



CITY OF CAMPBELL
Community Development Department

June 29, 2018

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, July 10, 2018, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Gordon Chang for a Site and Architectural Review Permit (PLN2018-32) to allow the construction of a two-story approximately 5,000 square-foot single-family residence on property located at **1317 Burrows Road**. Staff is recommending that this project be found Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1317 Burrows Road**

Project Location Map



Project Location: 1317 Burrows Rd.
Application Type: Site and Arc. Review Permit
Planning File No.: PLN2018-32



Community Development Department
Planning Division



LA CASA
 1317 BURROWS RD.
 CAMPBELL, CA 95005
 APN: 403-16-110

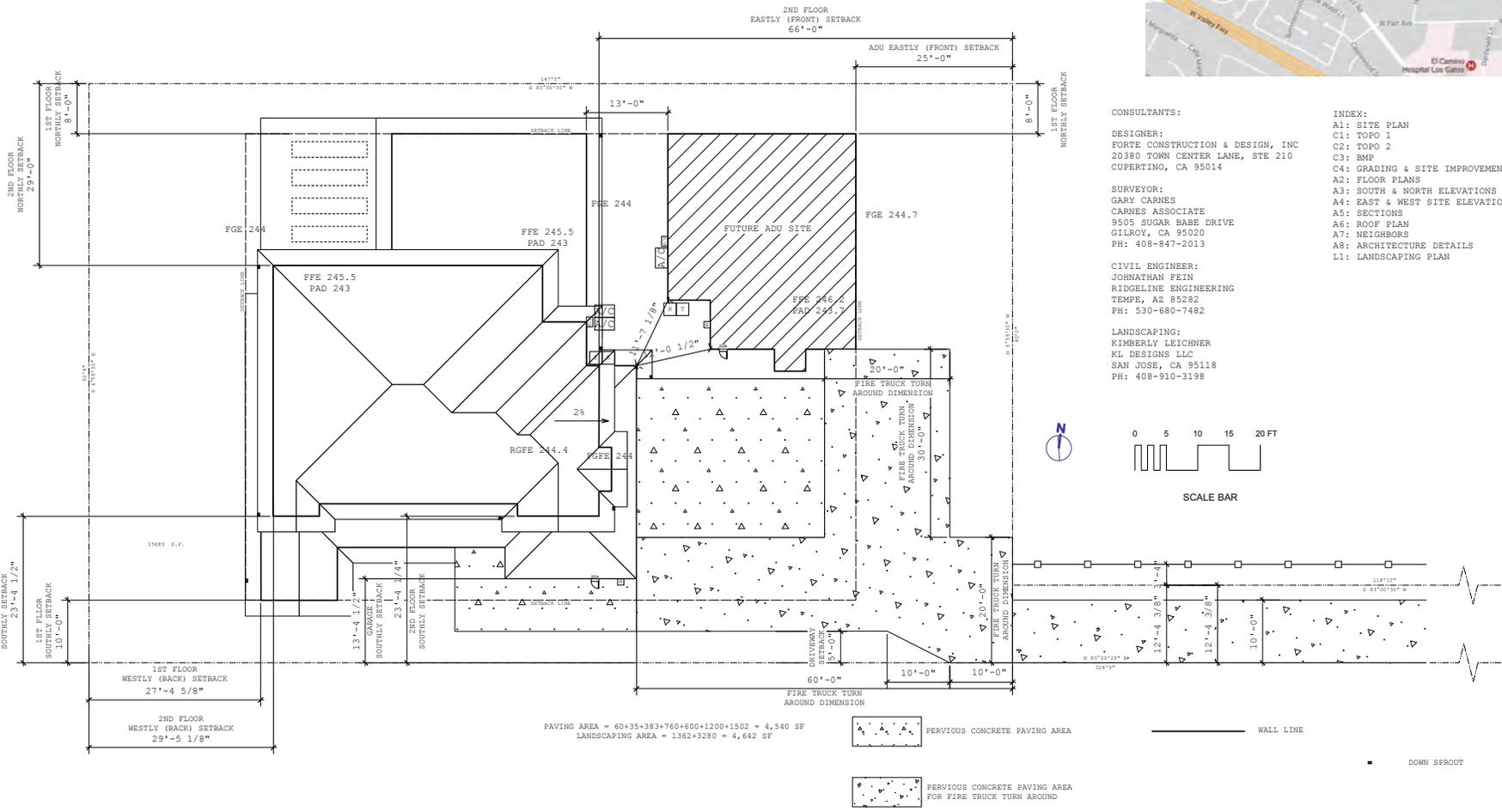
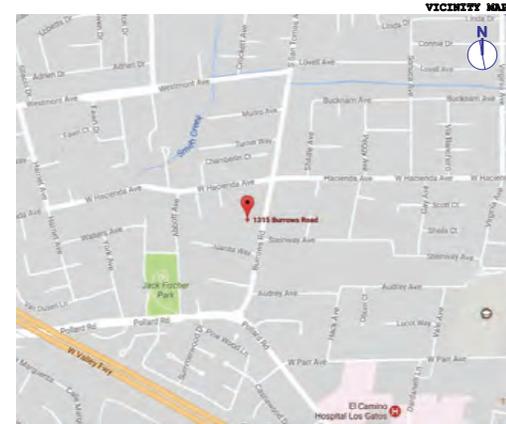
GROSS LOT SIZE AREA	= 15,682 SQ. FT.		
NET LOT SIZE AREA	= 13,614 SQ. FT.		
MAX. ALLOWABLE F.A.R.	= 45%	= 6,126.3 SQ. FT.	
PROVIDED F.A.R.	= 36.5%	= 4,977 SQ. FT.	
MAX. ALLOWABLE LOT COVERAGE	= 35%	= 4,764.9 SQ. FT.	
PROVIDED LOT COVERAGE	= 28%	= 3,816 SQ. FT.	
1ST FLOOR & GARAGE AREA	3,284 SQ. FT.	1ST FLOOR & GARAGE AREA	3,284 SQ. FT.
2ND FLOOR AREA	1,693 SQ. FT.	VERANDAH	532 SQ. FT.
TOTAL PROVIDED F.A.R.	4,977 SQ. FT.	TOTAL PROVIDED LOT COVERAGE	3,816 SQ. FT.

