



**CITY OF CAMPBELL**  
**Community Development Department**

March 1, 2019

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 12, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Payman Farzaneh for a Site and Architectural Review Permit (PLN2019-05) to allow the construction of a new one-story single-family residence on property located at **1107 Bucknam Road**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

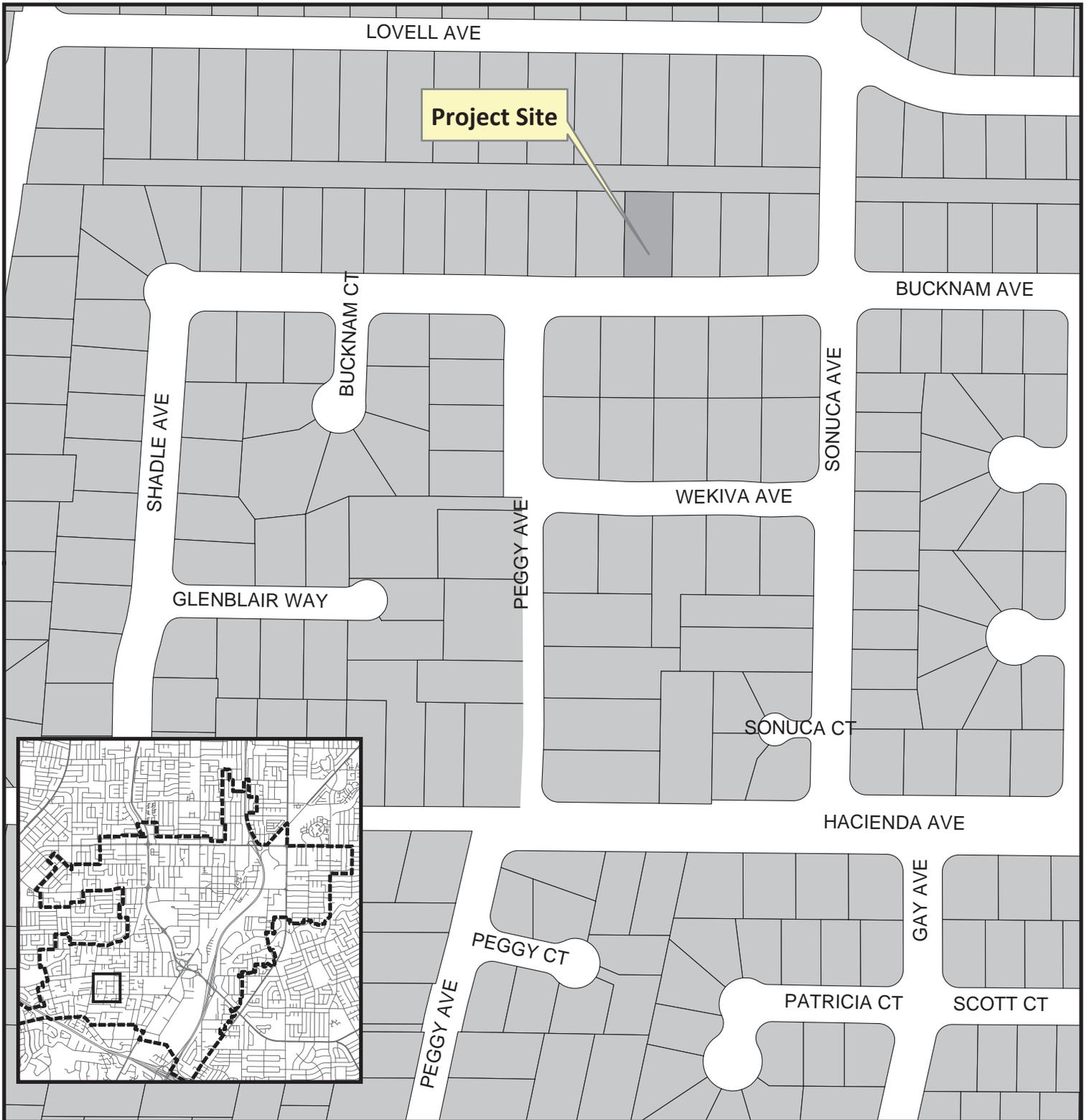
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1107 Bucknam Road**

