



**CITY OF CAMPBELL**  
**Community Development Department**

September 28, 2018

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 9, 2018**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of MBA Architects for a Planned Development Permit to allow the construction of a new two-story commercial building on property located at **2220 S Winchester Boulevard**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

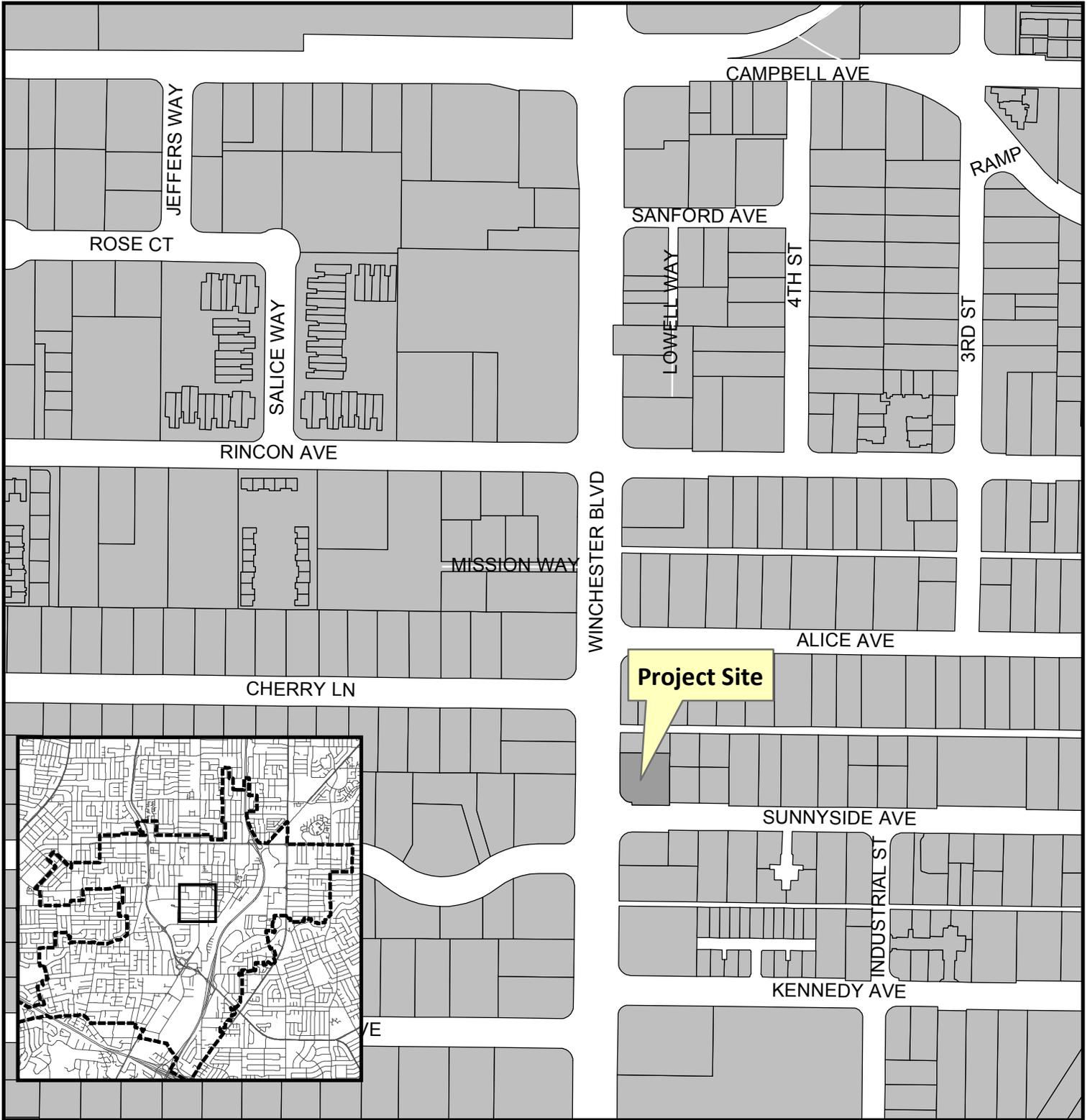
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

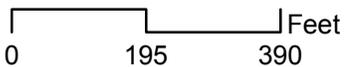
PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **2220 S Winchester Boulevard**

# Project Location Map

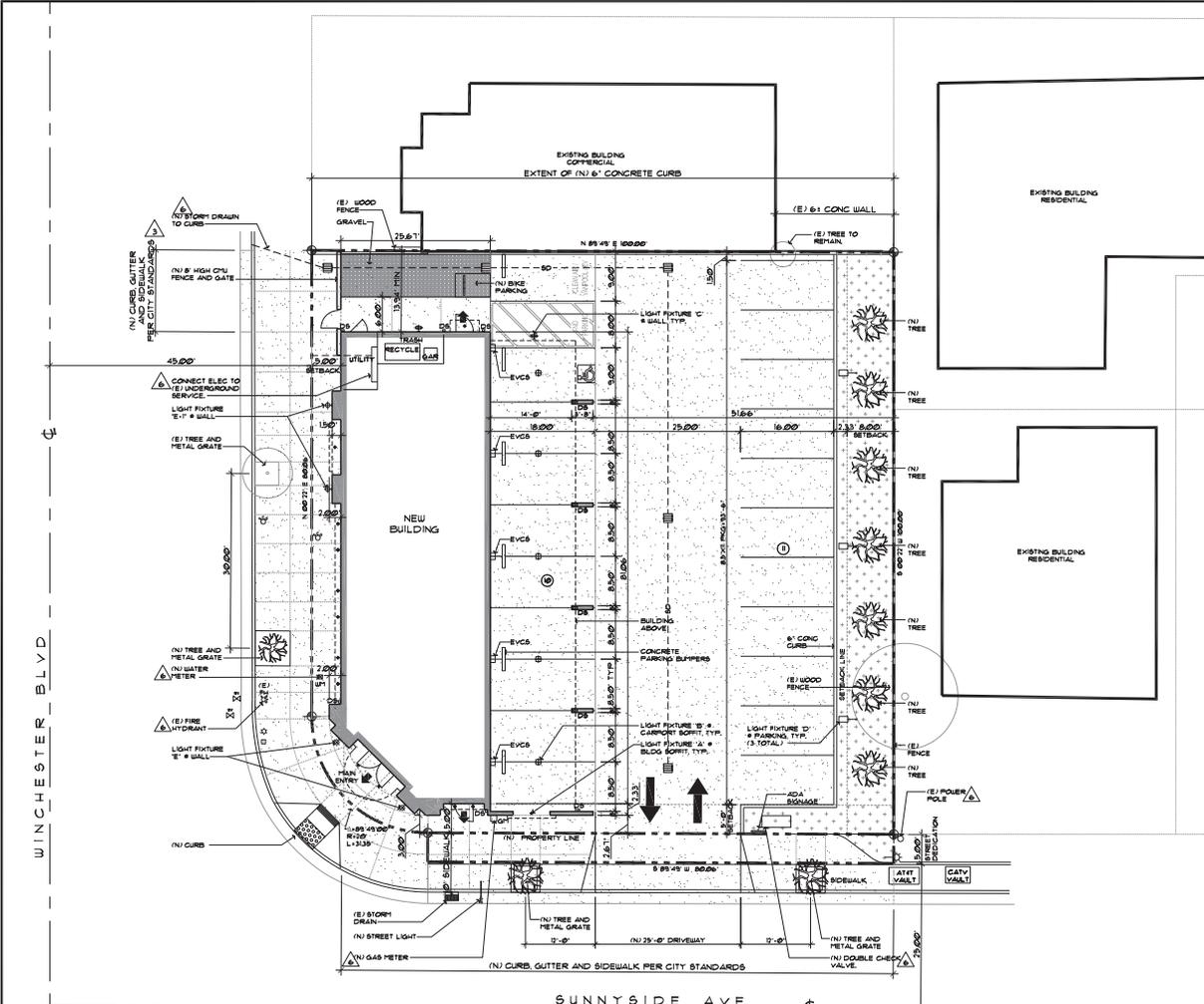


**Project Location:** 2220 S. Winchester Blvd.  
**Application Type:** Planned Development Permit  
**Planning File No.:** PLN2017-27  
**Description:** New two-story office/retail building



Community Development Department  
Planning Division





**LIGHT FIXTURE SCHEDULE**

**FIXTURE 'A' - RECESSED AT STREETFACE CURB**

Item	Qty	Unit	Notes
1	1	Light Fixture	Recessed at streetface curb, 12" x 12" x 4"

**FIXTURE 'B' - RECESSED AT CARPORT PARKING**

Item	Qty	Unit	Notes
1	1	Light Fixture	Recessed at carport parking, 12" x 12" x 4"

**FIXTURE 'C' - WALL MOUNTED AT NORTH WALL**

Item	Qty	Unit	Notes
1	1	Light Fixture	Wall mounted at north wall, 12" x 12" x 4"

**FIXTURE 'D' - WALL MOUNTED AT WEST WALL**

Item	Qty	Unit	Notes
1	1	Light Fixture	Wall mounted at west wall, 12" x 12" x 4"

**FIXTURE 'E' - WALL MOUNTED AT PLAN ENTRY**

Item	Qty	Unit	Notes
1	1	Light Fixture	Wall mounted at plan entry, 12" x 12" x 4"

**FIXTURE 'E-1' - WALL MOUNTED AT WEST WALL**

Item	Qty	Unit	Notes
1	1	Light Fixture	Wall mounted at west wall, 12" x 12" x 4"

**PROJECT SUMMARY**

ASSessor PARCEL NUMBER: 462-04-033

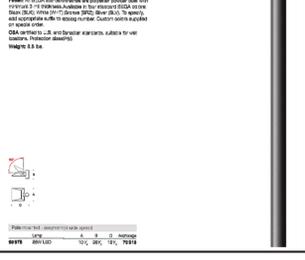
LOT SIZE: 6,400 sq. ft. (Property to center line of street)

DEVELOPMENT DATA	Existing	Proposed	Percent of Site
Building coverage	1,439.9	3,129	24.4
Landscaping coverage	2,201	1,250	22.2
Paving coverage	5,276	6,472	65.2
FLOOR AREA RATIO TOTAL Bldg. & Landscape on Lot	2,439	4,446	24.6

**ADJACENT LAND USES:** Use COMMERCIAL - OFFICE, COMMERCIAL - SERVICE, RESIDENTIAL - MULTIFAMILY, RESIDENTIAL - SINGLE-FAMILY, COMMERCIAL - HEALTH CLUB

**FIXTURE 'D' - POLE TOP AT PARKING**

Item	Qty	Unit	Notes
1	1	Light Fixture	Pole top at parking, 12" x 12" x 4"



**AREA BLOCK (S.F.)**

LOCATION	1	2	3	4	5	FLOOR AREA + OVERLAP	LOT COVERAGE + 1/2-3/4-5
GROUND FLOOR	1642 S.F.	201 S.F.	141 S.F.	-	1203 S.F.	1980 S.F.	3/93 S.F.
2ND FLOOR	1628 S.F.	201 S.F.	138 S.F.	509 S.F.	-	2,486 S.F.	-
<b>TOTAL</b>						<b>4,466 S.F.</b>	

LOT COVERAGE = 3/93 S.F.  
FLOOR AREA RATIO = GROSS BUILDING AREA (ALL FLOORS) / LOT AREA (NET)  
.45 = 4,466 S.F. / 9,935 S.F.

