



CITY OF CAMPBELL
Community Development Department

November 15, 2018

**NOTICE OF FENCE EXCEPTION
APPLICATION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for a Fence Exception for the following project proposal:

File No.: PLN2018-359
Applicant: Darren Kurose
Project Address: 281 Curtner Ave
Property Owner: Darren Kurose
Zoning District: R-1-8 (Single Family Residential)
General Plan: Low Density Residential (Less than 4.5 units/Gr. Acre)
Project Description: Fence Exception request for a 6-foot tall front yard fence at a 5.6-foot setback along Curtner Avenue.

This application will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The 10-day comment period for this application will begin on November 15 2018 and end on November 26, 2018. Comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 26, 2018**, as a decision will be rendered after this time. No additional notice will be provided. A copy of the Fence Exception application, and all associated documents, are available for review from 8:00 a.m. to 5:00 p.m. at the Community Development Department, City Hall, 70 North First Street, Campbell, California and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'.

Decisions by the Community Development Director are final in 10 calendar days following the decision date, unless an appeal is received in writing (including email) at the Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee.

Questions or comments regarding this application may be addressed to Paula Ruffinelli, Planning Technician, in the Community Development Department at (408) 866-2732 or paular@cityofcampbell.com.

Project Location Map

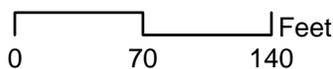


Project Location: 281 Curtner Ave

Application Type: Fence Exception

Planning File No.: PLN2018-359

Description: Request for 6-foot tall front yard fence at 5.6 -foot setback along Curtner Avenue



Community Development Department
Planning Division

October 29, 2018

Letter of Request

Fence Exception

To whom it may concern,

We are requesting an approval for a Fence Exception at 281 Curtner Avenue Campbell, CA 95008. Our request is being made to provide security and privacy to our property and for our 16 month old child. Our property is located in an area that sees higher than average (in Campbell Village) pedestrian traffic which includes employees that park in our neighborhood from nearby businesses. In our 4 months as new home owners in Campbell Village, we have witnessed several instances of suspicious and disturbing actions by unknown persons, including urinating on our property, peering into the garage window and over fence gates. We have installed two cameras but still feel the property needs additional security.

We would like to request an exception for our interior lot to have a 6' fence (higher than the maximum 3.5' allowed) placed within our property line but closer than the 15' set back requirement. The fence line was carefully planned with walking/driving safety as the highest priority. You will see in the plans, the proposed fence line is set back from the 7' fence on the adjacent property. In addition, utility companies, city and county were informed of where we would be building the fence as to avoid any potential digging hazards. The property was inspected/marked and determined the fence would not interfere with the existing utility pipes. To enhance the overall appearance of the front yard we intend to beautifully landscape both inside and outside the fence line to ensure our neighborhood remains pleasant.

Thank you for considering our request and we look forward raising our family in this neighborhood.

Regards,

Darren and Yooly Kurose

PLANS FOR FENCE EXCEPTION

281 CURTNER AVENUE

REVISIONS		
No.	Description	Date

OWNER CONTACT:
 YOOLY & DARREN KUROSE
 281 CURTNER AVE.
 CAMPBELL, CA 95008
 408-206-7099

DRAWINGS
 ARE HALF
 SCALE WHEN
 ON 11X17

PLANS FOR FENCE EXCEPTION
KUROSE RESIDENCE
 281 Curtner Avenue
 Campbell, CA 95008

Title Sheet
 1/16" = 1'-0"

Date 10-31-18
 Drawn By RJ
 Project Number

A0

PROJECT DATA

APN # 412-39-054
 USE RESIDENTIAL
 ZONING R-1-8
 TYPE OF CONSTRUCTION V-B NON-SPRINKLERED
 LOT SIZE 8,712 s.f.
 LIVING AREA 1,200 s.f.
 # OF STORIES 1
 YEAR BUILT 1956

