIOR TO CONSTRUCTION, SUBMIT TO THE CITY ENGINEER A DETAILED PROJECT SCHEDULE SHOWING PRIMARY COMMITMENTS OF WORK.
- 7. UNDERGROUND SERVICE ALERT**
CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT 800-227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY EXCAVATIONS. CONTRACTOR SHALL HAND DIG TO EXPOSE EXISTING UTILITIES. FAILURE TO COMPLY MAY RESULT IN SUBSTANTIAL FINES IN ACCORDANCE WITH GOVERNMENT CODE SECTION 4216.
- 8. UNDERGROUND STRUCTURES**
THE EXISTENCE AND LOCATIONS OF UNDERGROUND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING FACILITIES EXCEPT AS SHOWN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL SUBSTRUCTURES, WHETHER SHOWN ON THE PLANS OR NOT. MAKE EXPLORATORY EXCAVATIONS, AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THESE PLANS WHEN NECESSARY. THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.
- 9. TRAFFIC CONTROL PLAN**
PREPARE, SUBMIT TO THE CITY ENGINEER FOR REVIEW, AND IMPLEMENT TRAFFIC CONTROL PLANS AS REQUIRED IN THE STANDARD SPECIFICATIONS. PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES, TO ENSURE SAFE PEDESTRIAN AND VEHICULAR ACCESS THROUGH AND AROUND THE JOB SITE. NOTIFY THE POLICE DEPARTMENT DAILY OF LANE CLOSURES OR DELAYS WITHIN ROADWAYS. PROVIDE A 24-HOUR EMERGENCY RESPONSE TELEPHONE NUMBER TO THE CITY ENGINEER.
- 10. EROSION, DUST, AND DRAINAGE CONTROL**
PROVIDE TEMPORARY EROSION, DUST, AND DRAINAGE CONTROL MEASURES DURING CONSTRUCTION. FOLLOW BEST MANAGEMENT PRACTICES AS RECOMMENDED BY SANTA CLARA COUNTY NON-POINT SOURCE POLLUTION CONTROL PROGRAM. PRIOR TO CONCRETE SARCOTTING OR WASHING, PLACE FILTER FABRIC MATERIAL IN THE FLOW LINE OF GUTTERS TO RETAIN DEBRIS AND TO PREVENT DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. PICK UP, SWEEP OR VACUUM, AND DISPOSE OF EXCESS SOIL AND DEBRIS FROM THE JOB SITE PERMITS AND PAY FEES REQUIRED TO DISPOSE OF EXCESS MATERIALS.
- 11. PROTECTION AND REPAIR OF IMPROVEMENTS AND UTILITIES**
TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS AND UTILITIES WHICH ARE TO REMAIN IN PLACE. EXPEDITIOUSLY REPAIR IN KIND BENCHMARKS AND UTILITIES REMOVED OR DAMAGED BY THE CONTRACTOR'S OPERATIONS.
- 12. INCONSISTENCIES BETWEEN PLANS AND FIELD CONDITIONS**
NOTIFY THE CITY ENGINEER IMMEDIATELY OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS. NO DEVIATION FROM THESE PLANS IS PERMITTED WITHOUT APPROVAL OF THE CITY ENGINEER.
- 13. CONSTRUCTION STAKING**
SUBMIT TWO SETS OF CONSTRUCTION STAKING CUT SHEETS TO THE CITY PRIOR TO INSPECTION OF WORK REQUIRING STAKING.