JOB No. 1555.2  
DATE JANUARY 29, 2018

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	1
CITY COMMENTS	9/19/2017	2
CITY COMMENTS	10/27/17	3
REDESIGN	03/13/18	4
CITY COMMENTS	05/10/18	5
CITY COMMENTS	07/12/18	6

PLANNED DEVELOPMENT PERMIT  
NEW DEVELOPMENT

**RETAIL / OFFICE**  
2220 S. Winchester Boulevard  
Campbell, California

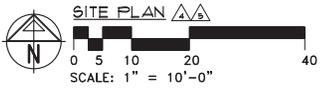
**ARCHITECTS**  
**MBA**  
1775 LINCOLN AVENUE, SAN JOSE, CALIFORNIA, 95125  
PH: 408.277.0288 FAX: 408.277.0284

**LICENSED ARCHITECT**  
Arthur Brando  
No. C-4649  
REN. 09/19  
STATE OF CALIFORNIA

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MBA ARCHITECTS

SHEET TITLE  
**SITE PLAN**

SCALE: As Shown  
CAD FILE BY: 1555.2-POP-2.dwg  
SHEET  
**2**  
OF SHEETS



- LIGHTING LEGEND:**
- Lighting fixture type 'A'
  - Lighting fixture type 'B'
  - Lighting fixture type 'C'
  - Lighting fixture type 'D'
  - Lighting fixture type 'E', 'E-1'

**PARKING CALCULATIONS**

PER 2025-04-01 - NUMBER OF PARKING SPACES REQUIRED, TABLE 3-1.1, PARKING REQUIREMENTS BY LAND USE

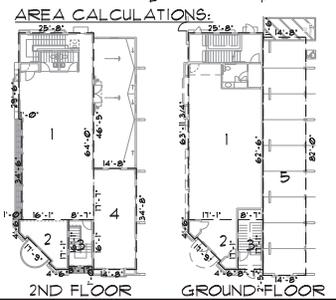
RETAIL: (GROUND FLOOR)  
1 PER 200 S.F. GROSS  
1950 S.F. / 200 S.F. = 9.75 PARKING SPACES

OFFICE: (SECOND FLOOR)  
1 PER 225 S.F. GROSS  
2,486 S.F. / 225 S.F. = 10.97 PARKING SPACES

TOTAL PARKING SPACES REQUIRED = 21 PARKING SPACES  
TOTAL PARKING SPACES PROVIDED = 21 PARKING SPACES (INCLUDES ONE ACCESSIBLE PARKING)

BICYCLE PARKING PROVIDED: 3 SPACES

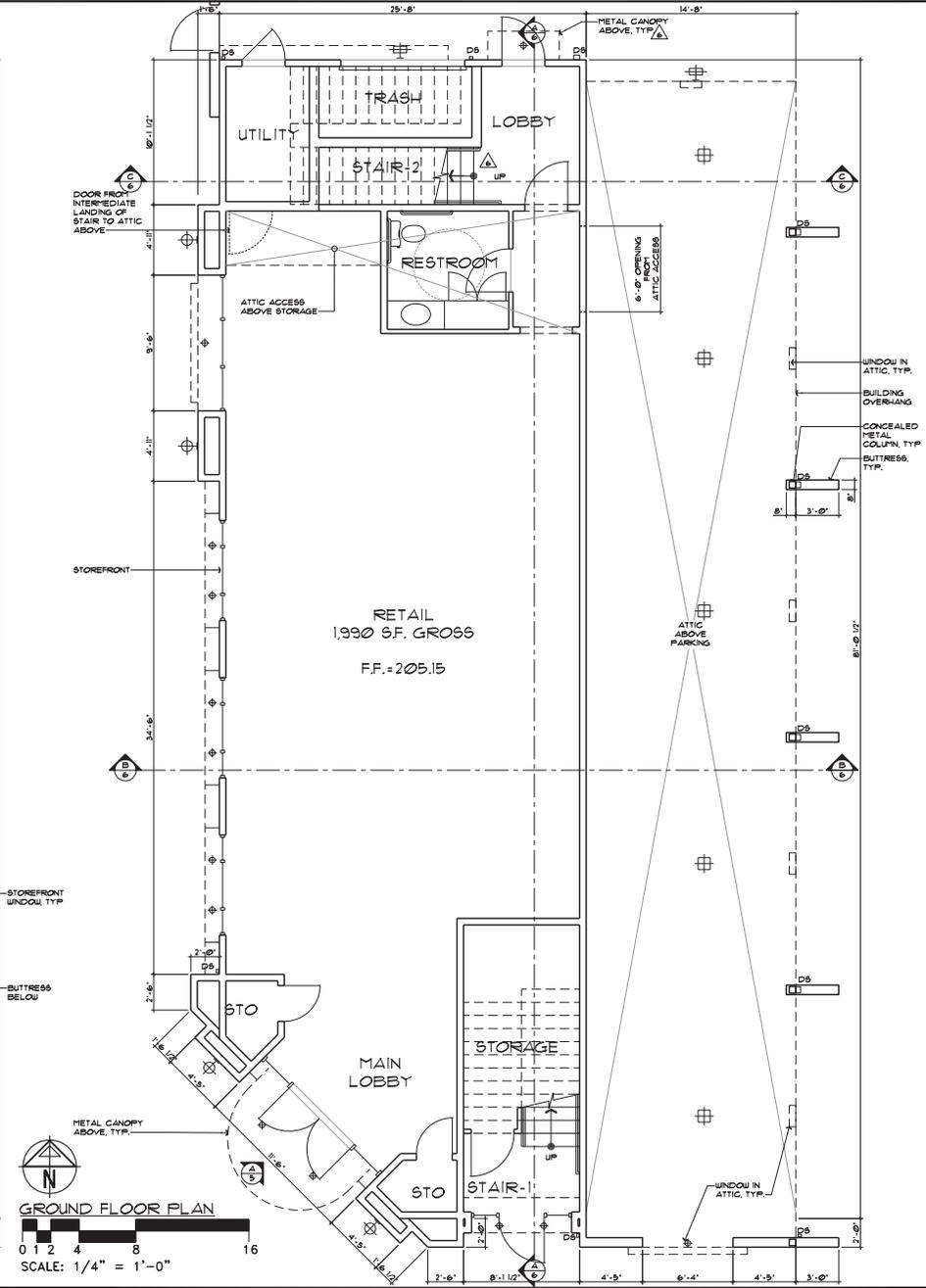
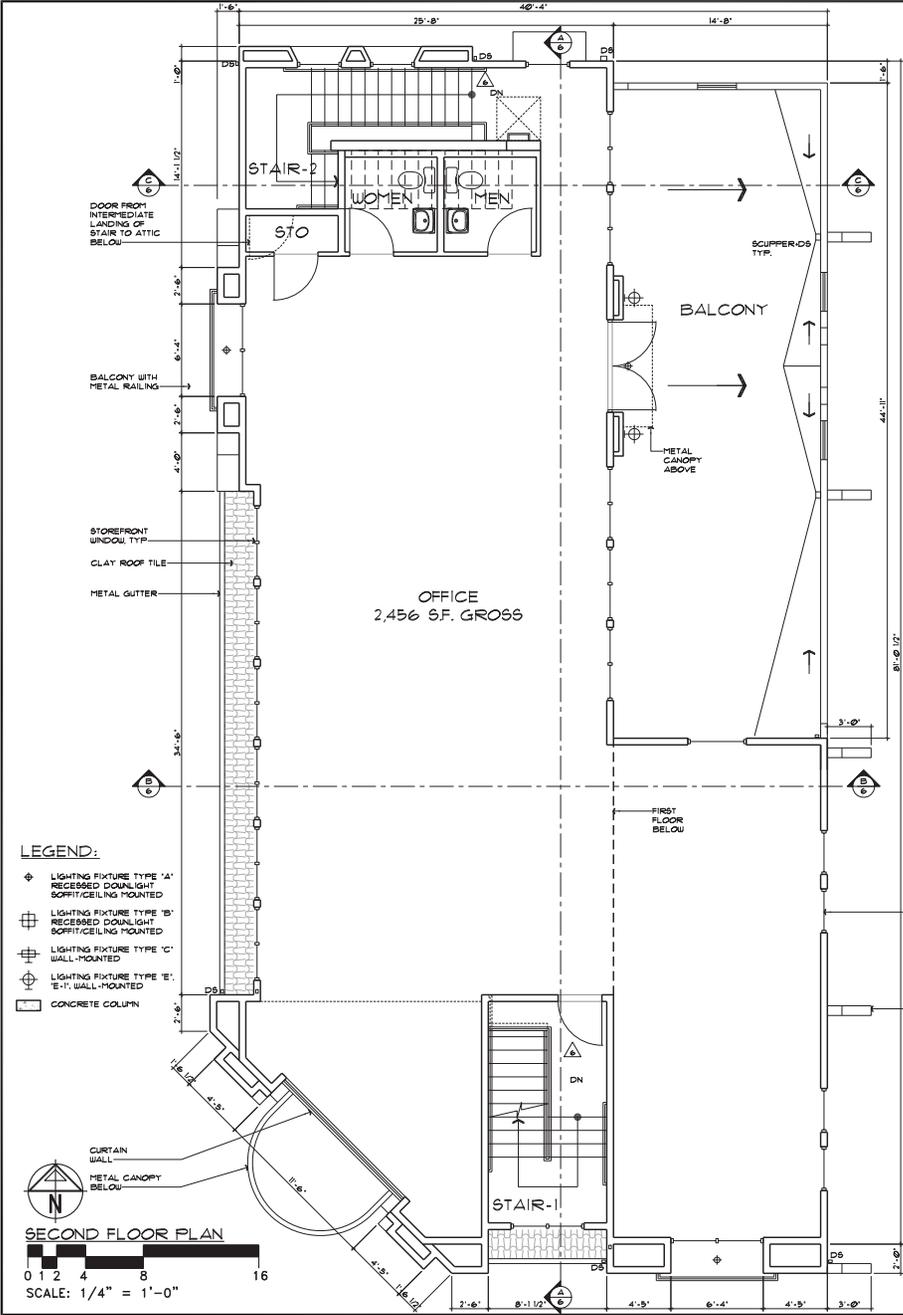
- SITE LEGEND**
- PROPERTY LINE
  - BUILDING OUTLINE
  - LANDSCAPE
  - CONCRETE
  - GRAVEL
  - CATCH BASIN



**AREA BLOCK (S.F.)**

LOCATION	1	2	3	4	5	FLOOR AREA + OVERLAP	LOT COVERAGE + 1/2-3/4-5
GROUND FLOOR	1642 S.F.	201 S.F.	141 S.F.	-	1203 S.F.	1980 S.F.	3/93 S.F.
2ND FLOOR	1628 S.F.	201 S.F.	138 S.F.	509 S.F.	-	2,486 S.F.	-
<b>TOTAL</b>						<b>4,466 S.F.</b>	

LOT COVERAGE = 3/93 S.F.  
FLOOR AREA RATIO = GROSS BUILDING AREA (ALL FLOORS) / LOT AREA (NET)  
.45 = 4,466 S.F. / 9,935 S.F.