# Project Location Map

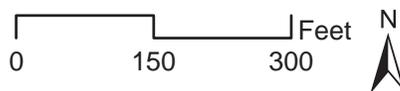


**Project Location:** 1107 Bucknam Ave

**Application Type:** Site and Architectural Review Permit

**Planning File No.:** PLN2019-005

**Description:** New approx. 3,052 sf one-story single-family residence



Community Development Department  
Planning Division

# NEW SINGLE STORY SINGLE FAMILY 1107 BUCKNAM AVE., CAMPBELL, CA 95008 APN: 406-15-004

## PROJECT DATA

ZONING DISTRICT: R-1-B  
 NUMBER OF FLOORS: SINGLE STORY  
 FIRE PROTECTION: HAS SPRINKLER  
 CONSTRUCTION TYPE: VB  
 OCCUPANCY CLASSIFICATION: R-3-U

### APPLICABLE CODES:

- A. CALIFORNIA FIRE CODE: 2016 EDITION
- B. CALIFORNIA BUILDING CODE: 2016 EDITION
- C. CALIFORNIA MECHANICAL CODE: 2016 EDITION
- D. CALIFORNIA PLUMBING CODE: 2016 EDITION
- E. CALIFORNIA ELECTRIC CODE: 2016 EDITION ENERGY CODE
- F. CALIFORNIA ENERGY CODE: 2016 EDITION
- G. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

ALSO:  
 2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2009 IRC) AND  
 2016 CALIFORNIA GREEN BUILDING STANDARD CODE, WHICH ARE  
 ALSO APPLICABLE TO THIS PROJECT.

SETBACKS REQUIRED	EXISTING	PROVIDED
FRONT	20'-0"	26'-9" 23'-6"
RIGHT	MIN. 10'-0"	10'-4" 10'-4"
REAR	20'-0"	14'-11" 40'-4"
LEFT	MIN. 8'-0"	11'-1" 8'-1"

FRONT GARAGE SETBACK  
 SHALL BE MINIMUM 25'-0"  
 PROVIDED 26'-9"

## AREAS

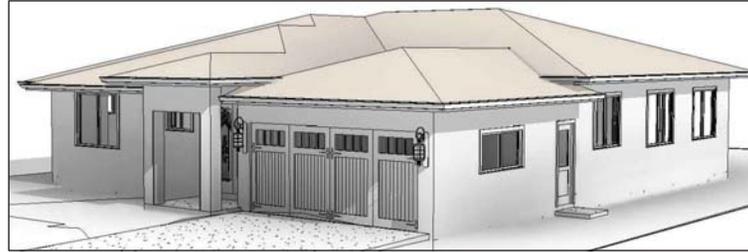
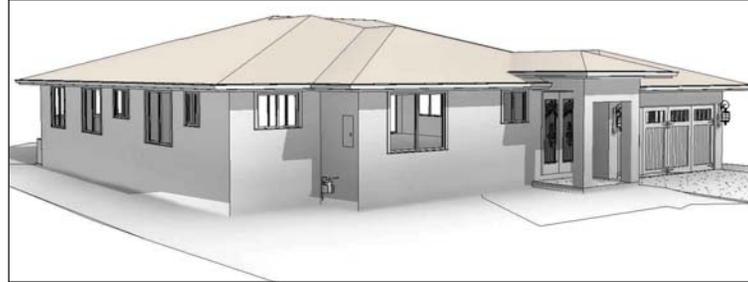
LOT SIZE: 9388.10 SQ. FT.  
**ALLOWABLE FLOOR AREA RATIO**  
 MAX. ALLOWABLE F.A.R. = 9388.10 x 45 % = 4224.65 SQ. FT.  
 TOTAL PROVIDED F.A.R. = 3250 % = 3,091.60 SQ. FT.