NOTE:

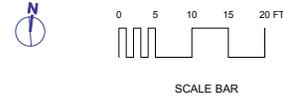
THIS SITE PLAN IS BASED ON THE RECORDED PARCEL MAP DOC. NO. 22831302

PLEASE REFER TO TOPO DRAWING FOR THE WHOLE SITE VIEW, INCLUDING THE STREET FRONT.

FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION STANDARD FOR ALL STRUCTURES.



- CONSULTANTS:**
- DESIGNER:**
 FORTE CONSTRUCTION & DESIGN, INC
 20380 TOWN CENTER LANE, STE 210
 CUPERTINO, CA 95014
- SURVEYOR:**
 GARY CARNES
 CARNES ASSOCIATE
 9505 SUGAR BABE DRIVE
 GILROY, CA 95020
 PH: 408-847-2013
- CIVIL ENGINEER:**
 JOHNSON FEIN
 RIDGELINE ENGINEERING
 TEMPE, AZ 85282
 PH: 530-680-7482
- LANDSCAPING:**
 KIMBERLY LEICHTNER
 KL DESIGNS LLC
 SAN JOSE, CA 95118
 PH: 408-910-3198
- INDEX:**
 A1: SITE PLAN
 C1: TOPO 1
 C2: TOPO 2
 C3: BMP
 C4: GRADING & SITE IMPROVEMENT
 A2: FLOOR PLANS
 A3: SOUTH & NORTH ELEVATIONS
 A4: EAST & WEST SITE ELEVATIONS
 A5: SECTIONS
 A6: ROOF PLAN
 A7: NEIGHBORS
 A8: ARCHITECTURE DETAILS
 L1: LANDSCAPING PLAN



Project Title		LA CASA		Sheet Scale	
Project Title		NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008		A1 of 8	
Drawing No.		Drawing No.		Drawing No.	
Scale		Scale		Scale	
Design Firm		FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0699		Consultant	
Designer		GORDON CHANG		Project Manager	
Checker		Revision 0		Project ID	
Drawn By		LA CASA		Drawing Code	
Reviewed By		LA CASA		CAD File Name	
Submitted By		LA CASA		Print Date	
Date		11/1/2017		No	
Revision		Revision 0		Date	
Project ID		LA CASA		Issue Notes	
Drawing Code		LA CASA		No	
CAD File Name		LA CASA		Date	
Print Date		11/1/2017		No	
Project Manager		GORDON CHANG		Date	
Issue Notes		Issue Notes		Issue Notes	