JOB No. 1555.2	
DATE JANUARY 19, 2017	
DESCRIPTION	DATE REV.
CITY COMMENTS	4/17/2017
CITY COMMENTS	10/21/17
REDESIGN	03/13/18
CITY COMMENTS	05/10/18
CITY COMMENTS	06/12/18

PLANNED DEVELOPMENT PERMIT  
NEW DEVELOPMENT

**RETAIL / OFFICE**  
2220 S. Winchester Boulevard  
Campbell, California

**MBA ARCHITECTS**  
1776 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH: 408.272.2583 FAX: 408.937.0384

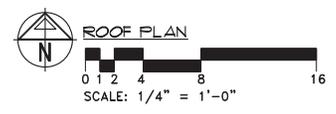
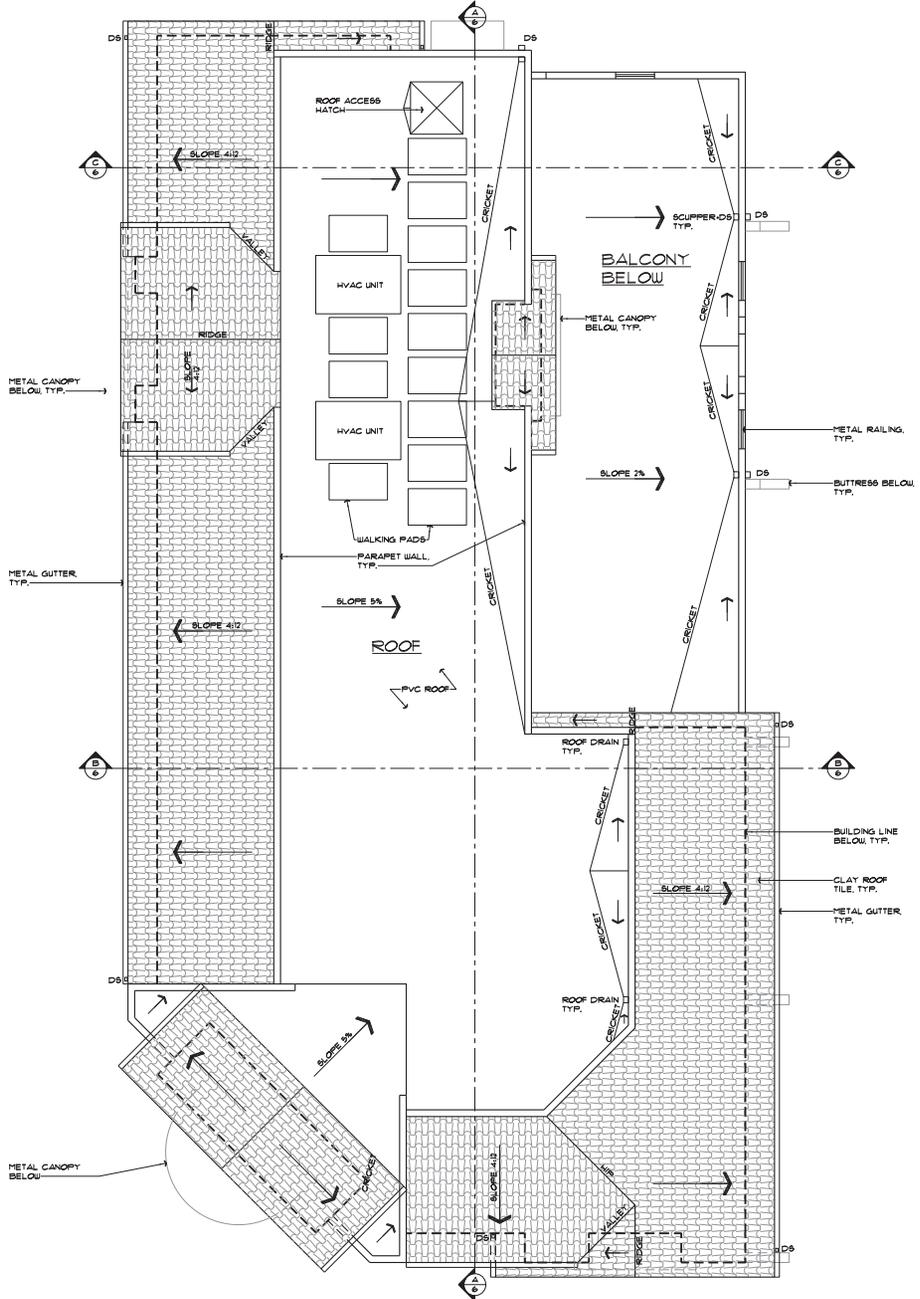
**LICENSED ARCHITECT**  
Arthur Berman  
No. C-4649  
REN. 09/19  
STATE OF CALIFORNIA

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SHEET TITLE  
**FIRST FLOOR  
PLAN  
SECOND FLOOR  
PLAN**

SCALE: As Shown  
CAD FILE: 1555.2-POP-3.dwg  
DRAWN BY:

SHEET  
**3**  
3 OF SHEETS



JOB No. 1555.2  
DATE JANUARY 19, 2017

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	1
REDESIGN	03/13/18	2
CITY COMMENTS	05/10/18	3

PLANNED DEVELOPMENT PERMIT  
NEW DEVELOPMENT

**RETAIL / OFFICE**  
2220 S. Winchester Boulevard  
Campbell, California

**ARCHITECTS**

**MBA**  
175 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH: 408.277.2580 FAX: 408.937.0384

**LICENSED ARCHITECT**  
Member Arthur Berman  
No. C-4649  
REN. 09/19  
STATE OF CALIFORNIA

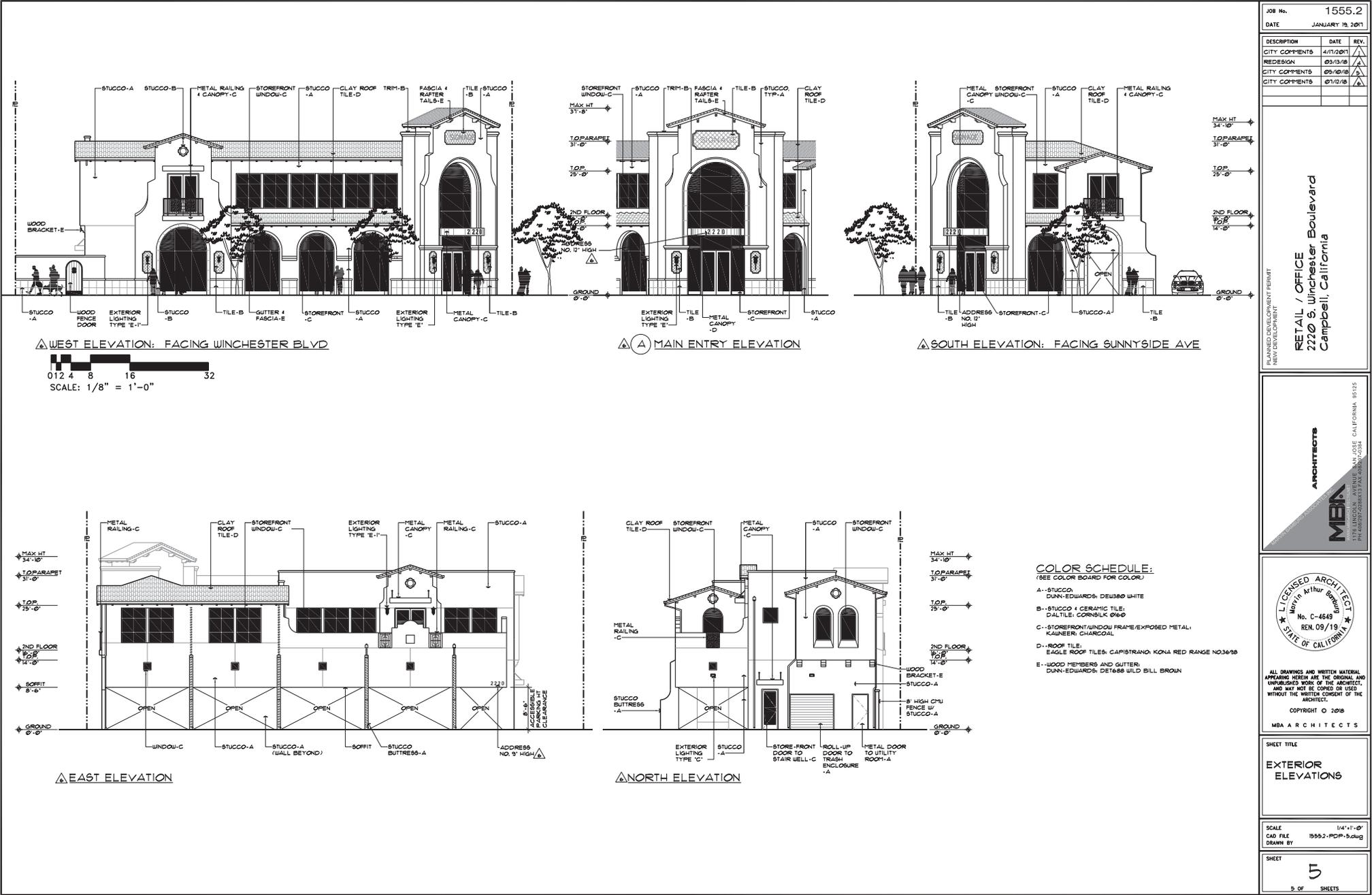
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SHEET TITLE  
**ROOF PLAN**

SCALE 1/4" = 1'-0"  
CAD FILE 15552-PCD-4.dwg  
DRAWN BY

SHEET  
**4**  
4 OF SHEETS



JOB No. 1555.2  
 DATE JANUARY 19, 2017

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	△
REDESIGN	03/13/18	△
CITY COMMENTS	05/10/18	△
CITY COMMENTS	07/12/18	△

PLANNED DEVELOPMENT PERMIT  
 NEW DEVELOPMENT  
 RETAIL / OFFICE  
 2220 S. Winchester Boulevard  
 Campbell, California

ARCHITECTS  
 MBA  
 1775 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
 PH: 408.279.2588 FAX: 408.279.0384

**COLOR SCHEDULE:**  
 (SEE COLOR BOARD FOR COLOR)

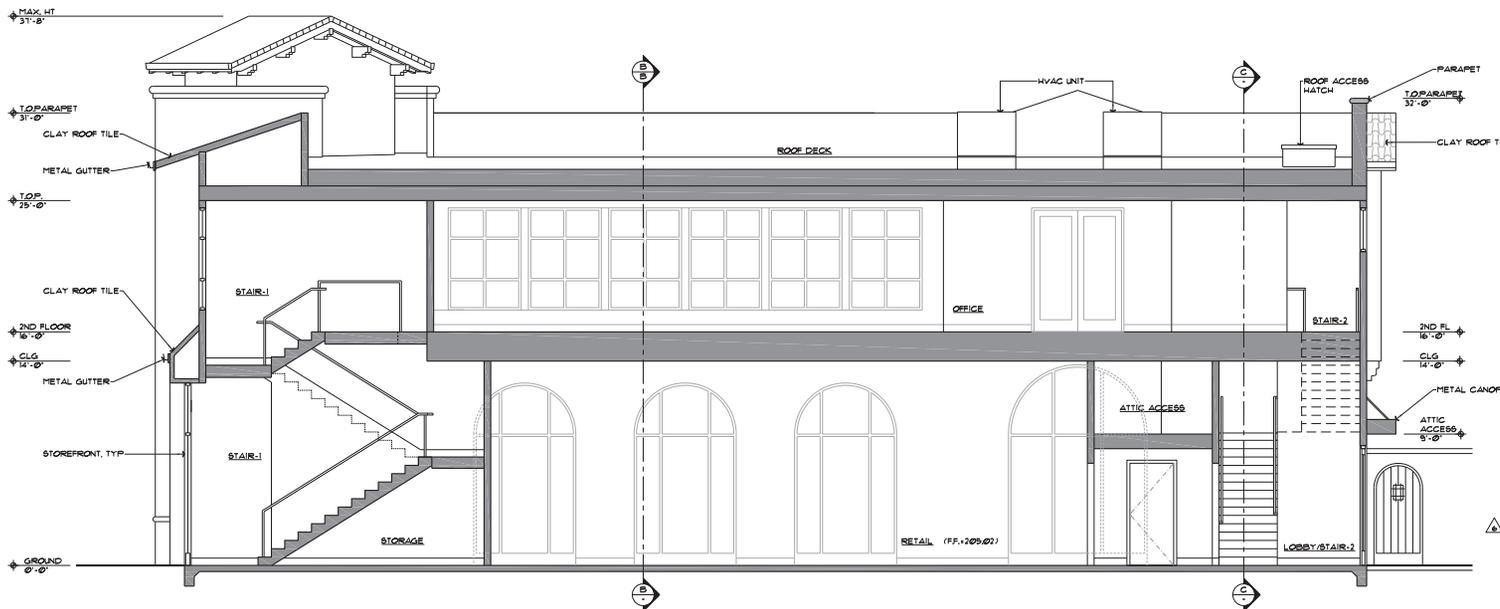
- A - STUCCO: DUNN-EDWARDS: DEW380 WHITE
- B - STUCCO & CERAMIC TILE: DAL TILE: CORNSILK 0160
- C - STOREFRONT/WINDOW FRAME/EXPOSED METAL: KAUNBEER: CHARCOAL
- D - ROOF TILE: EAGLE ROOF TILES: CAPISTRANO: KONA RED RANGE NO.36/38
- E - WOOD MEMBERS AND GUTTER: DUNN-EDWARDS: DET688 WILD BILL BROWN