AREAS	GARAGE AREA SQ. FT.	HABITABLE AREA SQ. FT.	TOTAL SQ. FT.
EXISTING	0.00	121.92	121.92
CHANGES	+ 385.95	+ 1543.75	+ 1929.68
PROPOSED	385.95	2,665.65	3,051.60

FOR DETAILS  
 SEE SHEET "A1".

### LOT COVERAGE

MAX. LOT COVERAGE = 9388.10 x 35% = 3,285.86 SQ. FT.  
 GARAGE AREA: 385.95 SQ. FT.  
 LIVING AREA: 2,665.65 SQ. FT.  
 COVERED PORCH AREA: 46.34 SQ. FT.  
 TOTAL PROVIDED LOT COVERAGE: 3,091.94 SQ. FT.



## SCOPE OF WORK

NEW SINGLE STORY SINGLE FAMILY HOME INCLUDING FOUR BEDROOM, 4 1/2 BATH, TWO CAR GARAGE, KITCHEN AND GREAT ROOM.

## DRAWING INDEX

<b>ARCHITECTURAL:</b>	<b>CIVIL:</b>
A0 COVER SHEET	C1 COVER SHEET FOR GRADING AND DRAINAGE PLAN
T-1 TOPOGRAPHIC SURVEY MAP	C2 GRADING AND DRAINAGE PLAN
A1 EXISTING AND PROPOSED SITE PLANS	C3 EROSION CONTROL
A2 EXISTING FLOOR AND ROOF PLANS	C4 BLUE PRINT FOR CLEAN BAY
A3 PROPOSED FLOOR PLAN	
A4 PROPOSED ROOF PLAN	<b>LANDSCAPE:</b>
A5 PROPOSED EXTERIOR ELEVATIONS	L1 MASTER PLANTING PLAN
A6 BUILDING CROSS SECTIONS	L2 FRONT YARD COVERAGE
A7 AREA CALCULATIONS	L3 IRRIGATION PLAN
A8 STREET SCAPE	
A9 FRONT ELEVATION RENDERING	

## CONSULTANTS

**DESIGNER:** BAY AREA DESIGN AND CONSTRUCTION  
 CONTACT: FEYMAN FARZANEH  
 811 EAST HAMILTON AVE. SUITE "D" CAMPBELL, CA 95008  
 TEL: (408) 209 8942

**STRUCTURAL:**

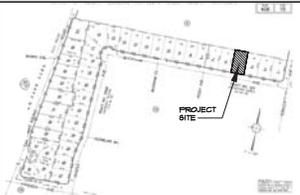
**LANDSCAPE:** W. JEFFREY HELD  
 CONTACT: JEFF HELD  
 6119 ONELDA DRIVE  
 SAN JOSE, CA 95123  
 TEL: (408) 691-9271

**LAND SURVEYOR:** SMP ENGINEERS  
 CONTACT: SAIED RAZAVI  
 1534 CAROB LANE, LOS ALTOS, CA 94024  
 TEL: (650) 941-8055

**CIVIL:** SMP ENGINEERS  
 CONTACT: SAIED RAZAVI  
 1534 CAROB LANE, LOS ALTOS, CA 94024  
 TEL: (650) 941-8055

**TITLE 24:**

### PARCEL MAP



### VICINITY MAP



### FIRE SPRINKLERS REQUIRED:

An automatic residential fire sprinkler system shall be installed in one-and two family dwellings as follows:  
 -In all new one - and two family dwellings and in existing one-two family dwellings when additions are made that increase the building area to more than 3,600 sq. ft. (Exception: A one-time addition to an existing building that does not total more than 1,000 sq. ft. of building area). NOTE: the owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. NOTE: Covered porches, patios, balconies, and attic spaces may require fire sprinkler coverage. A state of California licensed (C-16) fire protection contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. Section R3192 as adopted and amended by "CBLMC".

### WATER SUPPLY REQUIREMENTS:

-Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is responsibility of the applicant and any contractors and subcontractors to contact water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and / or fire suppression water supply systems or storage container that may be physically connected in any manner to an applicant capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC section 909.3.3 and health and safety code 1314.1

### PREMISES IDENTIFICATION:

-Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.