- 14. INSTALLATION OF UNDERGROUND UTILITIES**
INSTALL ALL UNDERGROUND UTILITIES IN PAVED AREAS PRIOR TO STARTING WORK ON NEW STREET STRUCTURAL SECTIONS OR OVERLAYS.
- 15. IRRIGATION LINES IN PUBLIC RIGHT-OF-WAY**
REMOVE, PLUG OR RELocate EXISTING IRRIGATION LINES WITHIN THE PUBLIC RIGHT-OF-WAY AS DIRECTED BY THE CITY ENGINEER. REMOVE ABANDONED IRRIGATION LINES WITHIN 12 INCHES OF THE GRADING PLANE.
- 16. GRADE UNIMPROVED AREAS TO CONFORM**
GRADE UNIMPROVED AREAS ADJACENT TO NEW CURBS, GUTTERS SIDEWALKS AND PAVEMENT TO CONFORM TO NEW IMPROVEMENTS AND TO PROVIDE FOR SAFETY AND DRAINAGE.
- 17. STREET LIGHTS**
NEW STREET LIGHTS SHALL BE 240 VOLT. POLE REQUIRED FEES, PERMITS, INSTALLATIONS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER. PROVIDE A COPY OF POLE RECEIPTS TO THE CITY ENGINEER.
- 18. SURVEY REFERENCE POINTS**
PROTECT, OR RESTORE BY A LICENSED SURVEYOR CIVIL ENGINEER, SURVEY MONUMENTS AND BENCHMARKS DAMAGED, OR DESTROYED DURING CONSTRUCTION. FILE CORNER RECORD OR RECORD OF SURVEY AS REQUIRED.
- 19. AS BUILT PLANS**
SUBMIT AS BUILT PLANS, SIGNED BY THE ENGINEER OF WORK AND ACCEPTABLE TO THE CITY ENGINEER, PRIOR TO FINAL ACCEPTANCE.
- 20. TRUCK ROUTE**
THE TRUCK ROUTE SHALL BE TO AND FROM WINCHESTER BOULEVARD
- 21. UTILITY ENCROACHMENT PERMIT**
OBTAIN SEPARATE PERMITS WITH EACH UTILITY FOR THE INSTALLATION OF ALL UTILITIES THAT WILL SERVE THE DEVELOPMENT (INCLUDING WATER, SEWER, GAS, ELECTRIC, ETC.). APPLICANT SHALL APPLY FOR AND PAY ALL NECESSARY FEES FOR UTILITY PERMITS FOR SANITARY SEWER, GAS, WATER, ELECTRIC AND ALL OTHER UTILITY WORK. THE PLAN SHALL CLEARLY SHOW THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND THE ASSOCIATED MAIN LINES. INDICATE WHICH UTILITIES AND SERVICES ARE TO REMAIN; WHICH UTILITIES AND SERVICES ARE TO BE ABANDONED, AND WHERE NEW UTILITIES AND SERVICES WILL BE INSTALLED. JOINT TRENCHES FOR NEW UTILITIES SHALL BE USED WHENEVER POSSIBLE. THE LOCATIONS OF THE UTILITIES SHALL NOT DEVIATE FROM THE PROPOSED LOCATIONS ON THE OFF-SITE STREET IMPROVEMENT PLANS.
- 22. STORM SEWER SYSTEM REQUIREMENTS**
 - ALL STORM DRAIN LATERALS ARE TO BE 12" RCP UNLESS NOTED OTHERWISE.
 - DOWN MAINS AND COVERS SHALL BE 18" COMPACTED SAND COMPACTED IN THE ROADWAY.
 - CONTRACTOR SHALL PROVIDE VIDEO INSPECTION OF ALL NEWLY CONSTRUCTED STORM MAINS PRIOR TO PROJECT ACCEPTANCE.
 - CONTRACTOR SHALL INSTALL NO DUMPING - FLOWS TO 84" MEDALLIONS OR STENCILS AT ALL INLETS AND CATCH BASINS WITHIN THE PROJECT LIMITS.