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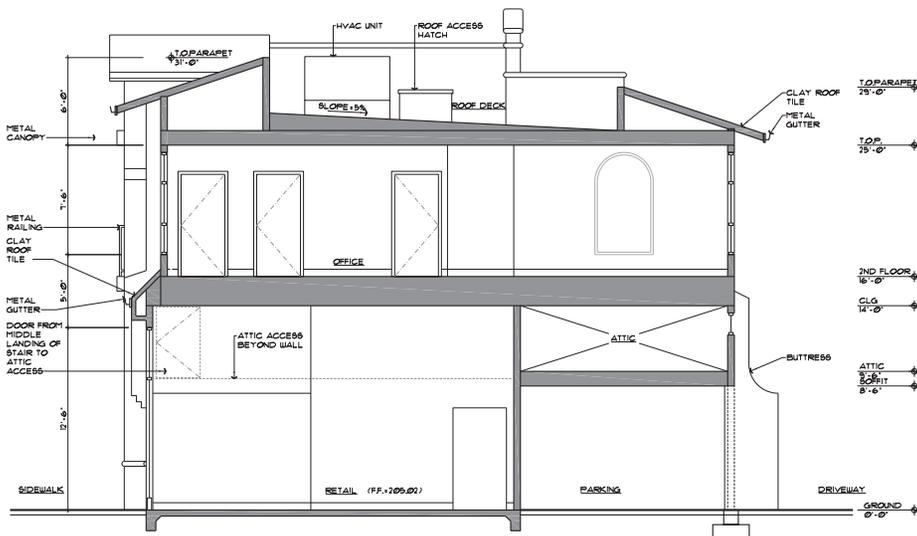
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**EXTERIOR ELEVATIONS**

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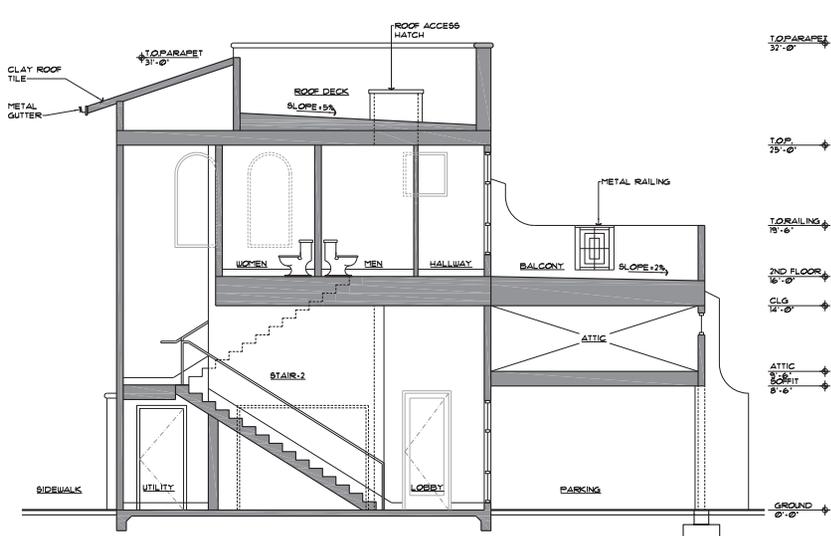
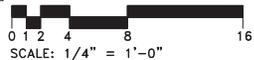
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 5 OF SHEETS



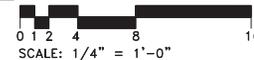
BUILDING SECTION A-A



BUILDING SECTION B-B



BUILDING SECTION C-C



JOB No.	1555.2
DATE	JANUARY 19, 2017
DESCRIPTION	NEW DEVELOPMENT
CITY COMMENTS	4/17/2017
CITY COMMENTS	02/18/2017
REDESIGN	03/13/18
CITY COMMENTS	05/10/18
CITY COMMENTS	07/12/18

PLANNED DEVELOPMENT PERMIT  
NEW DEVELOPMENT  
**RETAIL / OFFICE**  
2220 S. Winchester Boulevard  
Campbell, California

**MBA ARCHITECTS**  
1775 LINCOLN AVENUE, SAN JOSE, CALIFORNIA 95125  
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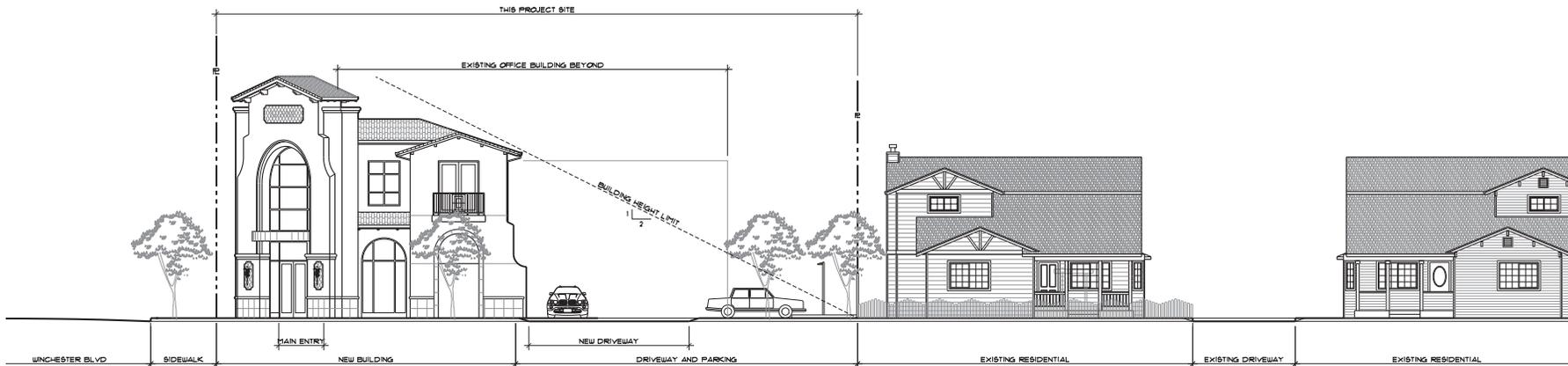
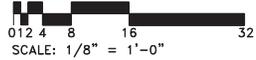
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**BUILDING SECTIONS**

SCALE As Shown  
CAD FILE 1555.2-PCP-6.dwg  
DRAWN BY

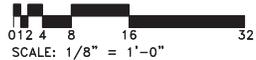
SHEET  
**6**  
6 OF SHEETS



WEST ELEVATION FACING WINCHESTER BLVD



SOUTH ELEVATION FACING SUNNYSIDE AVE



JOB No. 1555.2

DATE JANUARY 19, 2017

DESCRIPTION	DATE	REV.
CITY COMMENTS	4/17/2017	△
CITY COMMENTS	10/21/17	△
REDESIGN	03/13/18	△
CITY COMMENTS	05/10/18	△

PLANNED DEVELOPMENT PERMIT  
NEW DEVELOPMENT

RETAIL / OFFICE  
2220 S. Winchester Boulevard  
Campbell, California

ARCHITECTS

MBA  
1775 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH: 408.279.2500 FAX: 408.279.0284



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SHEET TITLE

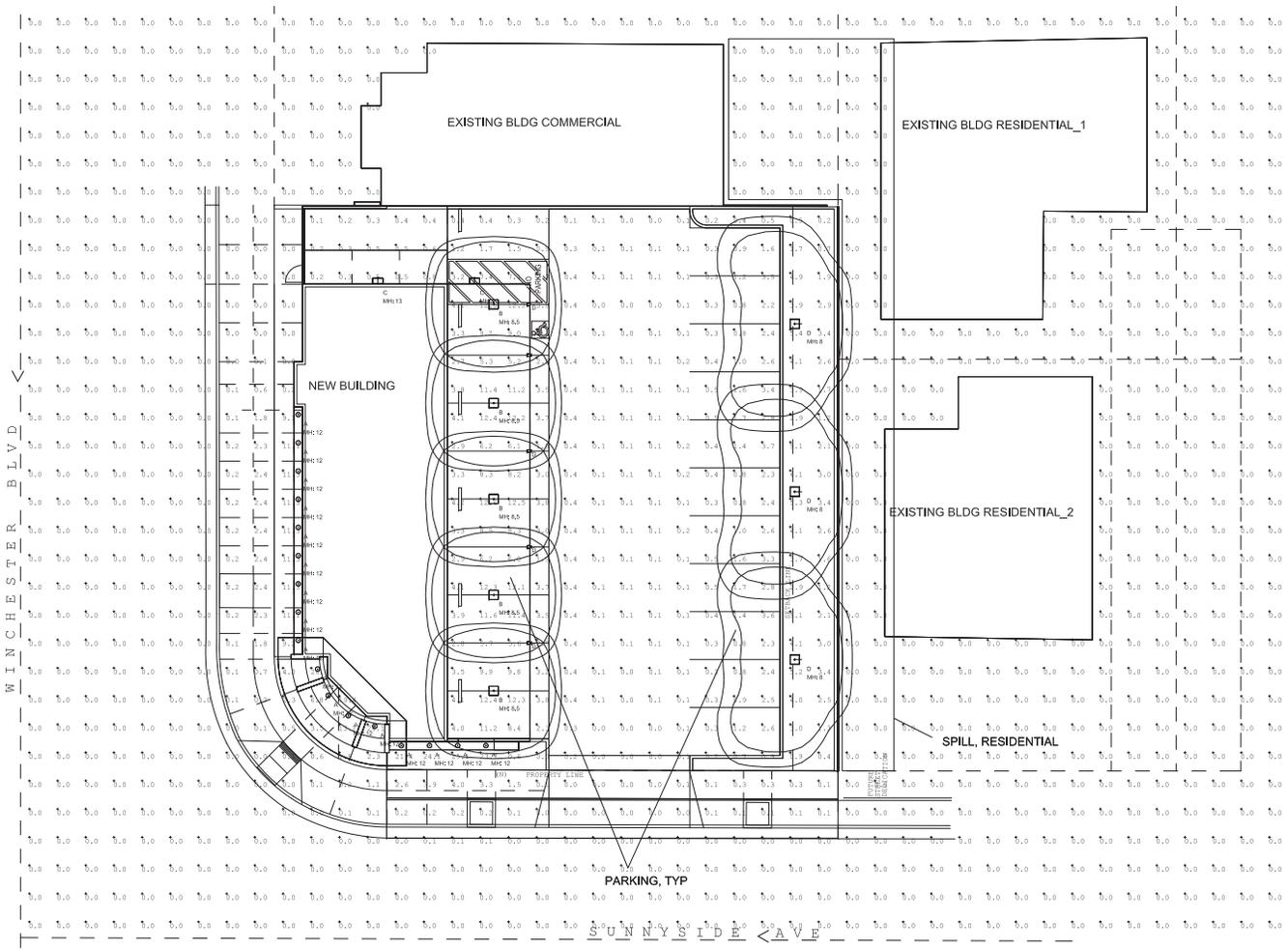
STREETSCAPE

SCALE As Shown  
CAD FILE 15552-POP-1.dwg  
DRAWN BY

SHEET

7

1 OF SHEETS



Qty	Symbol	Tag	Label	Lum. Lumens	L/F	BF	Lum. Watts	Description	Filename
17	○	A	55823	992	0.900	1.000	15	BEGA - 55 823 - ROUND RECESSED	55823.les
5	□	B	66936	2486	0.900	1.000	28.9	BEGA - 66 936 - SQUARE RECESSED	66936.les
2	■	C	22656	365	0.900	1.000	12	BEGA - 22 656 - WALL MOUNT	22656.les
3	□	D	99878	1980	0.900	1.000	28.9	BEGA - 99 878 - POLE MOUNT	99878.les

Calculation Summary (Illuminance-Fc)					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING, TYP	2.28	12.6	0.0	N.A.	N.A.
SPILL, RESIDENTIAL	0.00	0.0	0.0	N.A.	N.A.