### CONSTRUCTION SITE FIRE SAFETY:

-All construction sites must comply with applicable provisions of the "CFC" chapter 14 and our standard detail and specification "91-1"

REVISIONS	BY
12/19/18	BK
01/25/19	BK

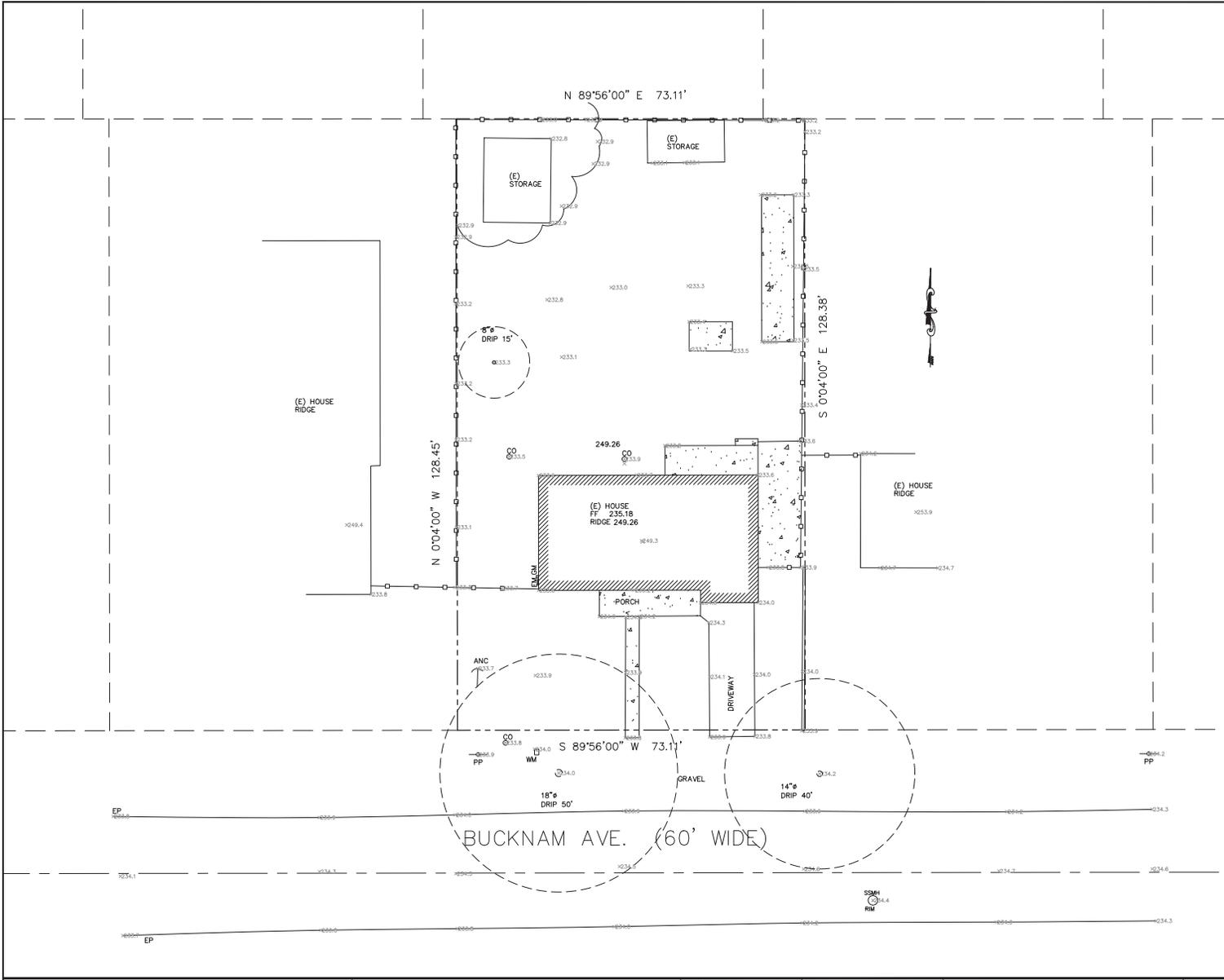
DESIGNED BY: 811 EAST HAMILTON AVE.  
 SUITE "D"  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942