STREET IMPROVEMENT PLANS - OFF-SITE
1572 THERESA AVENUE
ENCROACHMENT PERMIT NO. 2018-



CITY OF CAMPBELL
DEPARTMENT OF PUBLIC WORKS



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COVER SHEET	1
STREET PLAN VIEW	2
CITY STANDARD DETAILS	3
BLUEPRINT FOR A CLEAN BAY	4

LEGEND

EXISTING	PROPOSED
SIDEWALK, CURB AND GUTTER	[Symbol]
CENTER LINE	[Symbol]
PROPERTY LINE	[Symbol]
EDGE OF PAVEMENT	[Symbol]
DRIVEWAY	[Symbol]
ACCESSIBILITY RAMP	[Symbol]
PCC OR AC REMOVAL	[Symbol]
STANDARD CITY MONUMENT	[Symbol]
BENCH MARK	[Symbol]
MANHOLE	[Symbol]
STORM DRAIN INLET	[Symbol]
WATER METER	[Symbol]
VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
STREET LIGHT	[Symbol]
POWER POLE	[Symbol]
PULL BOX	[Symbol]
CABLE TELEVISION LINE	[Symbol]
ELECTRICAL LINE	[Symbol]
IRRIGATION LINE	[Symbol]
NATURAL GAS LINE	[Symbol]
OVERHEAD LINE	[Symbol]
SANITARY SEWER LINE	[Symbol]
STORM DRAIN LINE	[Symbol]
TELEPHONE LINE	[Symbol]
WATER LINE	[Symbol]
TRAFFIC SIGNAL CONDUIT	[Symbol]
LIGHTING CONDUIT	[Symbol]
ROADSIDE SIGN & SIGN CODE	[Symbol]
FENCE	[Symbol]
TREE/SHRUB	[Symbol]

BENCHMARK

ELEVATION: 259.88' NAVD 88
LOCATION: ON W. PARR AVENUE
DESCRIPTION: PK NAIL SET

BASIS OF BEARINGS:

PER TRACT MAP NO. 321 FILED IN BOOK 10 OF MAPS AT PAGE 55, SANTA CLARA COUNTY RECORDS

AGENCY INDEX

- SANTA CLARA COUNTY FIRE DEPARTMENT (408) 378-4010
- CITY OF CAMPBELL - PUBLIC WORKS (408) 866-2150
- CITY OF CAMPBELL - POLICE (408) 866-2121
- PACIFIC GAS & ELECTRIC (408) 990-2061
- SAN JOSE WATER COMPANY (408) 279-7900
- SANTA CLARA VALLEY WATER DISTRICT (408) 265-2600
- COMCAST (BETWEEN 7:00AM AND 3:00PM) (408) 919-3245
- WEST VALLEY SANITATION DISTRICT (408) 378-2407
- UNITED STATES POSTAL SERVICE (408) 378-6786
- WEST VALLEY COLLECTION & RECYCLING (408) 283-8500
- VALLEY TRANSPORTATION AUTHORITY - BUS SERVICE (408) 321-5973

ABBREVIATIONS

- IRR IRRIGATION
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- PB PULL BOX
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RW RIGHT-OF-WAY
- SCW SEWER CLEAN OUT
- STA STATION
- SW SIDEWALK
- TC TOP OF CURB
- TEMP TEMPORARY
- TYP TYPICAL
- WM WATER METER
- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BC BEGIN CURVE
- BCR BEGIN CURB RETURN
- CL CLASS CENTERLINE
- DIA DIAMETER
- DWY DRIVEWAY
- ECR END CURB RETURN
- ED EDGE DRAIN
- EP EDGE OF PAVEMENT
- EX EXISTING
- FC FACE OF CURB
- FG FINISH GRADE
- FG FIRE HYDRANT
- FL FLOW LINE
- INV INVERT

GENERAL APPROVAL NOTE:

APPROVAL OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER/PERMITTEE OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS OR OMISSIONS CONTAINED THEREIN. DURING THE COURSE OF CONSTRUCTION, PUBLIC INTEREST REQUIRES A MODIFICATION OF THESE PLANS, OR THE STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF CAMPBELL, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE CONSTRUCTED, AT HIS/HER SOLE COST TO THE CITY.

APPROVED FOR IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY AS DESIGN ONLY BASED UPON INFORMATION SUBMITTED HEREON.

AMY OLAY, P.E.
CITY ENGINEER
CITY OF CAMPBELL

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8700 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND MODIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

Robert Wang C50541
SIGNATURE P.E.