APN: 403-16-083

APN: 403-16-056

PARCEL 2
883 M 14
APN: 403-16-110

PARCEL 1
APN: 403-16-109

APN: 403-16-103

LEGEND

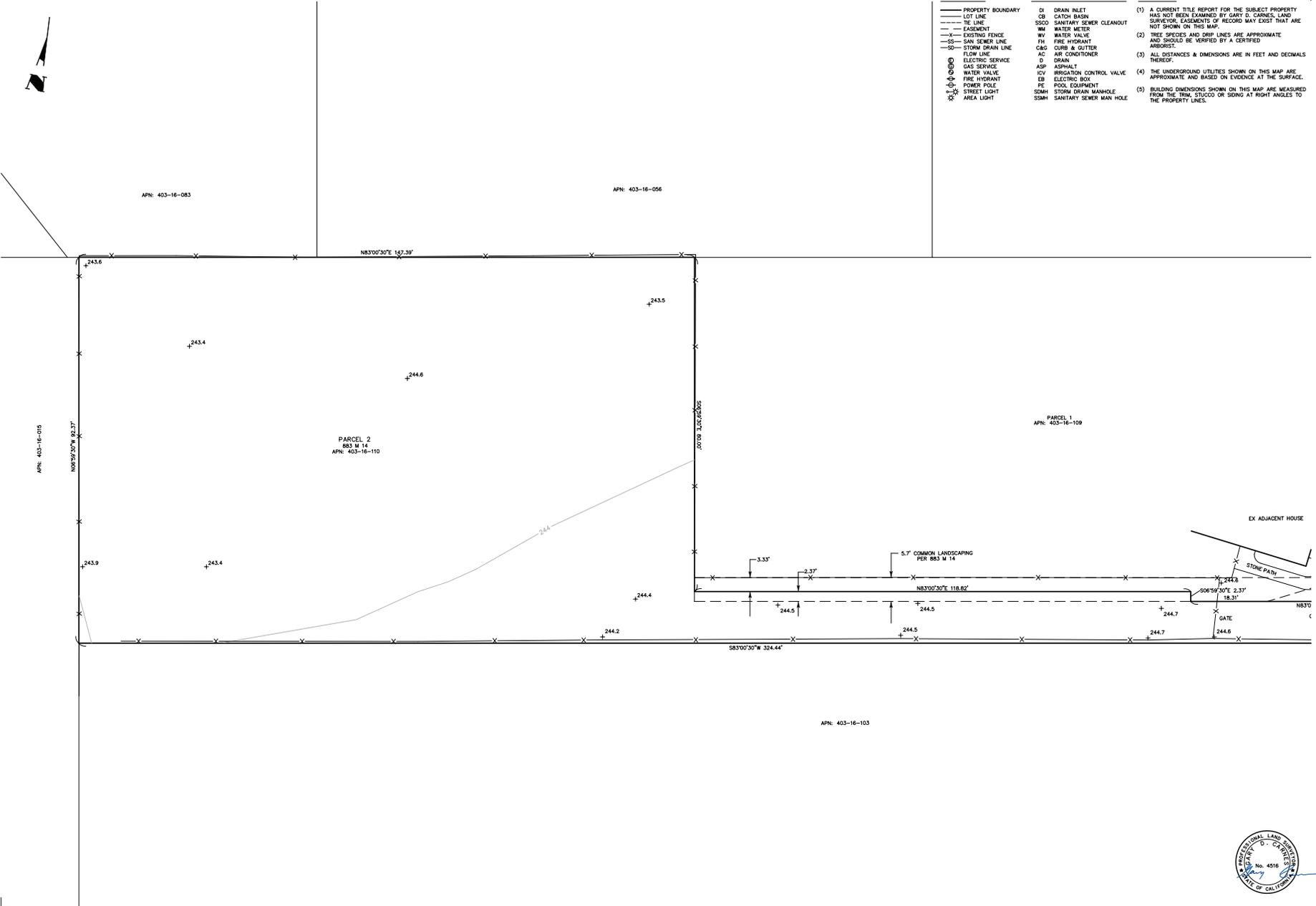
- PROPERTY BOUNDARY
- LOT LINE
- TIE LINE
- - - EASEMENT
- X- EXISTING FENCE
- SS- SAN SEWER LINE
- SD- STORM DRAIN LINE
- FLOW LINE
- ELECTRIC SERVICE
- GAS SERVICE
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- STREET LIGHT
- AREA LIGHT

ABBREVIATIONS

- DI DRAIN INLET
- CB CATCH BASIN
- SSCO SANITARY SEWER CLEANOUT
- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- C&G CURB & GUTTER
- AC AIR CONDITIONER
- D DRAIN
- ASP ASPHALT
- ICV IRRIGATION CONTROL VALVE
- EB ELECTRIC BOX
- PE POOL EQUIPMENT
- SOMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MAN HOLE

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND GRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



CARNES & ASSOCIATES
 9505 SUGAR BABE DRIVE
 GILROY, CALIFORNIA 95020
 408-847-2013

NO.	DATE	REVISION

TOPOGRAPHIC MAP
GORDON CHANG
1317 BURROWS ROAD
CITY OF CAMPBELL, CA.