DESIGN & CONSTRUCTION  
 BAY AREA

COVER SHEET

NEW SINGLE STORY SINGLE FAMILY  
 1107 BUCKNAM AVE.,  
 CAMPBELL, CA 95008  
 APN: 406-15-004

DATE	09/11/2018
SCALE	N/A
DRAWN	BK
JOB	
SHEET	
OF SHEETS	10



**LEGEND**

---	PROPERTY LINE	AC	ASPHALT
- - - -	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSDL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
○	POWER POLE	EM	ELECTRIC METER
⊕	FIRE HYDRANT	EP	EDGE OF PAVEMENT
⊕	JOINT POLE	FH	FIRE HYDRANT
⊕	SURVEY MONUMENT FOUND	GA	GUY ANCHOR
⊕	TBM (ELEVATION)	GM	GAS METER
⊕	WATER VALVE	GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC. PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCD	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VC	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

	CONCRETE
	BRICK
	AC

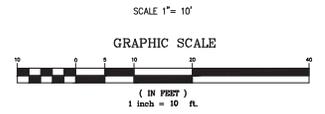
**DISCLAIMER:**  
 SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

**NOTE:**  
 THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

**BASIS OF BEARINGS:**  
 THE BEARING S 89°56'00" E OF CENTERLINE OF BUCKNAM AVE. AS SHOWN ON THAT CERTAIN TRACT NO. 521, RECORDED IN BOOK 24 OF MAPS AT PAGE 30, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**PROJECT BENCHMARK:**  
 REFERENCED CITY OF CAMPBELL BENCHMARK:  
 BM# 60 EL: 225.01' (NAVD83)

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
  - THE GROSS AREA OF LAND OF RECORD IS 9,388 SQ. FT. ±.
  - THE MAP WAS BASED ON A GRANT DEED DOC.# 23997646 BY CORNERSTONE TITLE CO. DATED 8/6/2016, RECORDED IN SANTA CLARA COUNTY.
  - ALL EXISTING BUILDINGS ARE WOOD.
  - FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
  - THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



1107 Bucknam Avenue  
 Campbell  
 APN: 406-15-004

**SMP ENGINEERS**  
 CIVIL ENGINEERS—LAND SURVEYORS  
 1534 Carob Lane Los Altos, CA 94024  
 Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'  
 Prepared by:  
 Checked by:  
 Date: 8/27/2018  
 Project No: 218107

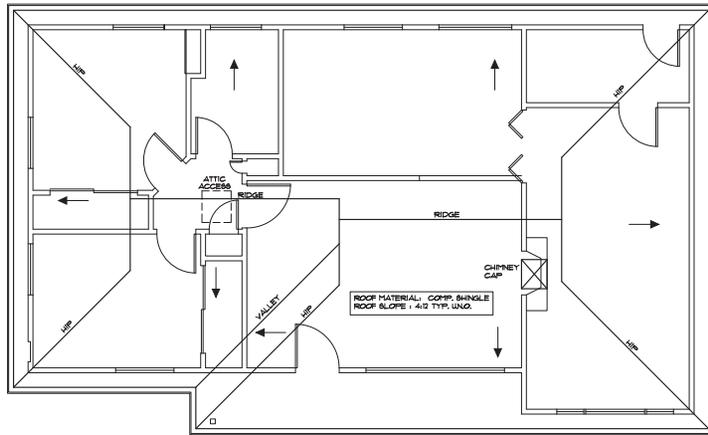
TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF CAMPBELL