\*\*\*LIGHTING LAYOUT VERIFICATION\*\*\*

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

**Associated Lighting Representatives, Inc.**

ASSOCIATED LIGHTING REPRESENTATIVES, INC.  
7777 PARDEE LANE  
P.O. BOX 2265  
OAKLAND, CA 94621  
PHONE: (510) 638-0158 - FAX (510) 638-2908

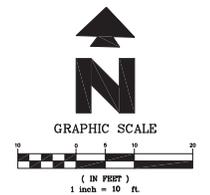
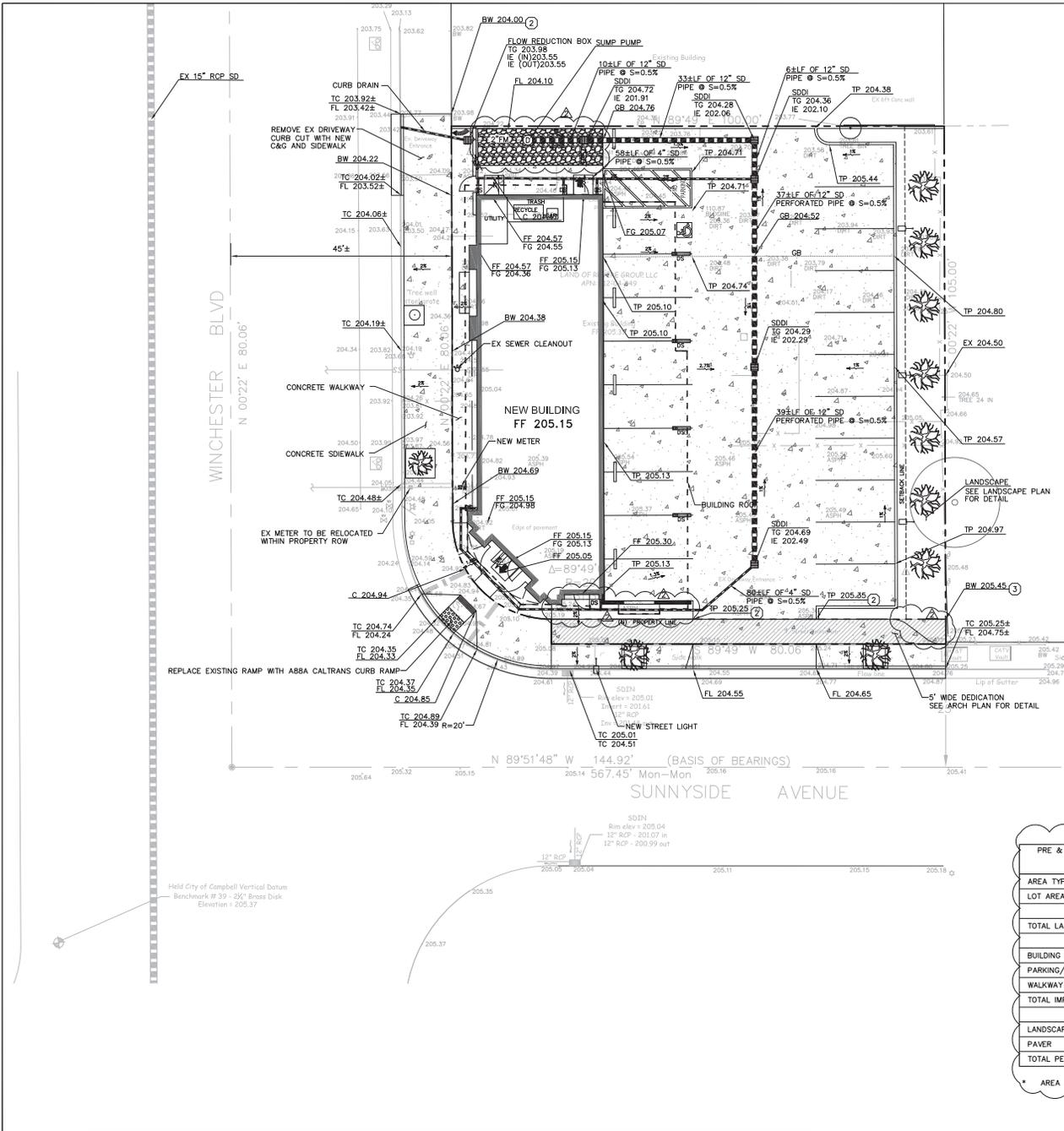
REPORT FOR: MBA ARCHITECTS; QING GAN  
BY: APPLICATIONS ENGINEERING; HEATHER WAUGH  
SALES REPRESENTATIVE: ALR; JD STEPHENS

AG32 lighting software  
By Lighting Analysts

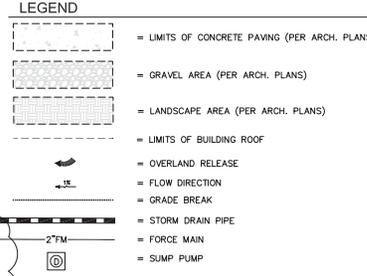
PROJECT DESCRIPTION  
**RETAIL / OFFICE - SITE**  
2220 S. WINCHESTER BOULEVARD

DRAWING NO. / INPUT FILE  
14994JDS.R00.DWG / \_A32

SCALE 1:10	SHEET 8 OF 8	DATE 10,26,2017	SHEET 8
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- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
  - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH RELATED UTILITY AGENCIES STANDARDS FOR WATER, GAS & WASTEWATER.
  - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
  - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINET & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
  - CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST ACROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.



**PRE & POST DEVELOPMENT PEROUS/IMPERVIOUS AREAS:**

AREA TYPE	EXISTING	PROPOSED
LOT AREA	9,915 SF *	
	0.23 ACRE	
TOTAL LAND DISTURBANCE	9,915	9,915
BUILDING ROOF	2,439	3,648
PARKING/DRIVEWAY	3,920	4,476
WALKWAY	1,355	541
TOTAL IMPERVIOUS AREA	7,714	8,665
LANDSCAPE/GRAVEL	2,201	1,250
PAVER	0	0
TOTAL PEROUS AREA	2,201	1,250

\* AREA AFTER STREET DEDICATION, SEE ARCH PLAN FOR DETAIL.

- ABBREVIATIONS:**
- BOT = BOTTOM OF TREATMENT AREA ELEVATION
  - C = CONCRETE
  - DS = DOWNSPOUT
  - EX = EXISTING
  - FF = FINISH FLOOR ELEVATION
  - FG = FINISH GRADE ELEVATION
  - FL = SWALE FLOWLINE
  - GB = GRADE BREAK ELEVATION
  - IE = INVERT ELEVATION
  - SW = SIDEWALK
  - TC = TOP OF CURB ELEVATION
  - TG = TOP OF GRADE ELEVATION
  - TOP = TOP OF TREATMENT AREA ELEVATION
  - TP = TOP OF PAVEMENT ELEVATION
  - TY = TYPICAL

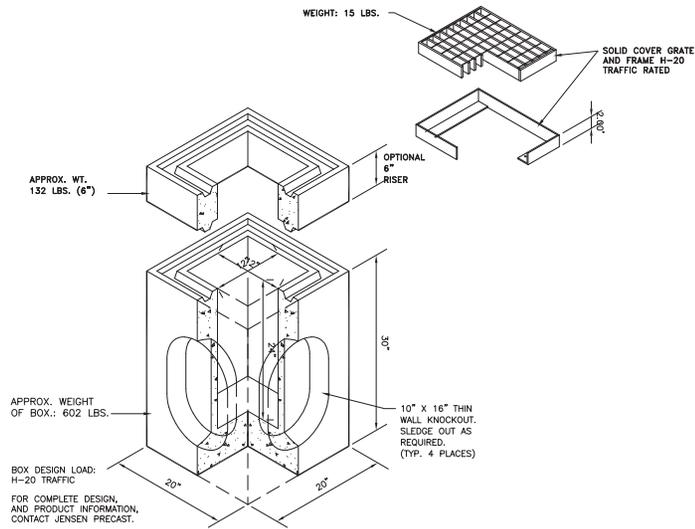
- GRADING NOTES**
- CURB DRAIN. MATCH EXISTING FLOW LINE ELEVATION. APPROXIMATE LOCATION SHOWN. CONTRACTOR TO FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
  - TAPER CURB FROM 6" TO 0" IN 2 FEET.
  - MATCH EXISTING

Date	2/22/18	By	AW	Chd	AW
Revision		No.		Date	
1	DRINAGE REVISION	1		11/28/2016	
2	INITIAL REVISION PER ARCH PLAN	2		5/17/18	
		Drawn By:	AW	Designed By:	AW

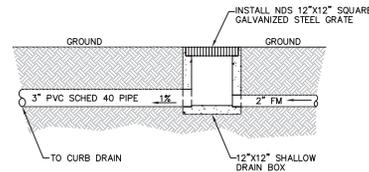
**GREEN**  
 CIVIL ENGINEERING, INC  
 204E CONDUITE BLDG, SAN MATEO, CA 94401

**GRADING & DRAINAGE PLAN**  
 2220 WINCHESTER BLVD, CAMPBELL, CA  
 BUILDING PERMIT NO.

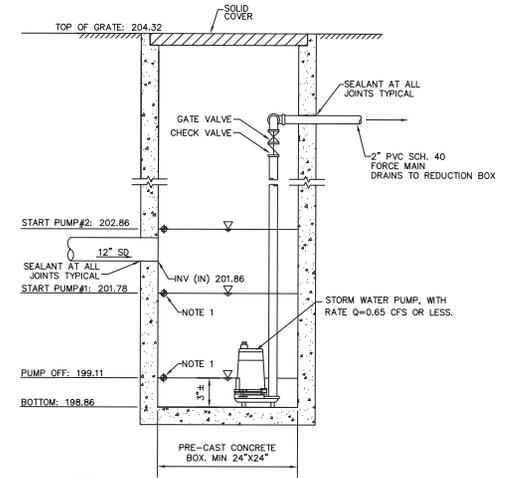
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 SHEET: C1



STORM DRAIN INLET  
BY JENSEN PRECAST  
N.T.S. ①  
C2

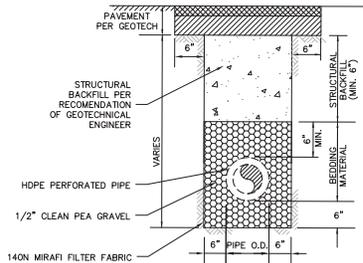


FLOW REDUCTION BOX  
N.T.S. ②  
C2

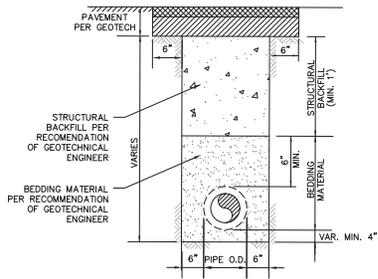


- NOTES:
1. MERCURY FLOAT ON-OFF (HIGH OR LOW) SWITCH SENSORS.
  2. WATERPROOFING CONCRETE BOX PER MANUFACTURER'S SPECIFICATIONS.
  3. INSTALL PUMP PER MANUFACTURER RECOMMENDATION.
  4. DUAL PUMPS TO BE USED.
  5. COVER SHOULD BE TRAFFIC RATED H-20.