SHEET	DATE	SCALE	DRAWN BY	PROJ. MANAGER
2	1-5-18	1" = 10'	C.L.	D.E.
OF				
2				
Job No. 17186				
Drawn: PONTRE.TWPC				



APN: 403-16-056

PARCEL 2
883 M 14
APN: 403-16-110

PARCEL 1
APN: 403-16-109

APN: 403-16-103

LEGEND

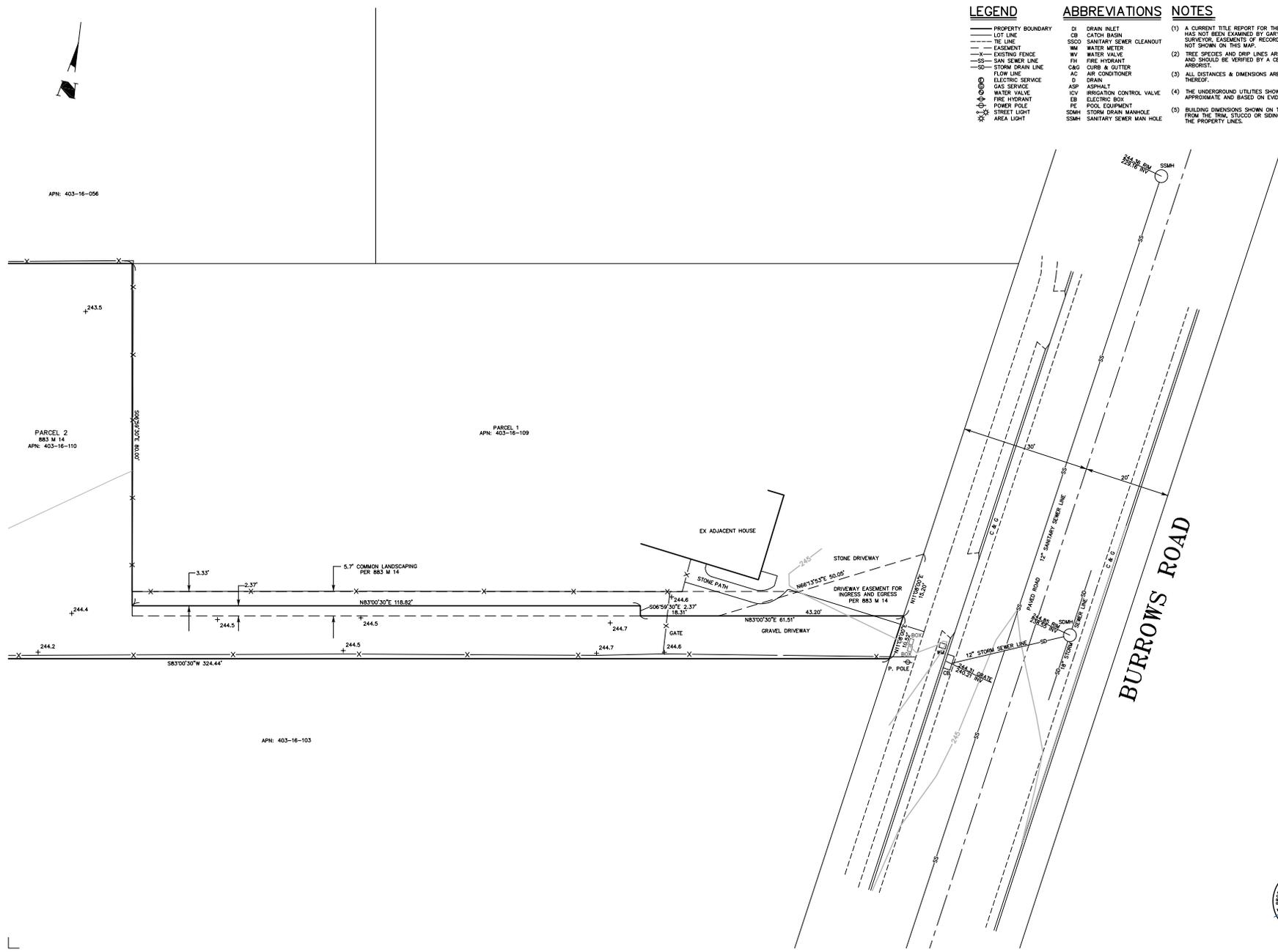
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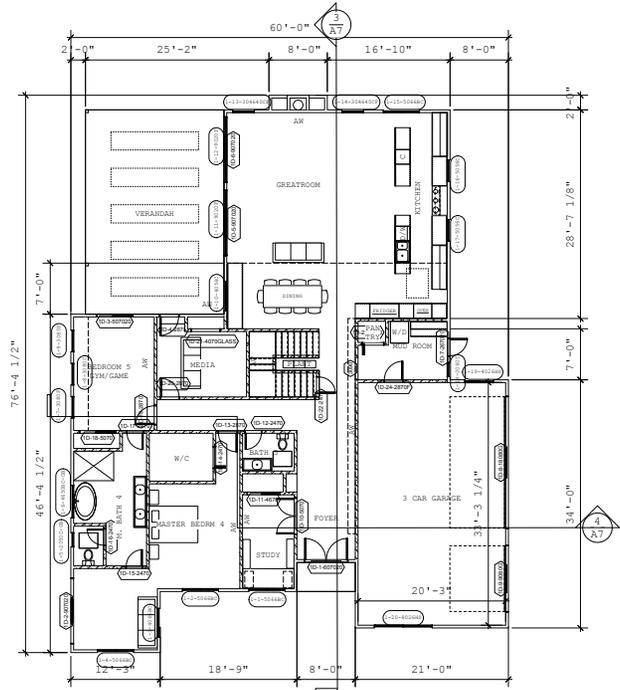
No.	DATE	REVISION

**TOPOGRAPHIC MAP
 FOR FORTE CONSTRUCTION
 PARCEL 2, 883 M 14
 CITY OF CAMPBELL, CA.**

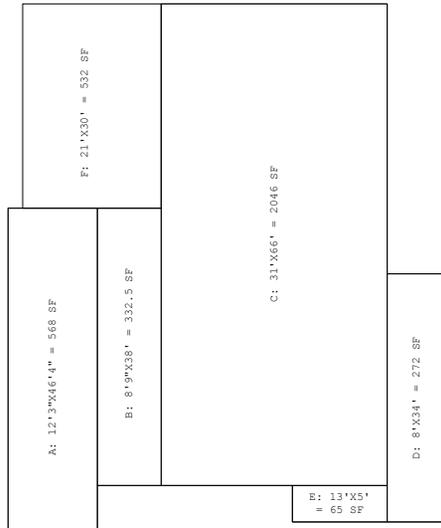
DATE :	1-5-18
SCALE :	1" = 10'
DRAWN BY :	C.L.
PROJ. MANAGER :	
Job No. 17186	
DRP: PONTRE.TWPC	