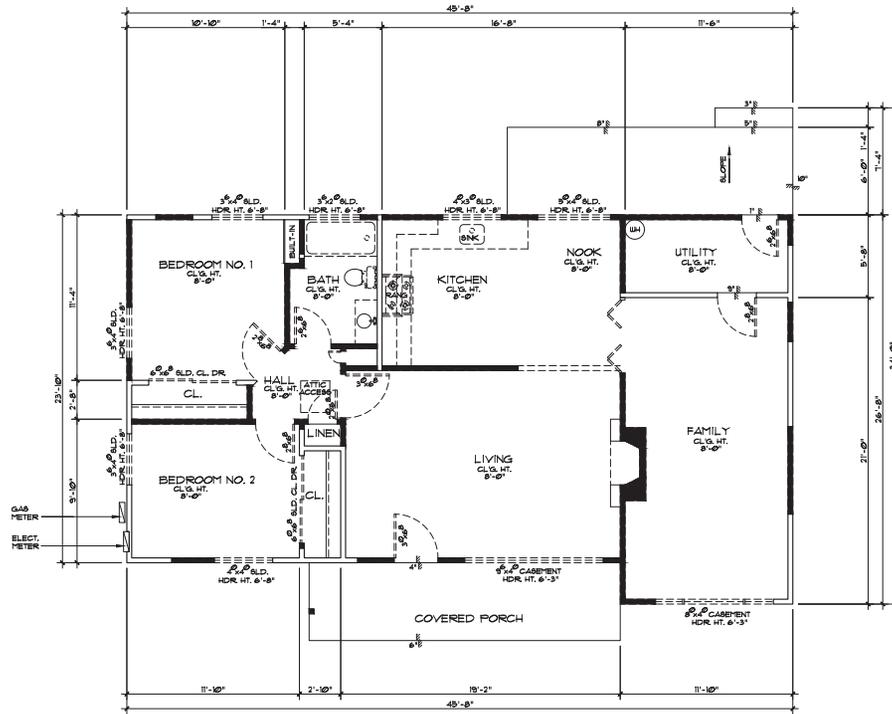




WHOLE ROOF WILL BE DEMOLISHED

### EXISTING ROOF PLAN

SC: 1/4"=1'-0"



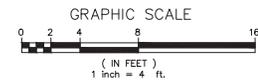
### EXISTING / DEMO. FLOOR PLAN

SC: 1/4"=1'-0"

**LEGEND:**

- EXISTING 2x6 STUD WALL TO BE REMAIN
- EXISTING 2x6 STUD WALL TO BE REMOVED

ALL DOORS, WINDOWS, PLUMBING FIXTURES AND APPLIANCES ARE BEING REMOVED.