SCALE: AS NOTED
SHEET: 1 OF 4

CITY OF CAMPBELL
Date: APR. 5, 2018
Drawn By: R. K.
Designed By: R. K.
RW ENGINEERING, INC.
CIVIL ENGINEERS LAND SURVEYORS
505 ALHAMBRA DRIVE, MILPITAS, CA 95035
(408) 756-1999 (408) 950-1000 (408) 854-5056
www.rw-engineering.com

CITY OF CALIFORNIA
Professional Engineer Seal

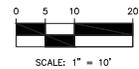
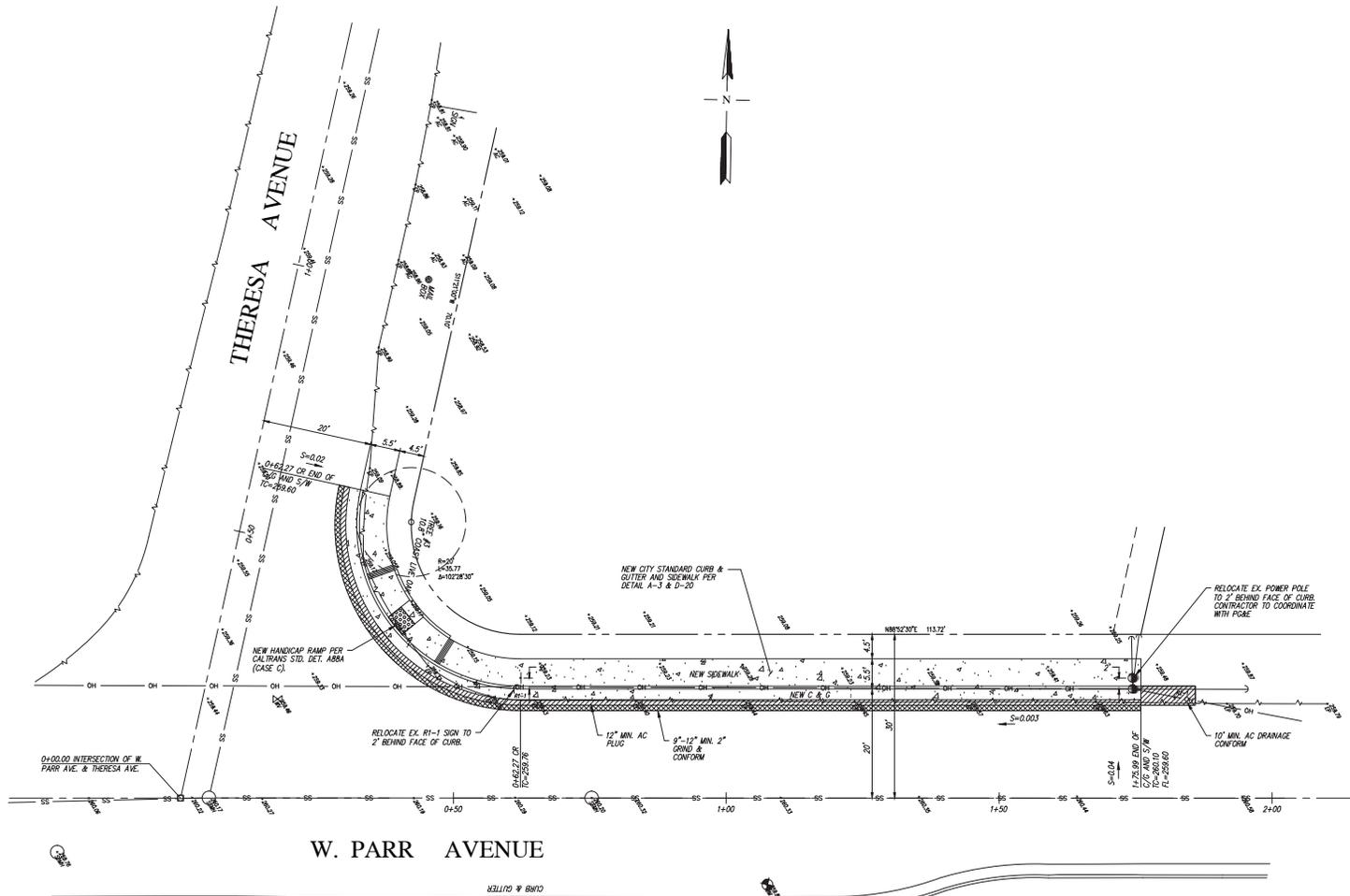
CITY OF CAMPBELL NOTES:

PAVEMENT RESTORATION NOTE:

1. THE CITY ENGINEER RESERVES THE RIGHT TO AMEND OR CHANGE THE PAVEMENT RESTORATION AREA SHOULD ANY UTILITY TRENCHES, CONNECTIONS, FACILITIES, ETC. CHANGE IN LOCATION FROM WHAT ARE SHOWN ON THESE PLANS, OR FOR PAVEMENT DAMAGE CAUSED BY THE CONTRACTOR'S CONSTRUCTION EQUIPMENT. ANY CHANGES THE CITY ENGINEER REQUIRES CAN INCLUDE BUT ARE NOT LIMITED TO:
 - A) FULL REMOVAL OF EXISTING PAVEMENT STRUCTURAL SECTION;
 - B) INSTALLATION OF PAVEMENT STRUCTURAL SECTION;
 - C) GRINDING AND INSTALLATION OF PAVEMENT OVERLAY OF PAVEMENT.
 SEE [HTTP://WWW.CITYOFCAMPBELL.COM/206/DOCUMENTS](http://www.cityofcampbell.com/206/documents) IF NEEDED.

RAMP NOTE:

2. CONSTRUCT CURB RAMP PER CALTRANS STD PLAN AB8A CASE C. SEE DETAIL AB8A ON SHEET J. DETECTABLE WARNING SURFACE SHALL BE PRECAST 1' X 1' X 2" ADA COMPLIANT DETECTABLE WARNING CONCRETE PAVERS - WAUSAU TERRA PAVERS, ADA 2-80, AS MANUFACTURED BY WAUSAU TILE OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE A SAMPLE PAVER A MINIMUM OF 14 DAYS PRIOR TO INSTALLATION. CITY RESERVES THE RIGHT TO CHANGE PAVER SPECIFICATIONS. SEE [HTTP://WWW.CITYOFCAMPBELL.COM/206/DOCUMENTS](http://www.cityofcampbell.com/206/documents) IF NEEDED.



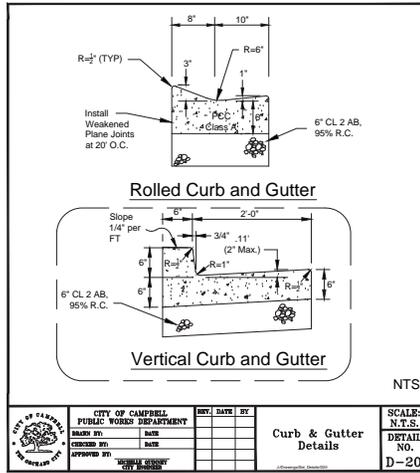
	Revision	Date	By	Chd
No.	No.	No.	No.	No.
Date: APR. 5, 2018	Date:	Date:	Date:	Date:
Drawn By: R. K.	Drawn By:	Drawn By:	Drawn By:	Drawn By:
Designed By: R. K.	Designed By:	Designed By:	Designed By:	Designed By:

RW ENGINEERING, INC.
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 (P) 415.326.1999 (F) 415.326.1998
www.rwengineering.com