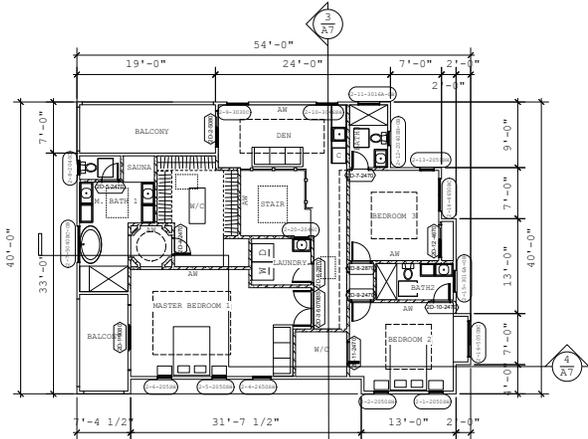
<p>FRESH CONCRETE AND MORTAR APPLICATION BEST MANAGEMENT PRACTICES FOR:</p> <ul style="list-style-type: none"> Masons and bricklayers Sidewalk construction crews Paint construction workers Construction inspectors General contractors Home builders Developers 	<p>LANDSCAPING, GARDENING, AND POOL MAINTENANCE BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Landscapers Gardeners Swimming pool/spa service and repair workers General contractors Home builders Developers 	<p>POOL/FOUNTAIN/SPA MAINTENANCE</p> <p>Never discharge pool or spa water to a street or storm drain.</p> <p>OR</p> <p>When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.</p>	<p>LANDSCAPING/GARDEN MAINTENANCE</p> <ul style="list-style-type: none"> Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash. Dispose of unused pesticide as hazardous waste. Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost. In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste. Do not place yard waste in gutters. Do not blow or rake leaves, etc. into the street. 	<p>HEAVY EQUIPMENT OPERATION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Vehicle and equipment operators Site supervisors General contractors Home builders Developers <p>SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE</p> <ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clean up spills immediately when they happen. 	<p>PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP</p> <ul style="list-style-type: none"> Painters Paperhangers Plasterers Graphic artists Dry wall crews Floor covering installers General contractors Home builders Developers <p>Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.</p> <p>For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.</p> <p>For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.</p> <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Recycle/reuse leftover paints whenever possible. Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste. Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste. 	<p>PAINT REMOVAL</p> <ul style="list-style-type: none"> Chemical paint stripping residue is a hazardous waste. Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash. When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. <p>STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE</p> <p>Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.</p>	<p>Check</p> <p>By</p> <p>Date</p> <p>Revision</p> <p>No.</p> <p>Date: 07/20/03</p> <p>Drawn By:</p> <p>Designed By:</p>	
<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind. Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff. Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams. <p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the street or creeks causes serious problems and is prohibited by law.</p>	<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> When breaking up paving, be sure to pick up all the pieces and dispose properly. Recycle large chunks of broken concrete at a landfill. Dispose of small amounts of excess-dry concrete, grout, and mortar in the trash. Never bury waste material. <p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the street or creeks causes serious problems and is prohibited by law.</p>	<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting. Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet. Schedule grading and excavation projects for dry weather. Use temporary check dams or ditches to divert runoff away from storm drains. Protect storm drains with hay bales or other erosion controls. Revegetation is an excellent form of erosion control for any site. <p>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p>	<p>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p>	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Never hose down streets to clean up tracked dirt. Never hose down driveways to clean up tracked dirt. Make sure portable toilets are in good working order. Check frequently for leaks. 	<p>STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE</p> <p>Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.</p>	<p>STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES</p> <p>All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.</p>	<p>Check</p> <p>By</p> <p>Date</p> <p>Revision</p> <p>No.</p> <p>Date: 07/20/03</p> <p>Drawn By:</p> <p>Designed By:</p>	
<h1 style="margin: 0;">Blueprint for a Clean Bay</h1> <h2 style="margin: 0;">BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.</h2> <p style="margin: 0;">SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM</p>								<p>Check</p> <p>By</p> <p>Date</p> <p>Revision</p> <p>No.</p> <p>Date: 07/20/03</p> <p>Drawn By:</p> <p>Designed By:</p>
<p>EARTH MOVING ACTIVITIES BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Bulldozers, backhoes, and grading machine operators Dump truck drivers Site supervisors General contractors Home builders Developers 	<p>DETECTING CONTAMINATED SOIL OR GROUNDWATER</p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p>	<p>ROADWORK AND PAVING BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Road Crews Driveway/sidewalk/parking lot construction crews Seal coat contractors Operators of grading equipment paving machines concrete mixers Construction inspectors General contractors Developers 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Never hose down streets to clean up tracked dirt. Never hose down driveways to clean up tracked dirt. Make sure portable toilets are in good working order. Check frequently for leaks. 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. 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Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</p> <p>A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>	<p>Check</p> <p>By</p> <p>Date</p> <p>Revision</p> <p>No.</p> <p>Date: 07/20/03</p> <p>Drawn By:</p> <p>Designed By:</p>	
<p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Remove existing vegetation only when absolutely necessary. Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned. Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Cover stockpiles and excavated soil with secured tarps or plastic sheeting. 	<p>WATCH FOR ANY OF THESE CONDITIONS:</p> <ul style="list-style-type: none"> Unusual soil conditions, discoloration, or odor Abandoned underground tanks Abandoned wells Buried barrels, debris, or trash 	<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Develop and implement erosion/sediment control plans for embankments. Schedule excavation and grading work for dry weather. Check for and repair leaking equipment. Perform major equipment repairs in designated areas at your yard, away from the construction site. When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks. Do not use diesel oil to lubricate equipment or parts. Recycle used oil, concrete, broken asphalt, etc. whenever possible. 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. 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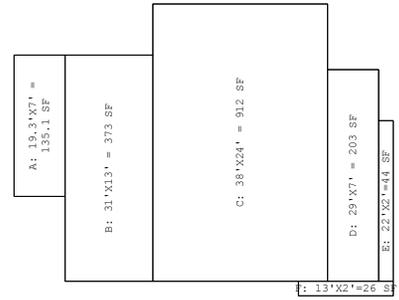
MAIN HOUSE: 1ST FLOOR PLAN