REVISIONS	BY
△ 12/19/18	BK
△ 01/25/19	BK

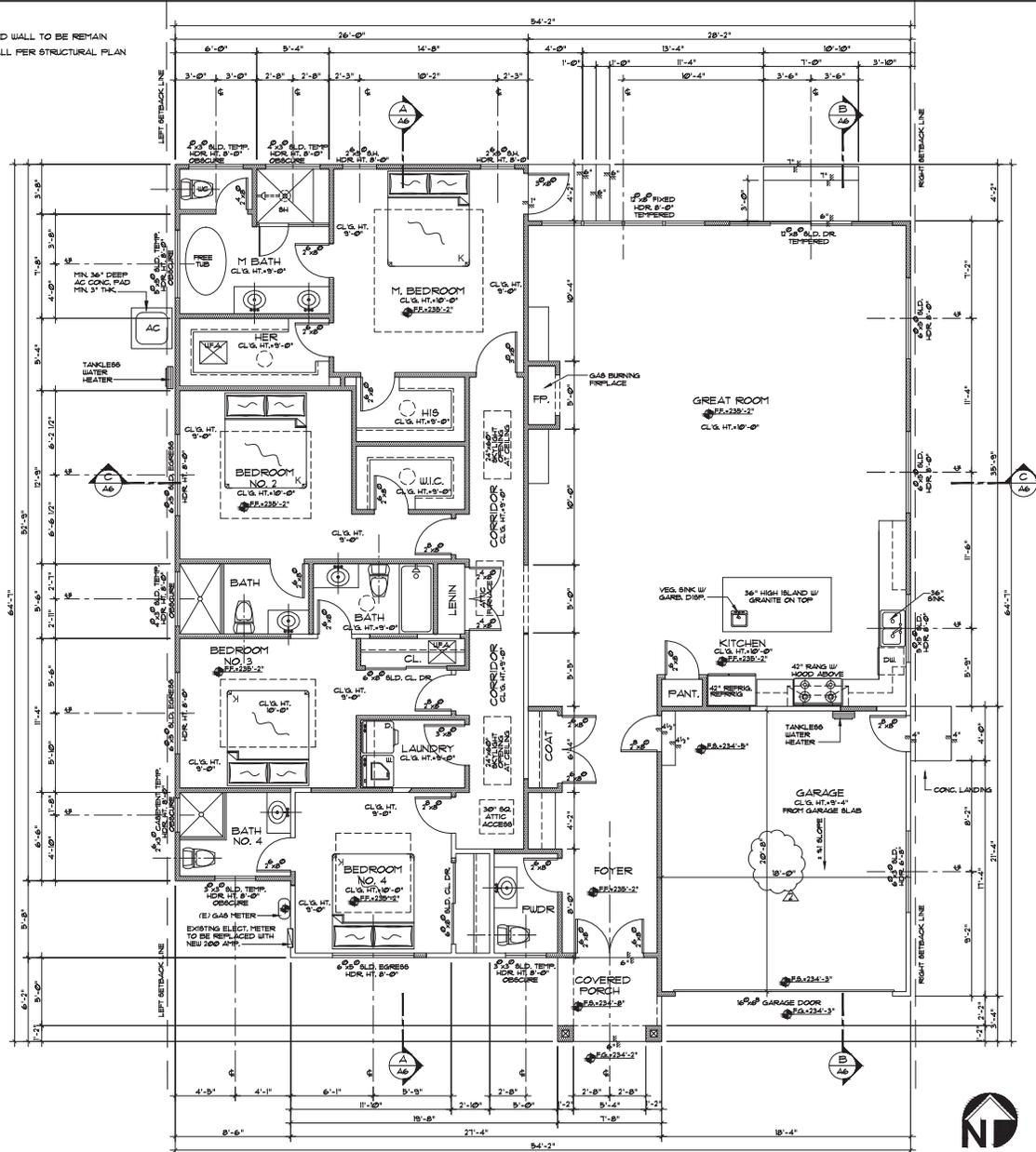
DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**  
 811 EAST HAMILTON AVE.  
 SUITE 110  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942

### EXISTING FLOOR AND ROOF PLANS

NEW SINGLE STORY SINGLE FAMILY  
 1101 BUCKNAM AVE.,  
 CAMPBELL, CA 95008  
 APN: 406-15-004

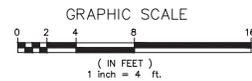
DATE	09/1/2018
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	A2
OF SHEETS	16

- LEGENDS:**
-  EXISTING 2x6 STUD WALL TO BE REMAIN
  -  NEW 2x6 STUD WALL PER STRUCTURAL PLAN



**PROPOSED FLOOR PLAN**

SC: 1/4" = 1'-0"



REVISIONS	BY
12/19/18	BK
01/25/19	BK

DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**  
 811 EAST HAMILTON AVE.  
 SUITE 111  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942

**PROPOSED FLOOR PLAN**

NEW SINGLE STORY SINGLE FAMILY  
 1107 BUCKNAM AVE.,  
 CAMPBELL, CA 95008  
 APN: 406-15-004

DATE	02/25/2018
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	A3
OF SHEETS	