SHEET INDEX

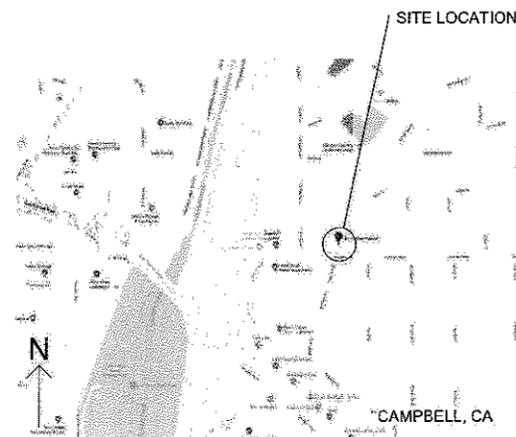
A0 Title Sheet
 A1 Fence Plan & Details

PLOT PLAN

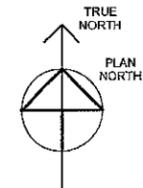


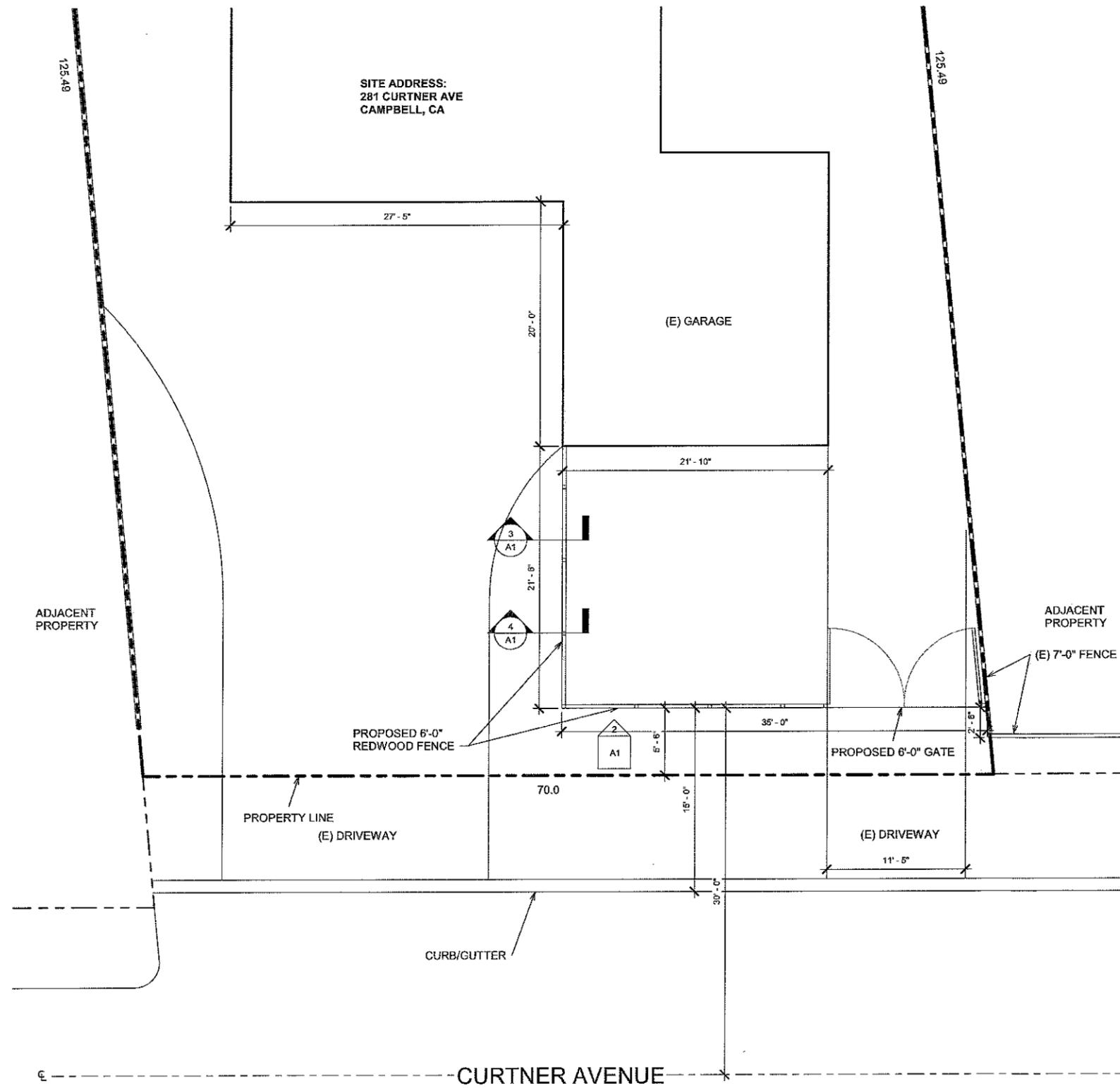
PROJECT SCOPE

VICINITY MAP

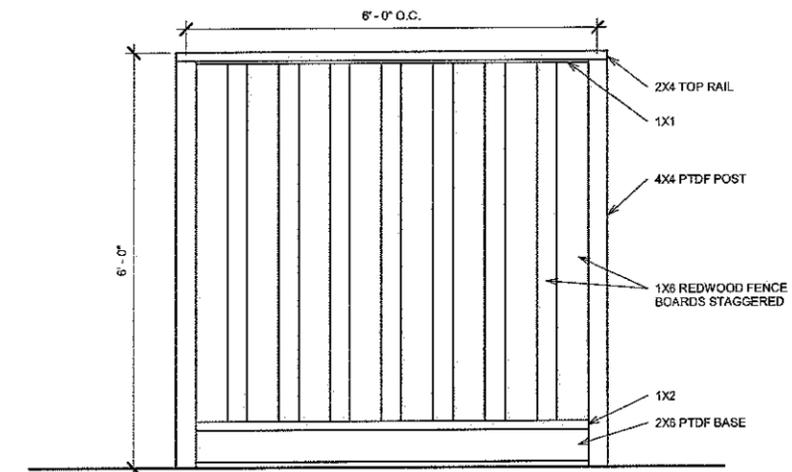


① (E/N) Plot Plan
 1/16" = 1'-0"

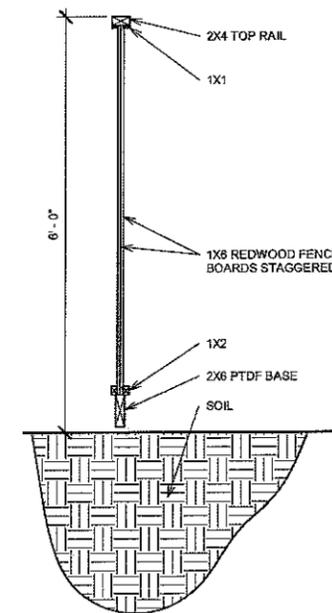




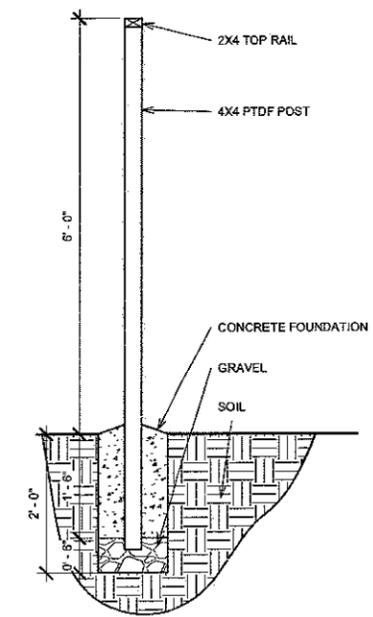
① (E/N) Site Plan
3/16" = 1'-0"



② Proposed Fence Elevation
3/4" = 1'-0"



③ Proposed Fence Section
3/4" = 1'-0"



④ Proposed Fence Post Section
3/4" = 1'-0"

REVISIONS		
No.	Description	Date

OWNER CONTACT:
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ARE HALF
SCALE WHEN
ON 11X17

PLANS FOR FENCE EXCEPTION
KUROSE RESIDENCE
281 Curtner Avenue
Campbell, CA 95008

Fence Plan & Details
As indicated

Date 10-31-18
Drawn By RJ
Project Number

A1