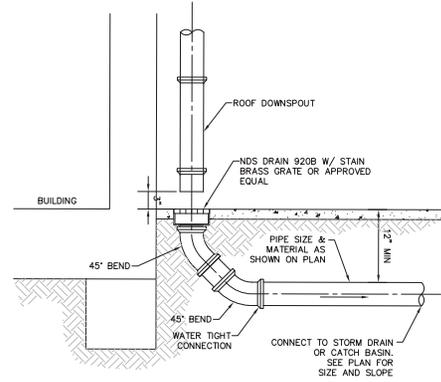
STORM DRAIN SUMP PUMP  
N.T.S. ③  
C2



NOTE: STRUCTURAL MATERIALS PER GEOTECH RECOMMENDATIONS  
PERFORATED PIPE DETAIL ④  
N.T.S. C2



NOTE: BEDDING & STRUCTURAL MATERIALS PER GEOTECH RECOMMENDATIONS  
TRENCH DETAIL ⑤  
N.T.S. C2



RAINWATER LEADER  
W/ DRAIN INLET ⑥  
N.T.S. C2

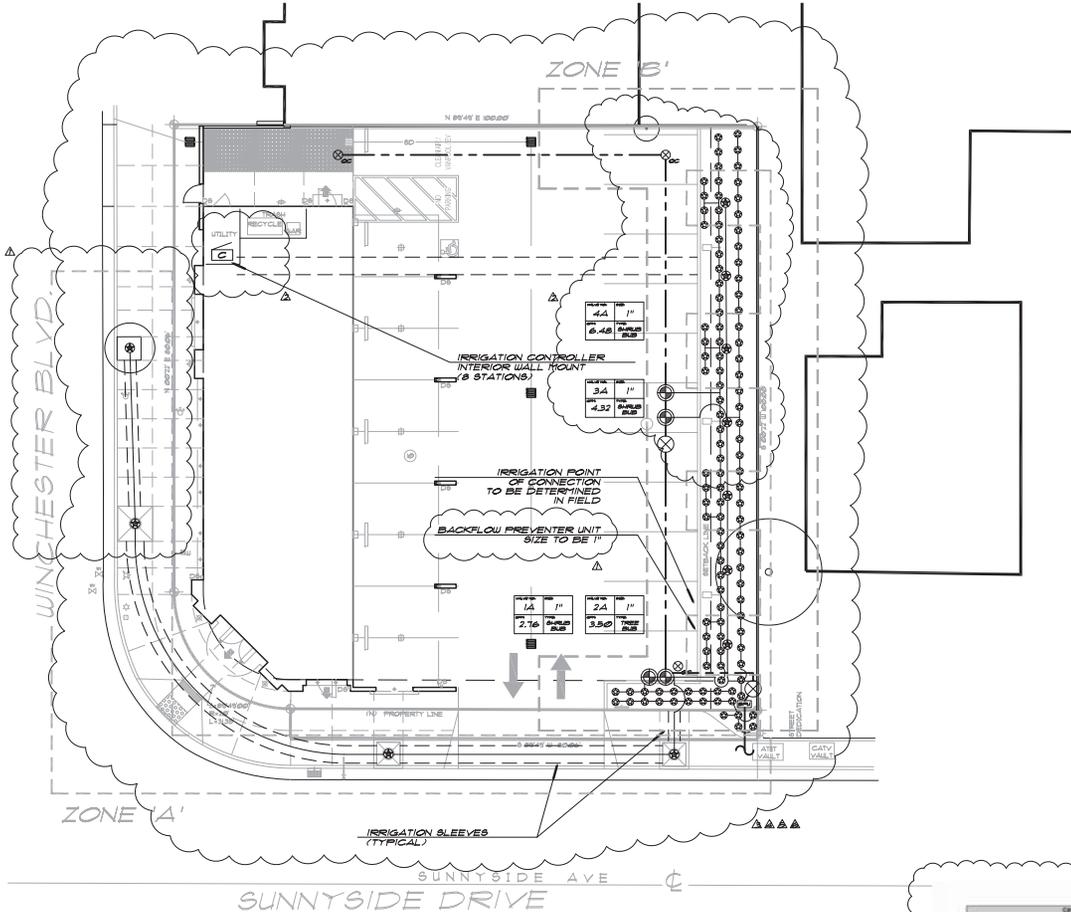
Revision	Date	Drawn By	Designed By
1	2/22/18	AW	AW
2	5/11/18	AW	AW
No.	Date	Drawn By	Designed By
1	11/28/2016	AW	AW
2			

**GREEN**  
CIVIL ENGINEERING, INC.  
201 E. SINDAVE BLVD. SAN MATEO, CA 94401

**2220 WINCHESTER BLVD, CAMPBELL, CA**  
BUILDING PERMIT NO. \_\_\_\_\_

CAMPBELL, CALIFORNIA

SCALE: 1:10  
SHEET: C2

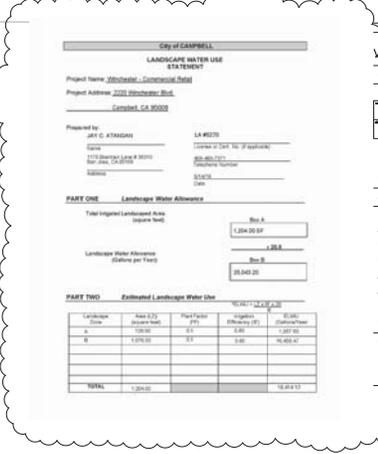


**IRRIGATION NOTES**

- a. THESE NOTES ARE FOR GENERAL REFERENCE AND ARE TO BE USED IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, DETAILS, APPENDIX, AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- b. PRIOR TO INITIATING ANY CONSTRUCTION, CONTRACTOR TO BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND PROPOSED UNDERGROUND SERVICES. CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1800-842-2444.
- c. PROPOSED IRRIGATION SYSTEM TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
- d. IRRIGATION SYSTEM DESIGN IS DIAGNOSTIC. WHERE PIPING, VALVES, ETC. ARE SHOWN OUTSIDE OF PLANTING AREAS, THE INTENT IS FOR PIPING, VALVES, ETC. TO BE INSTALLED WITHIN PLANTING AREAS UNLESS NOTED AND DETAILED OTHERWISE.
- e. CONTRACTOR TO COORDINATE IRRIGATION INSTALLATION WITH OTHER TRADES. VERIFY ALL SLEEVINGS, PIPING, AND ELECTRICAL SUPPLY, POINT OF CONNECTION, ETC.
- f. CONTRACTOR RESPONSIBLE TO ENSURE COMPLETE AND UNIFORM IRRIGATION SPRAY COVERAGE OF ALL PLANTING AND TURF AREAS. CONTRACTOR TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE FOR EACH CIRCUIT. ADJUST SPRAY HEADS AND NOZZLES FOR OPTIMUM COVERAGE WHILE PREVENTING OVER SPRAY ONTO WALKWAYS AND STRUCTURES BY THE USE OF PRESSURE COMPENSATING DEVICES.
- g. ALL LATERAL LINES TO BE SIZED PER LATERAL PIPE SIZE CHART.
- h. PROPOSED IRRIGATION SYSTEM IS DESIGNED TO OPERATE AT 30 PSI AND 30 GPM FROM THE POINT OF CONNECTION. CONTRACTOR TO VERIFY EXISTING PRESSURE AND FLOW PRIOR TO INITIATING ANY WORK. CONTACT LANDSCAPE ARCHITECT IF ANY CONFLICTS ARISE.
- i. CONTRACTOR TO MAP "AS-BUILT" CONDITIONS OF THE IRRIGATION SYSTEM. PROVIDE DIMENSIONS FROM MAINLINE FROM NEAREST PAVED SURFACE OR BUILDING. REDUCE PLAN TO A LEGIBLE FORMAT, LAMINATE AND PLACE IN CONTROLLER PER SPECIFICATIONS.
- j. REFER TO IRRIGATION SPECIAL PROVISIONS SHEETS L5, L6, AND IRRIGATION DETAILS ON SHEET L3.
- k. CONTRACTOR RESPONSIBLE TO PROVIDE A FULLY AUTOMATIC IRRIGATION SYSTEM OPERATED BY SPECIFIED IRRIGATION CONTROLLER(S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SUFFICIENT WIRING, PLUS FIVE (5) SPARE AND ONE (1) COMMON PER PLANS, DETAILS, AND SPECIFICATIONS FROM THE REMOTE CONTROL VALVES TO CONTROLLER(S). WIRING PATH FOR THIS IRRIGATION SYSTEM IS NOT SHOWN ON THE DRAWINGS. WIRING PATH SHALL FOLLOW MAINLINE EXISTING OR NEW TO EACH REMOTE CONTROL VALVE. SPARE WIRES TO BE RUN FROM ASSOCIATED CONTROLLER AND LOOP THROUGH THE ENTIRE SYSTEM OF VALVES ASSOCIATED WITH THE SPECIFIED CONTROLLER. SPARE WIRES TO BE FIVE (5) PER CLOCK FOR A TOTAL OF 5 FOR THIS PROJECT.

**IRRIGATION LEGEND**

SYMBOL	MPR / MODEL / DESCRIPTION	PSI	GPM
BUBBLER	TORO 8102-FB-200-ADJ1 PC2.00	30	0-200
	PRESSURE COMPENSATING FLOOD BUBBLER	30	0.25
	TREE - TWO (2) PER TREE SHRUB - ONE (1) PER SHRUB	30	0.12
<b>CONTROLLER / VALVES</b>			
[BPU]	BACKFLOW PREVENTER UNIT - 1-1/2" FEBCO 825Y OR APPROVED EQUAL, INSTALL IN LOCKABLE ENCLOSURE		
[G]	RAINBIRD ESP-LX1ME IRRIGATION CONTROLLER, MODEL ESP-LX1M4 EXTERIOR WALL MOUNT IN LOCKABLE METAL CASE, MODEL LX1M (8 STATIONS) OR APPROVED EQUAL		
[X]	AQUA - 1PS BRONZE BALL VALVE MATCH LINE SIZE		
[R]	RAINBIRD EFB-PC SERIES - BRASS ELECTRIC REMOTE CONTROL VALVE - 9/16" PER PLAN		
[C]	RAINBIRD 44LRC - QUICK COUPLING VALVE W/ RUBBER CAP - PROVIDE KEY (1 PER VALVE)		
<b>IRRIGATION PIPE</b>			
---	CLASS 300 PVC NON-PRESSURIZED LATERAL LINE, 18" MIN. DEPTH NSF APPROVED, SIZE PER PIPE SIZE CHART		
---	8CH 40 (UP TO 2-1/2") CLASS 315 (3" AND LARGER) PVC PRESSURIZED MAINLINE, NSF APPROVED, SIZE PER PLAN, 24" MIN. DEPTH		
---	8CH 40 PVC SLEEVES, TWO (2) PER CROSSING, 3" MIN. DIAMETER		
<b>VALVE TAG</b>			
SYMBOL	WHERE:		
[A]	A = VALVE NUMBER		
[B]	B = VALVE SIZE (INCHES)		
[C]	C = GALLONS PER MINUTE		
[D]	D = TYPE OF CIRCUIT		
<b>LATERAL PIPE SIZE CHART</b>			
GPM	PIPE SIZE		
0 - 10	3/4"		
11 - 16	1"		
17 - 26	1 1/4"		
27 - 35	1 1/2"		
36 - 55	2"		
<b>LANDSCAPE WATER USE ZONES</b>			
DESCRIPTION	DESCRIPTION	AREA (SF)	
ZONE 'A'	TREE PLANTING	128 SF	
ZONE 'B'	SHRUB PLANTING	1076 SF	
TOTAL		1204 SF	



**REVISIONS:**

DATE	DESCRIPTION
11/23/17	MBA COMMENTS
11/20/17	CITY COMMENTS
11/19/17	SITE PLAN
11/16/18	SITE PLAN
11/15/18	SITE PLAN
11/14/18	SITE PLAN