STREET PLAN VIEW
OFF-SITE STREET IMPROVEMENT PLANS
1572 THERESA AVENUE
ENCROACHMENT PERMIT NO. 2018-

CAMPBELL, CALIFORNIA

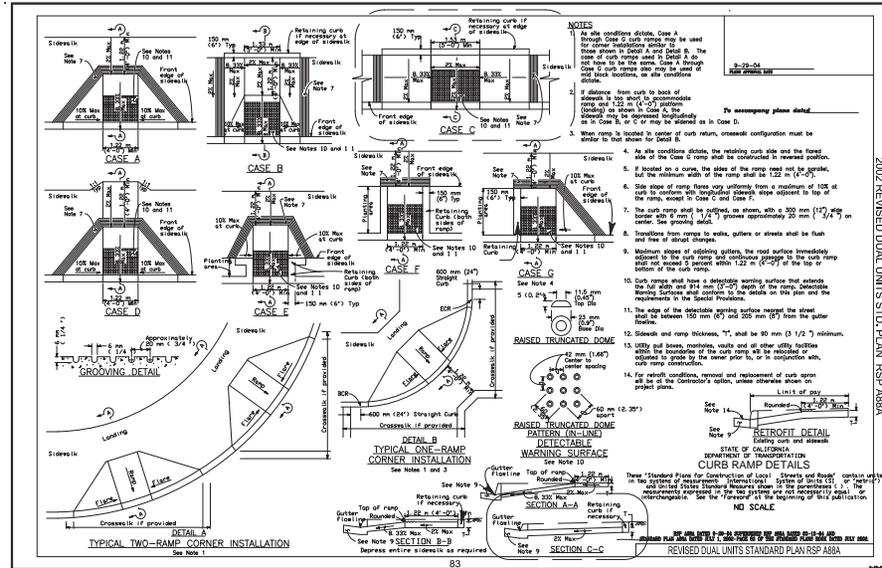
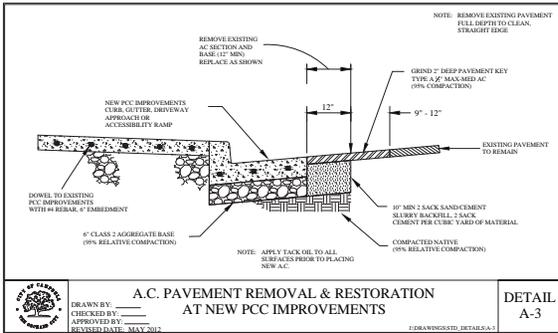
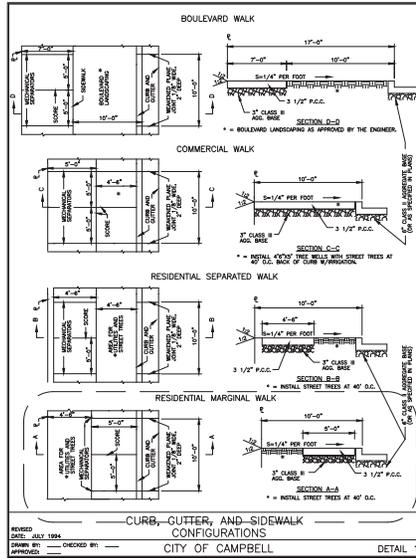
SCALE: AS NOTED	SHEET: 2 OF 4
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REV.	DATE	BY

Curb & Gutter Details

SCALE: N.T.S. DETAIL NO. D-20



NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THIS MAP SHALL NOT BE USED TO STAKE OUT CONSTRUCTION IMPROVEMENTS IN THE FIELD.
3. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SIGNED PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
5. BOUNDARY LINES DELINEATED ON THIS MAP ARE INFORMATIONAL BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA. THIS MAP IS NOT INTENDED AND SHALL NOT BE USED TO ESTABLISH BOUNDARY LINES.
6. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
7. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
8. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
9. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
10. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK: 

SET NAIL
ELEVATION=259.88' NAVD 88

BASIS OF BEARINGS:

PER TRACT MAP NO. 321, FILED IN BOOK 10 OF MAPS
AT PAGE 55, SANTA CLARA COUNTY RECORDS.

REFERENCES:

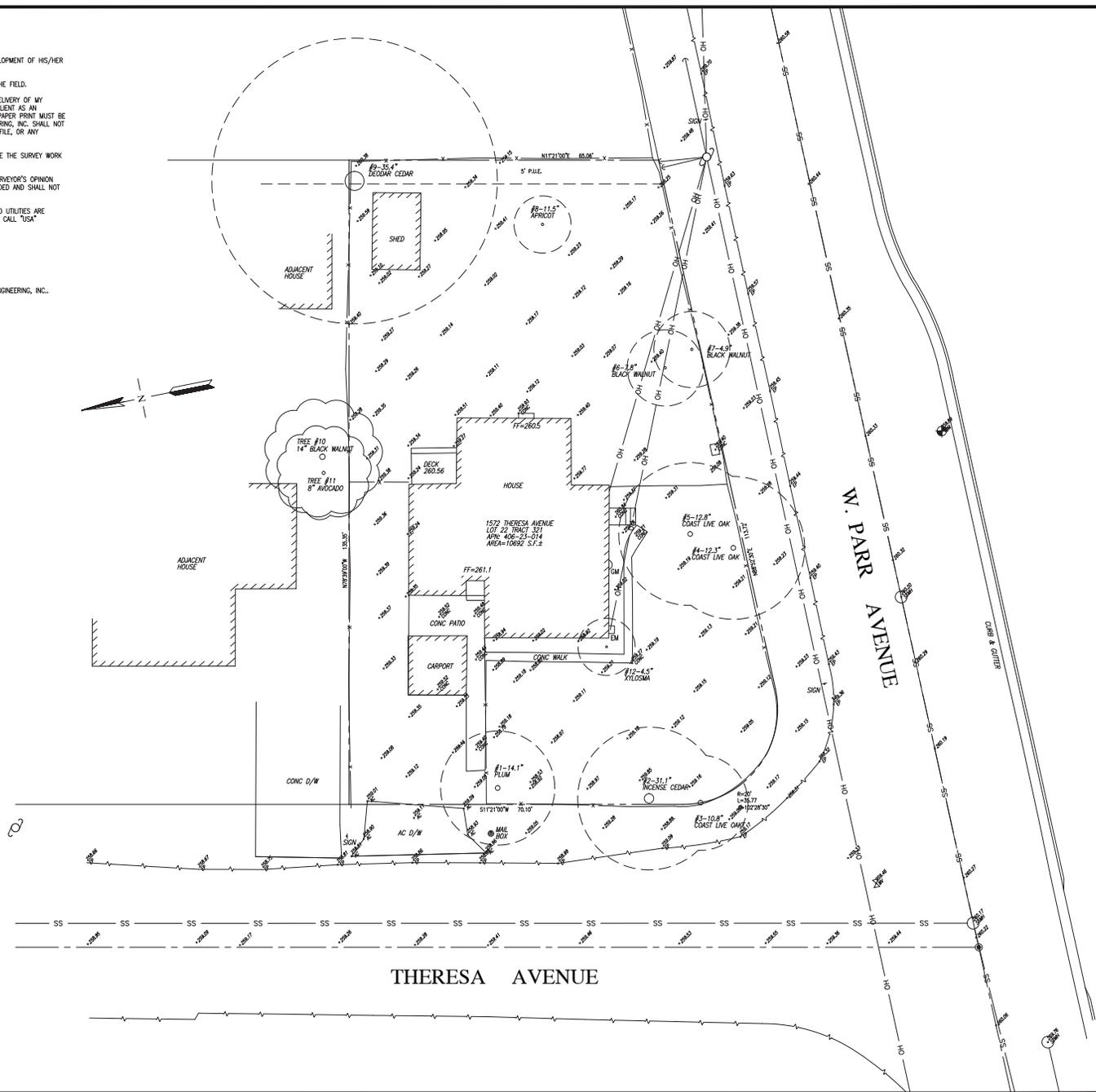
R1 TRACT 321 (10 MAPS 55)

ABBREVIATION

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BR BRICK
- C/G CURB & GUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOORING
- GM GAS METER
- LS LIP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

LEGEND

-  PROPERTY LINE
-  CENTERLINE
-  UTILITY LINE-TYPE AS NOTED
-  STREET LIGHT
-  UTILITY BOX-TYPE AS NOTED
-  WATER/GAS METER
-  WATER VALVE
-  CURB CATCH BASIN
-  FIRE HYDRANT
-  MANHOLE-TYPE AS NOTED
-  SANITARY SEWER CLEANOUT
-  POWER POLE W/ OVERHEAD WIRE
-  BENCHMARK
-  CONTOUR LINE
-  MONUMENT
-  TREE-TRUNK DIAMETER IN INCHES
SPECIES NOTED WHEN KNOWN
-  GUY WIRE



NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALAMANT DRIVE
 MENLO PARK, CA 94025-1069
 (760) 460-8294-8268
 rweengineering@gmail.com