1ST FL TOTAL = A+B+C+D+E = 568+332.5+2046+272+65 = 3,284 SF
 VERANDAH = F = 532 SF



MAIN HOUSE: 2ND FLOOR PLAN



2ND FL TOTAL = A+B+C+D+E+F = 135+373+912+203+44+26 = 1,693 SF

MAIN HOUSE FLOOR AREA: 3,284+1,693=4,977 SF
 VERANDAH: 532 SF

Project Title LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008	Design Firm FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0899	Design By GORDON CHANG	Date 11/12/07	No. 00/00/00	Date	Issue Notes	
		Drawn By GORDON CHANG	Revision Revision 0				
Project Title LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008	Design Firm FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0899	Checked By LA CASA	Project ID LA CASA	Project Manager GORDON CHANG	Date	Issue Notes	
		Submitted By LA CASA	Drawing Code LA CASA				
		CAAD File Name LA CASA	PKG Date 11/12/07				
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A2
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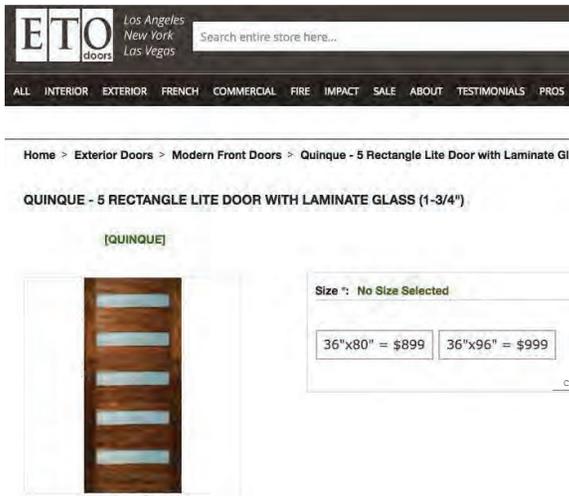
Issue Notes		Date		No.	
Date	11/12/2017	Revision	Revision 0	Project ID	LA CASA
Designed By	GORDON CHANG	Checked By		Drawing Code	
Drawn By		Submitted By		CAD File Name	
		Project Manager		File Date	00/00/00
Design Firm	FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0899				
Project Title	LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008				
Scale	Sheet Scale				
Drawing No.	A4 of 8				
Consultant	East & West Site Elevations				

SAMPLE BOARD:

4: GARAGE DOOR COLOR



5: ENTRY DOOR COLOR



CONTINUE ON A6

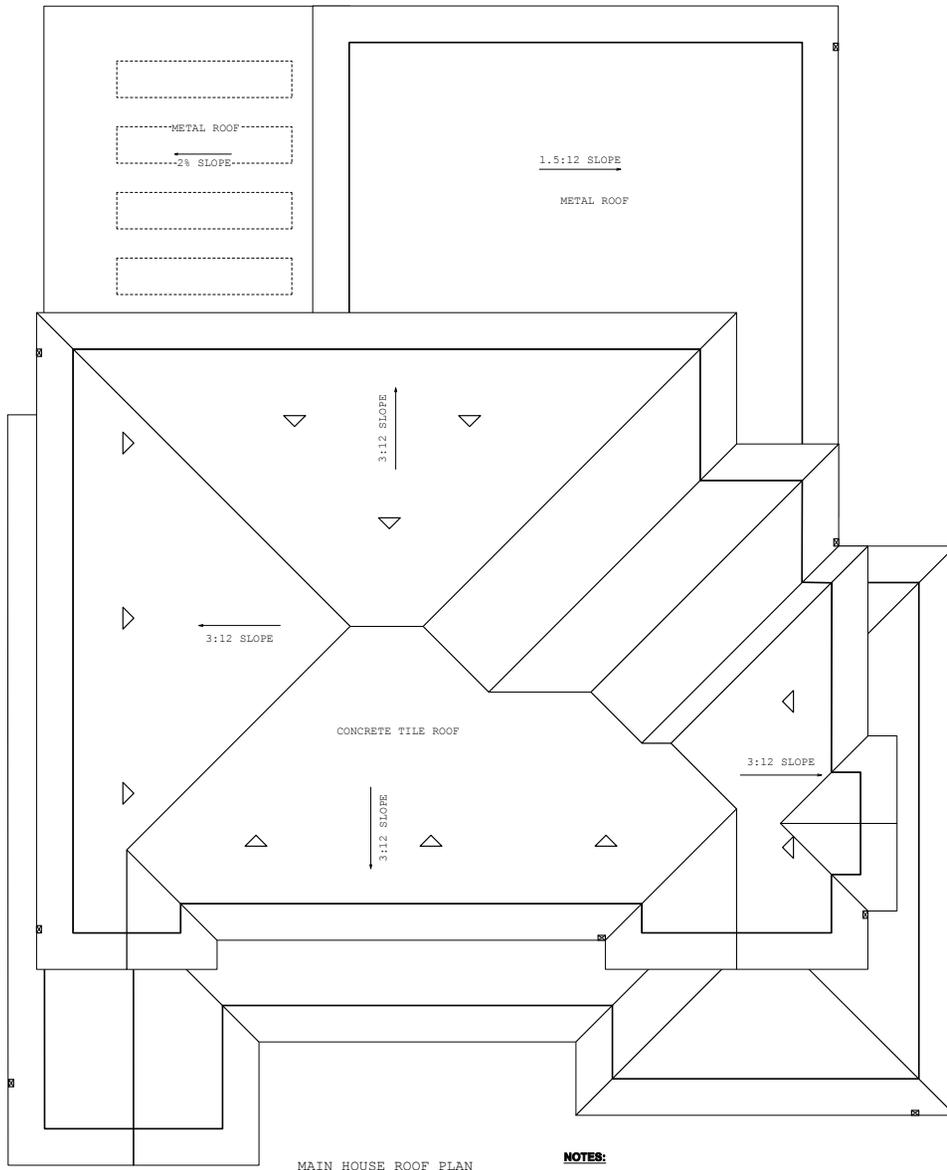


4 Main - EW Section
Scale: 1/4" = 1'-0"



3 Main - SN Section
Scale: 1/4" = 1'-0"

Issue Notes		Date		No.	
Date		Revision		Project ID	
11/11/2017		Revision 0		LA CASA	
Designed By		Checked By		Submitted By	
GORDON CHANG		LA CASA		CADD File Name	
Drawn By		Reviewed By		Plot Date	
Project Manager		00/00/00			
Design Firm FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0899			Consultant LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008		
Project Title			Sheet Scale		
Drawing No.			A5		
			of		
			8		



NOTES:

- 38) PROVIDE ROOF COVERING CLASS "A" MINIMUM.
- 39) PROVIDE CUTOUT @ ROOF SHEETING WHERE CALIFORNIA FRAMING OCCURS TO ALLOW AIR FLOW TO VENTED ATTIC SPACE EQUAL TO 1 S.F. AT EVERY 150 S.F. OF ATTIC SPACE.

SAMPLE BOARD:



PRODUCT TYPES



Project Title		Date		Revision		No.		Issue Notes	
L.A. CASA		11/1/2017		Revision 0		No.		Date	
NEW CUSTOMER HOME		GORDON CHANG		Project		00/00/00		Date	
1317 BURROWS RD.		Checked By		Project ID		00/00/00		Date	
CAMPBELL, CA 95008		Reviewed By		Drawing Code		00/00/00		Date	
Roof Plans		Submitted By		CAD File Name		00/00/00		Date	
Sheet Scale		Project Manager		Print Date		00/00/00		Date	
Drawing No.		Project Name		Print Date		00/00/00		Date	
A6		Project Name		Print Date		00/00/00		Date	
8		Project Name		Print Date		00/00/00		Date	



1315 Burrows Rd.



1325 Burrows Rd.



1359 Juanita Way



1360 Hacienda Ct.



1302 W. Burrows Ave.



Neighborhood

NOTES:

THE SUBJECTED SITE AT 1317 BURROWS RD. IS A VACANT LAND WITH NO LARGE TREE AND SURROUNDED BY RESIDENTIAL HOMES. THIS SITE HAS NO CULTURAL, HISTORICAL, AND SCENIC ASPECTS. THIS SITE HAS FLAT LAND, AND NO STRUCTURES ON IT.

THE NEIGHBORING SITES ARE ALL RESIDENTIAL WITH SIMILAR ASPECTS AS THE SUBJECTED SITE, EXCEPT THAT 1325 BURROWS RD. MIGHT HAVE HISTORICAL ASPECT.

Date: 11/12/2017 Revision: Revision 0 Project: LA CASA Drawing Code: CAD File Name: Print Date: 00/00/00		No. Date 00/00/00		Issue Notes	
Design by: GORDON CHANG Drawn by: Checked by: Reviewed by: Submitted by: Project Manager:		Design Firm: FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN., STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0699 Consultant:			
Project Title: Scale:		Project Title: Scale:			
Drawing No.:		Drawing No.:			
A7 of 8		Neighbors			

NOTES:

NO EXISTING TREE IS > 12" IN DIAMETER AT 4' HEIGHT

The landscaping plan is compliant with the State Water Efficient Landscape Requirements (California Code of Regulations, Title 23, Ch. 2.7, Div. 2), adopted as the City of Campbell Water Efficient Landscape Guidelines. (CMC 21.26.030.F)

PLANT SCHEDULE

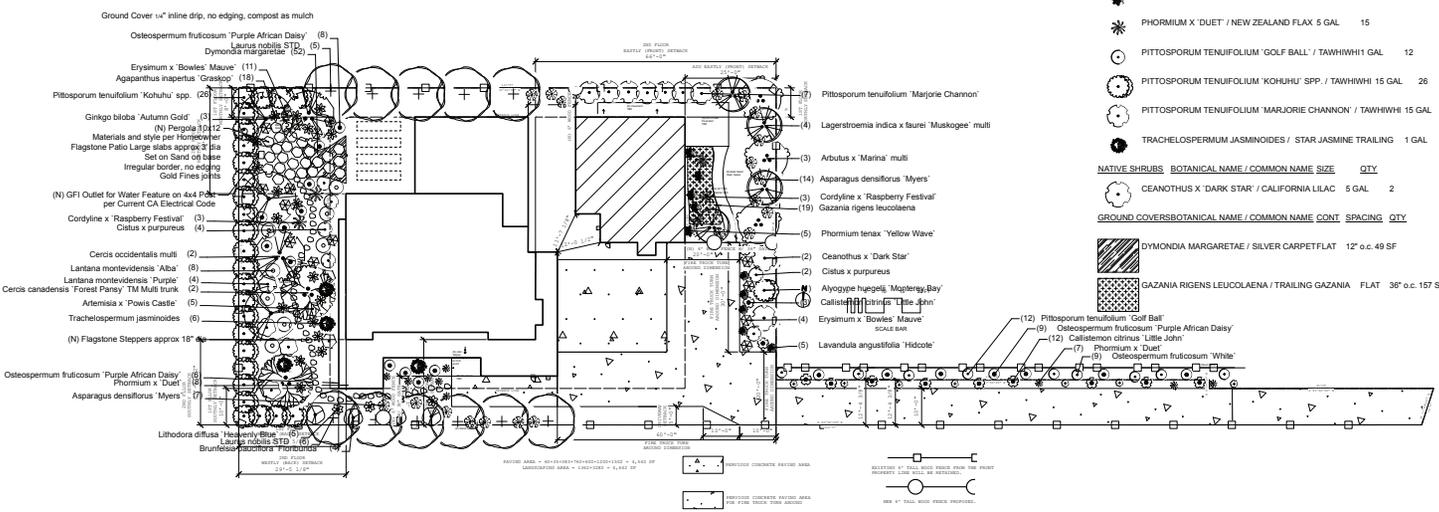
TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ARBUTUS X 'MARINA'	MULTI / STRAWBERRY TREE	15 GAL 3
	CERCIS CANADENSIS 'FOREST PANSY'	TM MULTI TRUNK / FOREST PANSY REDBUD	15 GAL 2
	GINKGO BILOBA 'AUTUMN GOLD' / MAIDENHAIR TREE (MALE ONLY)	24"BOX	3
	LAGERSTROEMIA INDICA X FAUREI 'MUSKOGEE'	MULTI / MUSKOGEE GRAPE MYRTLE MULTI	15 GAL 4
	LAURUS NOBILIS STD / SWEET BAY	15 GAL	11