PROJECT: **COMMERCIAL RETAIL**

MBA ARCHITECTS  
1175 BRANHAM LANE #4600  
SAN JOSE, CA 95128

2220 WINCHESTER BLVD.  
CAMPBELL, CA 95008



STAMP: IRRIGATION PLAN

SHEET TITLE: **IRRIGATION PLAN**

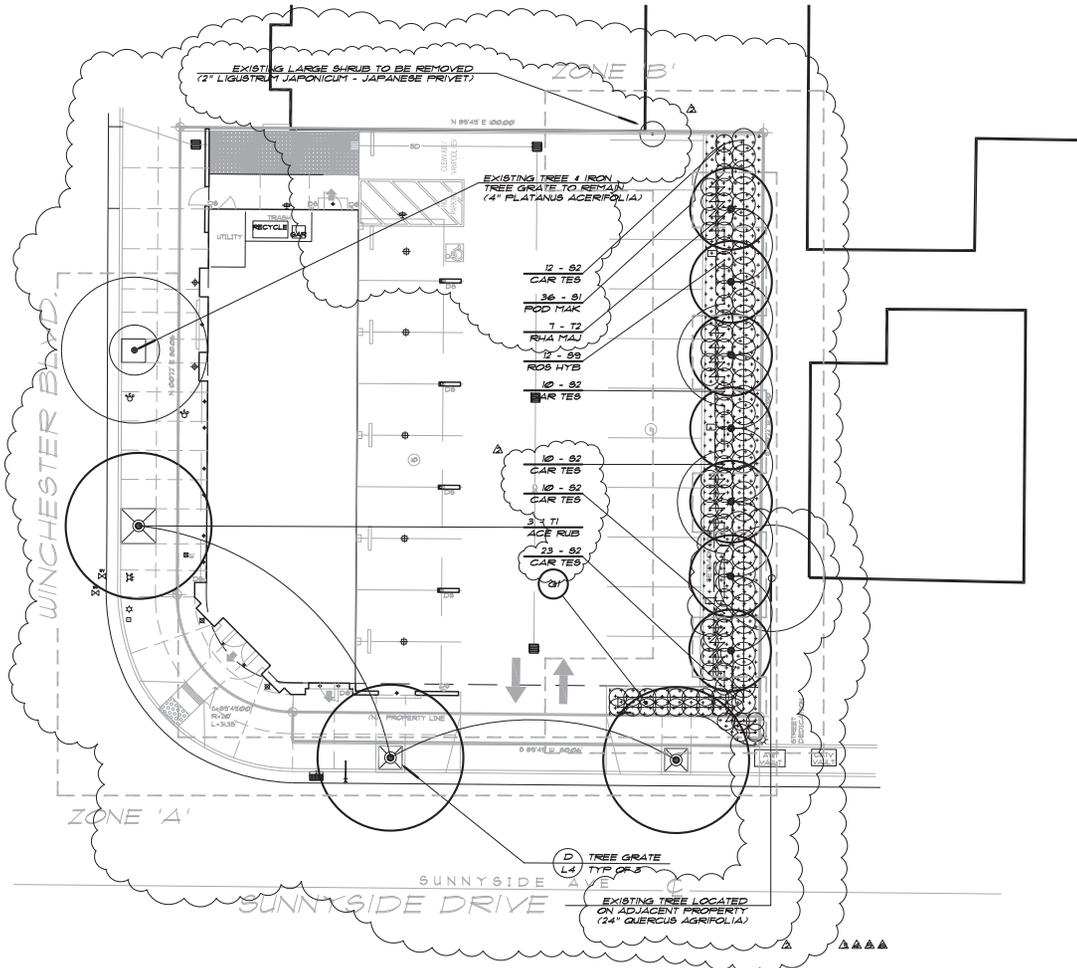
SCALE: **AS NOTED**

DATE: **11/28/16**

JOB #: **LOD 16.100**  
**MBA 1553**

SHEET #: **L1**

1 OF 7



**PLANTING NOTES**

1. THESE NOTES ARE FOR GENERAL REFERENCE AND ARE TO BE USED IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, DETAILS, APPENDIX, AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
2. PRIOR TO INITIATING ANY CONSTRUCTION, CONTRACTOR TO BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND PROPOSED UNDERGROUND SERVICES. CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800-842-2444.
3. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO PLANTING INSTALLATION.
4. FINE GRADING, HEADERBOARD INSTALLATION, AND IRRIGATION COVERAGE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY PLANTING INSTALLATION.
5. CONTRACTOR TO LAY OUT PLANT MATERIAL PER PLAN. FACE PLANT MATERIAL TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS. CONTRACTOR TO OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. PLANT MATERIAL NOT BE INSTALLED IN AREAS WHICH WILL CAUSE HARM TO ADJACENT STRUCTURES OR OBSTRUCT IRRIGATION SPRAY PATTERNS. CONTACT LANDSCAPE ARCHITECT IF CONFLICTS ARISE.
7. PLANT LOCATIONS ARE DIAGNOSTIC AND MAY BE ADJUSTED IN FIELD AT THE LANDSCAPE ARCHITECT'S REQUEST PRIOR TO INSTALLATION.
8. UNLESS NOTED OTHERWISE, FINISH GRADE OF PLANTING AREAS TO BE 2" BELOW ADJACENT PAVING. TAPER 2" DEPTH BARK MULCH TOP DRESSING TO 1/2" BELOW ADJACENT PAVING (1-1/2" DEPTH) WITHIN 2' OF PAVING.
9. ALL PLANTING AREAS TO RECEIVE A 2" MINIMUM DEPTH OF BARK MULCH TOP DRESSING.
10. GROUND COVERS TO BE PLANTED EVENLY AND CONTINUOUSLY UNDER TREE AND SHRUB MASSES.
11. ALL NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN THREE (3) HOURS OF PLANTING.
12. PROTECT ALL EXISTING TREES, SHRUBS, AND GROUND COVERS TO REMAIN. ANY DAMAGE CAUSED BY CONTRACTOR'S WORK OR NEGLIGENCE TO BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE OWNER'S SATISFACTION.
13. CONTRACTOR TO RE-STAKE AND STRAIGHTEN TREES AS NECESSARY THIRTY (30) DAYS AFTER PLANTING.
14. REFER TO PLANTING SPECIAL PROVISIONS SECTION SHEETS L6 & L7, AND PLANTING DETAILS SHEET L4.

**PLANT SCHEDULE - EXISTING TO REMAIN**

TAG/SYM	CONTAINER	BOTANICAL NAME	COMMON NAME	WATER USE CLASSIFICATION
<b>TREES:</b>				
T1	ACE RUB 24" BOX	ACER RUBRUM	SCARLET MAPLE	M
T2	RHA MAJ 24" BOX	RHAPLOLEPIS INDICA	INDIA HAWTHORN	M
<b>SHRUBS:</b>				
S1	CAM JAP 5 GAL	CAMELLIA JAPONICA	CAMELLIA	M
S2	CAH TES 5 GAL	CAREX TESTACEA	ORANGE SEDGE	M
S3	FOD MAK 15 GAL	FODOCARPUS MACROPHYLLUS MAKI'	SHRUBBY YEW FINE	M
S4	ROS HYB 2 GAL	ROSA HYBRID	CARESET ROSE	M
S5	CEA GRI 5 GAL	CEANOTHUS GRISBUS HORIZ	WILD LILAC	L
<b>GROUND COVERS:</b>				
G1	BARK	SHREDDED BARK MULCH	BLACK BARK MULCH	-

**WATER USE CLASS SYMBOLS & LEGEND**  
 H = HIGH  
 M = MODERATE  
 L = LOW  
 VL = VERY LOW

**TREE PROTECTION NOTES**

- A. TREE BRANCHES THAT WILL INTERFERE WITH CONSTRUCTION EQUIPMENT SHALL BE PROPERLY PRUNED PRIOR TO BEGINNING CONSTRUCTION. PRUNING SHALL BE AS APPROVED BY THE CITY AND SHALL COMPLY WITH CITY APPROVED PRACTICES.
- B. A PROTECTIVE FENCE SHALL BE PLACED AT THE DRIFLINE OF THE EXISTING TREES DURING THE ENTIRE CONSTRUCTION PERIOD. NO WORK SHALL OCCUR WITHIN THE DRIFLINE EXCEPT UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST APPROVED BY THE CITY.
- C. SOIL COMPACTION AND GRADING SHALL BE AVOIDED UNDER THE DRIFLINE OF THE TREES. MAINTAIN A POSITIVE DRAINAGE AWAY FROM TREE TRUNK. IRRIGATION SHALL BE AVOIDED UNDER NATIVE OAK TREES.
- D. NO STORAGE OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN 25 FEET OF THE DRIFLINE OF THE TREES.
- E. ALL ROOTS 1" OR LARGER THAT MUST BE SEVERED SHALL BE CUT MANUALLY TO PRODUCE A CLEAN CUT AND TREATED WITH A TREE SEALANT. BORING, RATHER THAN TRENCHING SHALL BE REQUIRED WHERE IT IS UNAVOIDABLE FOR PIPING TO CROSS THROUGH THE DRIFLINE OF A TREE.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPARABLE REPLACEMENT TREES FOR ANY EXISTING TREES THAT ARE FOUND BY THE CITY TO BE IRREPARABLY DAMAGED DUE TO CONSTRUCTION ACTIVITY.



**REVISIONS:**

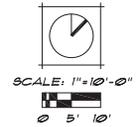
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11/28/17	MBA CNTS
12/14/18	CITY CNTS
12/19/17	SITE PLAN
12/14/18	SITE PLAN
12/19/18	SITE PLAN
12/14/18	SITE PLAN

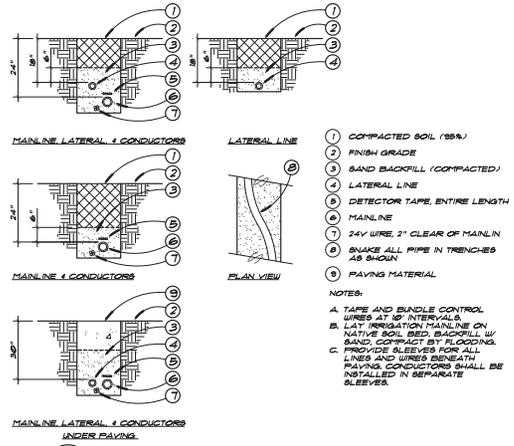
PROJECT: **COMMERCIAL RETAIL**  
 2209 WINCHESTER BLVD. #116  
 SAN JOSE, CA 95128  
 PH: 408-460-3377 / FAX: 408-460-3378  
 EMAIL: info@iloidlandscape.com



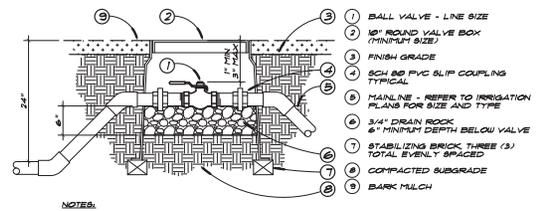
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SCALE: **AS NOTED**  
 DATE: **11/28/16**  
 JOB #: **LOD 16.100**  
 SHEET #: **MBA 1553**

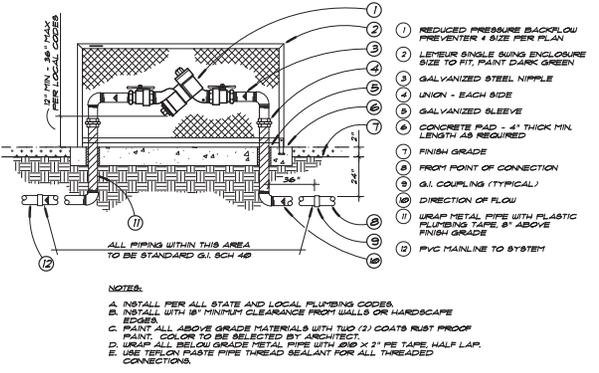




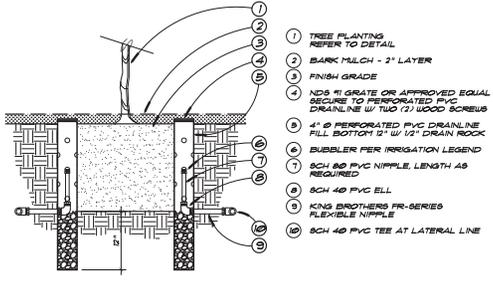
**F TRENCHING** SCALE: NTS



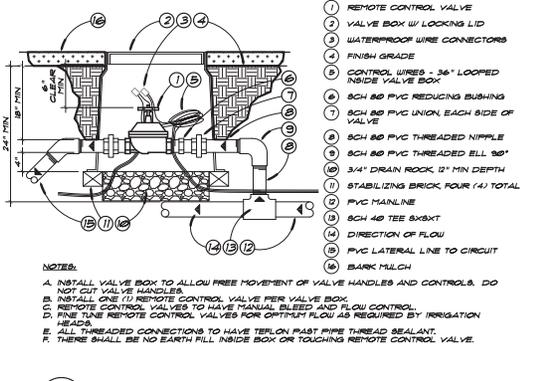
**C BALL VALVE** SCALE: NTS



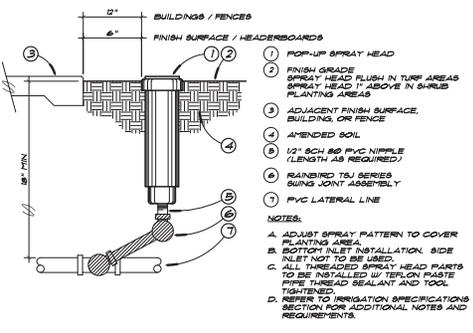
**H BACKFLOW PREVENTER UNIT** SCALE: NTS