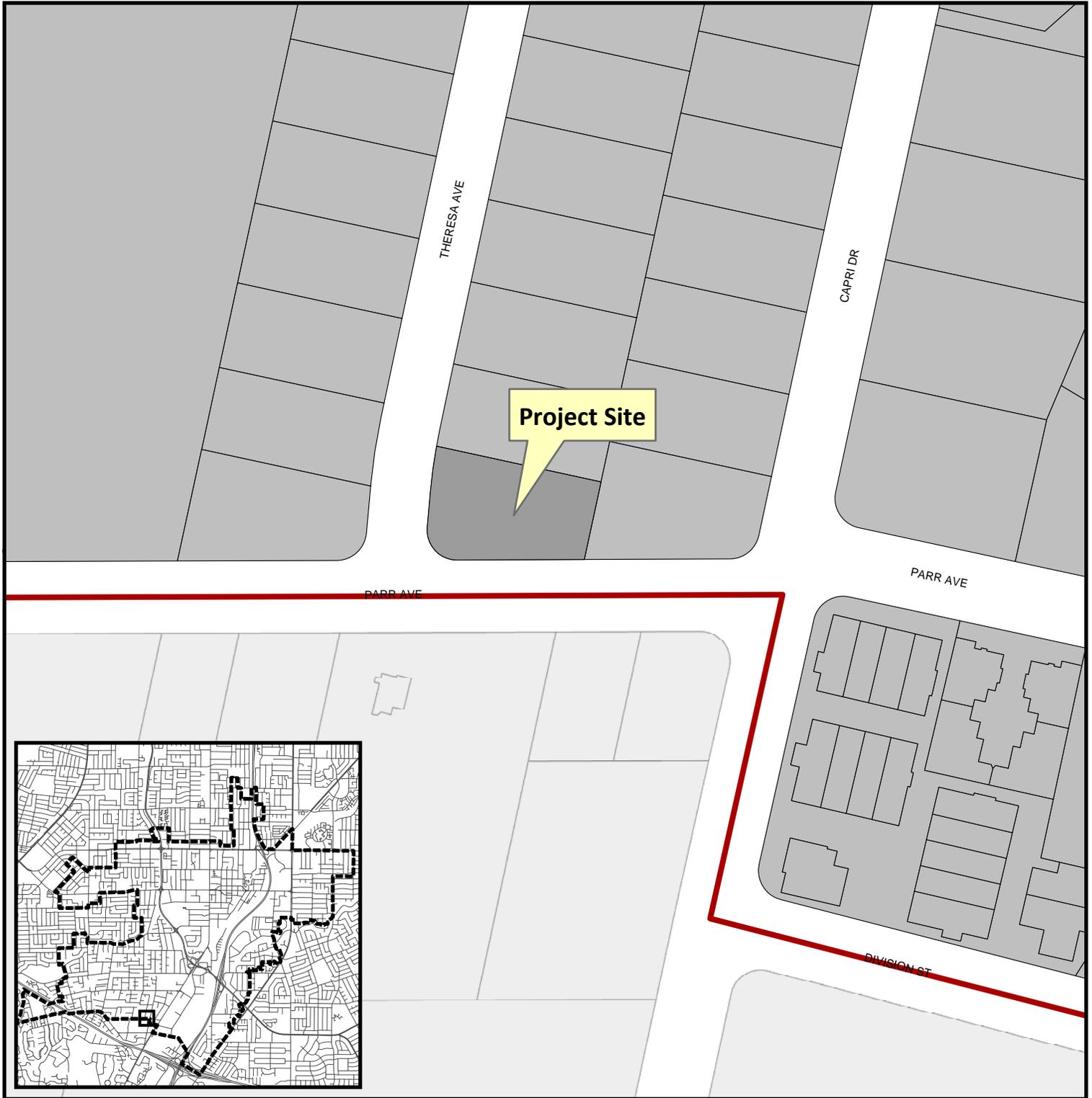
1572 THERESA AVENUE
 CAMPBELL, CA
 SANTA CLARA COUNTY
 APN: 406-23-014

TOPOGRAPHIC MAP

DATE: 3/31/18
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO.

SU-1

Project Location Map



Project Location: 1572 Theresa Avenue
Application Type: Site and Arch. and Tree Removal
Planning File No.: PLN2018-61 and PLN2018-62