NATIVE TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	CERCIS OCCIDENTALIS MULTI / WESTERN REDBUD MULTI-TRUNK	15 GAL	2

SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	AGAPANTHUS INAPERTUS 'GRASKOP' / GRASKOP LILY OF THE NILE	1 GAL	18
	ALYOGYNE HUEGELII 'MONTEREY BAY' / BLUE HIBISCUS	1 GAL	1
	ARTEMISIA X 'POWIS CASTLE' / POWIS CASTLE ARTEMISIA	1 GAL	5
	ASPARAGUS DENSIFLORUS 'MYERS' / MYERS ASPARAGUS	1 GAL	21
	BRUNFELSIA PAUCIFLORA 'FLORIBUNDA' / 'YESTERDAY, TODAY AND TOMORROWS	GAL	4
	CALLISTEMON CITRINUS 'LITTLE JOHN' / DWARF BOTTLE BRUSH	1 GAL	15
	CISTUS X PURPUREUS / ORCHID ROCKROSE	1 GAL	6
	CORDYLINEX 'RASPBERRY FESTIVAL' / BABY DOLL TI	5 GAL	6
	ERYSIMUM X 'BOWLES' MAUVE' / WALLFLOWER	1 GAL	15
	LANTANA MONTEVIDENSIS 'ALBA' / WHITE TRAILING LANTANA	1 GAL	8
	LANTANA MONTEVIDENSIS 'PURPLE' / TRAILING LANTANA	1 GAL	4
	LAWANDULA ANGSTIFOLIA 'HIDCOTE' / HIDCOTE LAVENDER	1 GAL	5
	LITHODORA DIFFUSA 'HEAVENLY BLUE' / BLUE LITHODORA	1 GAL	5
	OSTEOSPERMUM FRUTICOSUM 'PURPLE AFRICAN DAISY' / AFRICAN DAISY	1 GAL	23
	OSTEOSPERMUM FRUTICOSUM 'WHITE' / AFRICAN DAISY	1 GAL	9
	PHORMIUM TENAX 'YELLOW WAVE' / NEW ZEALAND FLAX	5 GAL	5
	PHORMIUM X 'DUET' / NEW ZEALAND FLAX	5 GAL	15
	PITTIOSPORUM TENUIFOLIUM 'GOLF BALL' / TAWHIWHI	1 GAL	12
	PITTIOSPORUM TENUIFOLIUM 'KOHUHU' SPP. / TAWHIWHI	15 GAL	26
	PITTIOSPORUM TENUIFOLIUM 'MARJORIE CHANNON' / TAWHIWHI	15 GAL	7
	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE TRAILING	1 GAL	6

NATIVE SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	CEANOTHUS X 'DARK STAR' / CALIFORNIA LILAC	5 GAL	2

GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	DYMONDIA MARGARETAE / SILVER CARPET	FLAT	12" o.c.	49 SF
	GAZANIA RIGENS LEUCOLAENA / TRAILING GAZANIA	FLAT	36" o.c.	157 SF



DATE		1/20/2018	ISSUE NOTES	
REVISION		Revision 0	DATE	
PROJECT ID		LA CASA	NO.	
DRAWING CODE			00/00/00	
CAD FILE NAME			DATE	
PROJECT MANAGER			NO.	
DESIGNED BY		GORDON CHANG	DATE	
DRAWN BY			NO.	
CHECKED BY			DATE	
REVIEWED BY			NO.	
SUBMITTED BY			DATE	
PROJECT MANAGER			NO.	
Design Firm: FORTE CONSTRUCTION & DESIGN 20380 TOWN CENTER LN, STE 210 CUPERTINO, CA 95014 Tel: (408) 667-0699				
Project Title: LA CASA NEW CUSTOMER HOME 1317 BURROWS RD. CAMPBELL, CA 95008				
Drawing Title: Landscaping Plan & Fence				
Scale: Sheet Scale				
Drawing No.: L1 of 8				