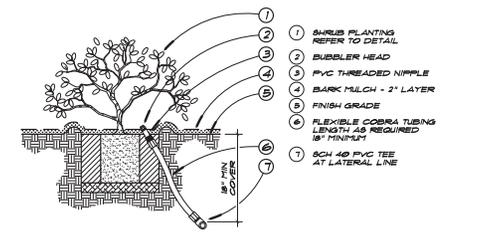
**E TREE BUBBLER** SCALE: NTS



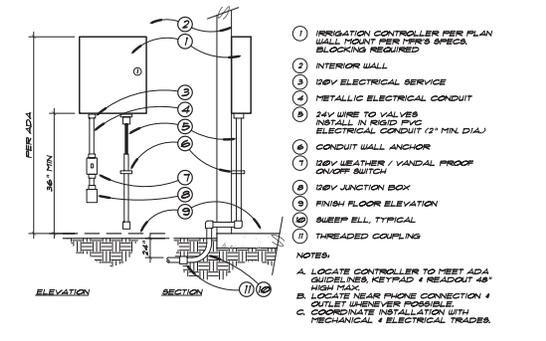
**B REMOTE CONTROL VALVE** SCALE: NTS



**G POP-UP SPRAY** SCALE: NTS



**D SHRUB BUBBLER** SCALE: NTS



**A IRRIGATION CONTROLLER INTERIOR WALL MOUNT** SCALE: NTS

REVISIONS:

DATE	DESCRIPTION
11/28/17	MBA COMMENTS
12/14/17	CITY COMMENTS
12/14/17	SITE PLAN

PROJECT: **COMMERCIAL RETAIL**  
2220 WINCHESTER BLVD. #116  
SAN JOSE, CA 95128

MBA ARCHITECTS  
116 LINGOLN AVENUE  
SAN JOSE, CA 95128



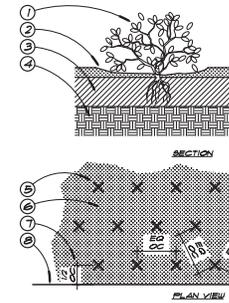
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SCALE: **AS NOTED**

DATE: **11/28/16**

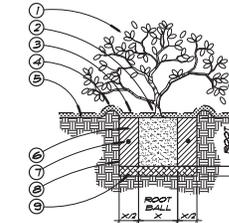
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**MBA 1553**

SHEET #



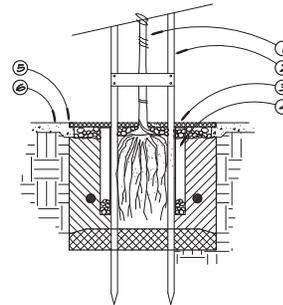
- 1 GROUND COVER PLANT SPECIES
- 2 BARK MULCH - 2" LAYER
- 3 AMENDED SOILS PER SPECIFICATIONS
- 4 SUBGRADE
- 5 GROUND COVER PLANT SPECIES EQUAL TRIANGULAR SPACINGS BETWEEN PLANTS, ON CENTER SPACING PER PLANT LEGEND
- 6 PLANTING AREA W/ BARK MULCH
- 7 SETBACK EQUAL TO 1/2 OC SPACING PER PLANT SPECIES
- 8 BACK OF WALK CURB OR HEADSBOARD

**C GROUND COVER PLANTING** SCALE: NTS



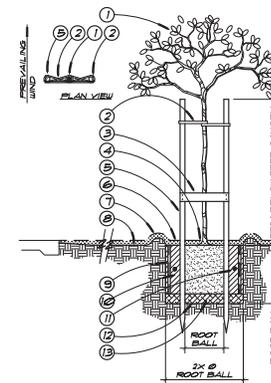
- 1 SHRUB PLANT SPECIES
- 2 SET ROOT BALL 1" ABOVE FINISH GRADE
- 3 BARK MULCH - 2" LAYER
- 4 3" HIGH BERM
- 5 FINISH GRADE
- 6 BACKFILL MIX PER SPECIFICATIONS
- 7 FERTILIZER TABLETS OMNOCOOTE OR EQUAL (2 OR 3 GAL. / 1 GAL.)
- 8 SCARIFY SIDES AND BOTTOM OF PIT
- 9 LOOSEN BOTTOM 1" OF SOIL AROUND ROOT BALL

**B SHRUB PLANTING** SCALE: NTS



- 1 TREE
  - 2 TREE PLANTING 4 SUPPORT - SEE TREE PLANTING DETAIL
  - 3 TREE GRATE
  - 4 4" DIA. X 36" LENGTH FIVE DRAIN TUBE INSTALL GRATE ON TOP AND 6" DEPTH 3/4" DRAIN ROCK AT BOTTOM
  - 5 TREE GRATE FRAME CAST IN CONCRETE
  - 6 ADJACENT PAVING PER PLAN
- NOTES:
- A. TREE GRATE MODEL TO MATCH EXISTING
  - B. CONTRACTOR TO SUBMIT DRAWINGS AND SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION
  - C. TREE GRATES BY NEENAH FOUNDRY CO. AVAILABLE THROUGH METAL REPT. INC. AT 810-332-7131. FINISH TO BE NATURAL.
  - D. TREE GRATE FRAME TO BE 1-3/4" X 1-3/4" X 3/8" STEEL ANGLE FRAME GALVANIZED FRAME AVAILABLE THROUGH BAY SUPPLY 810-843-1019.

**D METAL TREE GRATE** SCALE: NTS



- 1 TREE
- 2 RUBBER TREE TIE FIGURE 8 PATTERN - ONE PER STAKE
- 3 GALVANIZED NAILS PER CONNECTION
- 4 2X4 ROUGH REDWOOD BRACE W/ (2) 3/4 GALVANIZED NAILS EACH CONNECTION
- 5 SET ROOT BALL 1" ABOVE FINISH GRADE
- 6 (2) 2" X 10" MIN. TREATED LOOSE POLE PINE TREE STAKES INSTALL 6" MIN. INTO UNDISTURBED NATIVE SOIL
- 7 BARK MULCH - 2" LAYER
- 8 3" HIGH TEMPORARY BERM IN NON-TREE AREAS
- 9 FINISH GRADE
- 10 DEEP ROOT BARRIER WHERE TREE IS WITHIN 6' OF ADJACENT PAVING OR CURBING - 12' LENGTH
- 11 BACKFILL MIX PER SPECIFICATIONS
- 12 FERTILIZER TABLETS OMNOCOOTE OR EQUAL
- 13 SCARIFY SIDES AND BOTTOM OF PIT
- 14 LOOSEN BOTTOM 1" OF SOIL

- NOTES:
- A. LOOSE POLE TREE STAKES 10' MIN. LENGTH. CONTRACTOR TO DETERMINE USE OF 12' OR 16' LENGTH BASED ON SIZE OF TREE SPECIMEN.
  - B. TEMPORARY BERM IS REQUIRED TO REMOVE DAMAGED OR BROKEN LIMBS.
  - C. ROOT BARRIER TO BE DEEP ROOT LB 8-0 OR APPROVED EQUAL. AT BACK OF WALK, EXTEND 6' BEYOND TREE EACH WAY.

**A TREE PLANTING** SCALE: NTS



REVISIONS:

DATE	DESCRIPTION
11/23/17	ISA COMMENTS
11/24/17	CITY COMMENTS
11/29/17	SITE PLAN
12/14/18	SITE PLAN
11/13/18	SITE PLAN
11/14/18	SITE PLAN

PROJECT: **COMMERCIAL RETAIL**

MBA ARCHITECTS  
116 LINCOLN AVENUE  
SAN JOSE, CA 95096

2200 WINCHESTER BLVD.  
CAMPBELL, CA 95008



SHEET TITLE: **PLANTING DETAILS**

SCALE: **AS NOTED**

DATE: **11/28/16**

JOB #: **LOD 16100**  
**MBA 1555**

SHEET #







REVISIONS	BY

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TOPOGRAPHIC SURVEY  
 2220 WINCHESTER BLVD  
 CAMPBELL, CA



DECEMBER 07, 2015  
 JOB # = 15-148  
 MAP SCALE 1"=10'  
 DRAWN BY = TP  
 FIELD SURVEY BY = HA  
 APN = 412-04-049

**BASIS OF BEARINGS**

THE BEARING N 89°49'00" E OF THE MONUMENT LINE OF SUNNYSIDE AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 672 OF MAPS AT PAGES 17-19 IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, CALIFORNIA WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

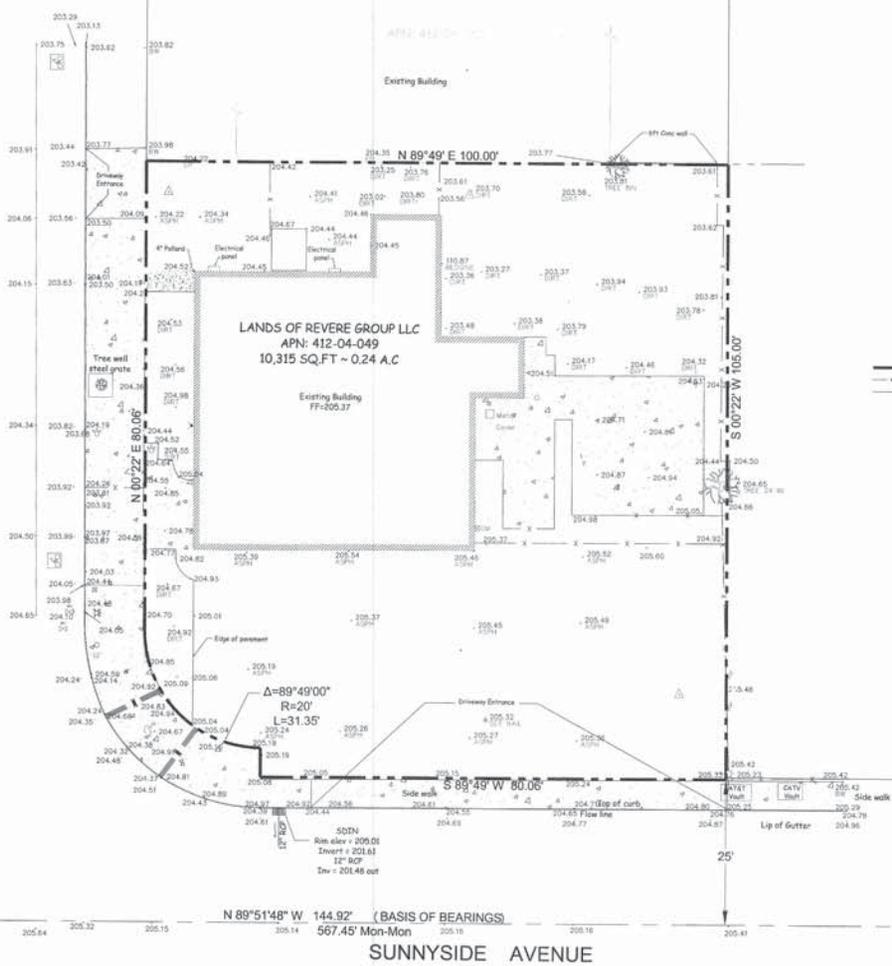
**LEGEND:**

- PROPERTY LINE
- - - CENTER LINE
- - - FENCE LINE
- FOUND STANDARD STREET MONUMENT
- △ CONTROL POINT
- ▽ HANDICAP RAMP
- ▭ SINK LANE
- ▲ HOSE BIB
- ⊕ GUY WIRE
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ GAS METER
- ⊕ FIRE HYDRANT
- ⊕ CATCH BASIN
- ⊕ SEWER CLEAN OUT
- ⊕ ELECTRODE
- ⊕ POWER POLE
- ⊕ STREET LIGHT BOX
- ⊕ TREES WITH TRUNK DIAMETER NOTED
- TRM TEMPORARY BENCHMARK
- ASPH ASPHALT
- SWB SACK OF BUNK
- FL FLOW LINE
- SUN STORM DRAIN INLET

SCALE 1 INCH = 10 FEET



WINCHESTER BLVD  
 N 00°22' E 80.06'



Held City of Campbell Vertical Datum  
 Benchmark # 39 - 25" Brass Disk  
 Elevation = 205.37