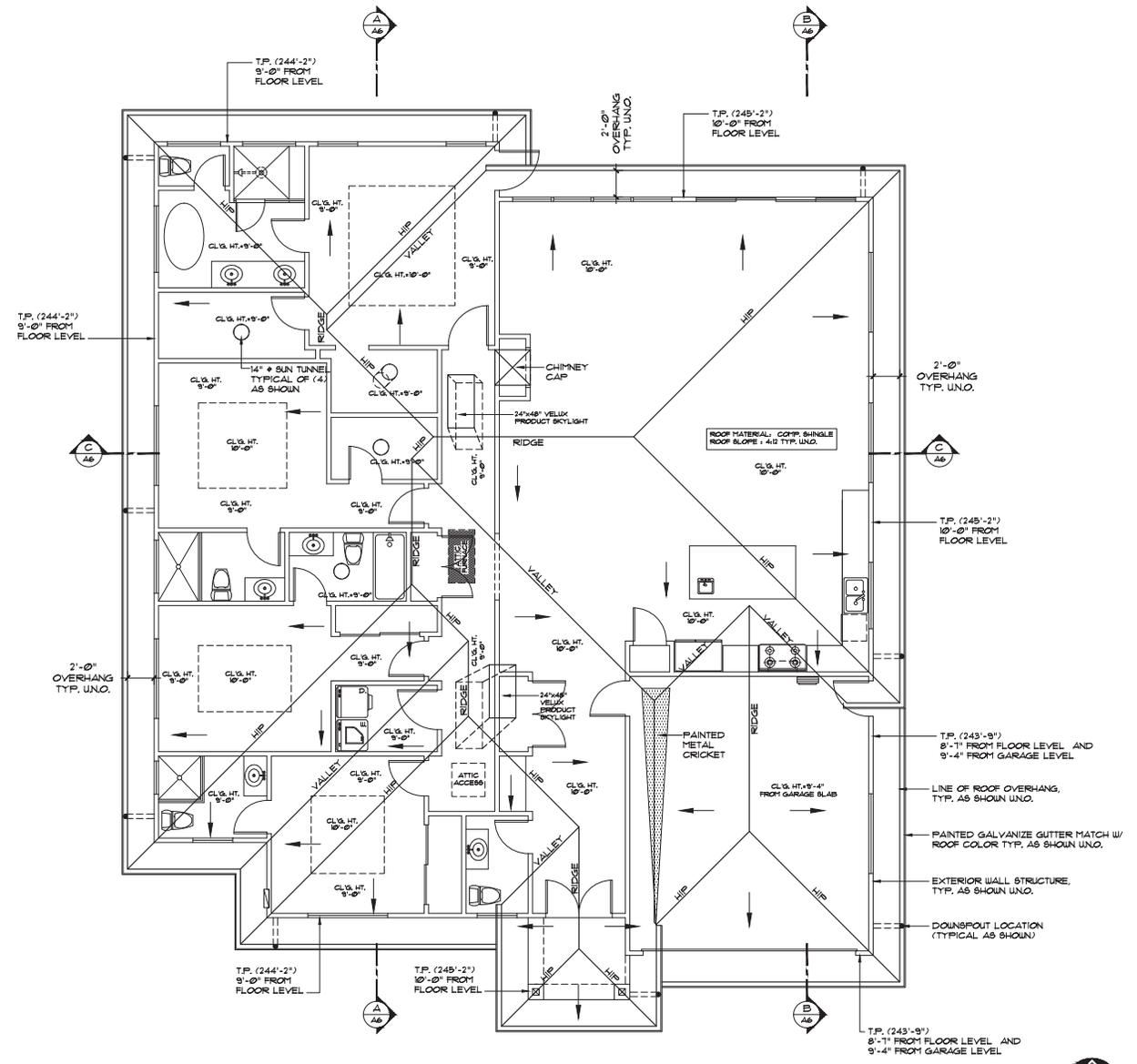
REVISIONS	BY
12/19/18	BK
01/25/19	BK

DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**  
 811 EAST HAMILTON AVE.  
 SUITE 110  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942

**PROPOSED ROOF PLAN**

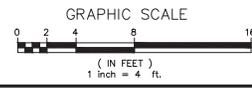
NEW SINGLE STORY SINGLE FAMILY  
 1107 BUCKNAM AVE.,  
 CAMPBELL, CA 95008  
 APN: 406-15-004

DATE	02/23/2018
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	
OF SHEETS	44



**PROPOSED ROOF PLAN**

SC: 3/16" = 1'-0"





REVISIONS	BY
△ 12/19/18	BK
△ 01/25/19	BK

DESIGNED BY:  
**BAY AREA DESIGN & CONSTRUCTION**

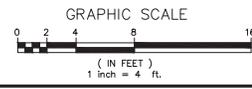
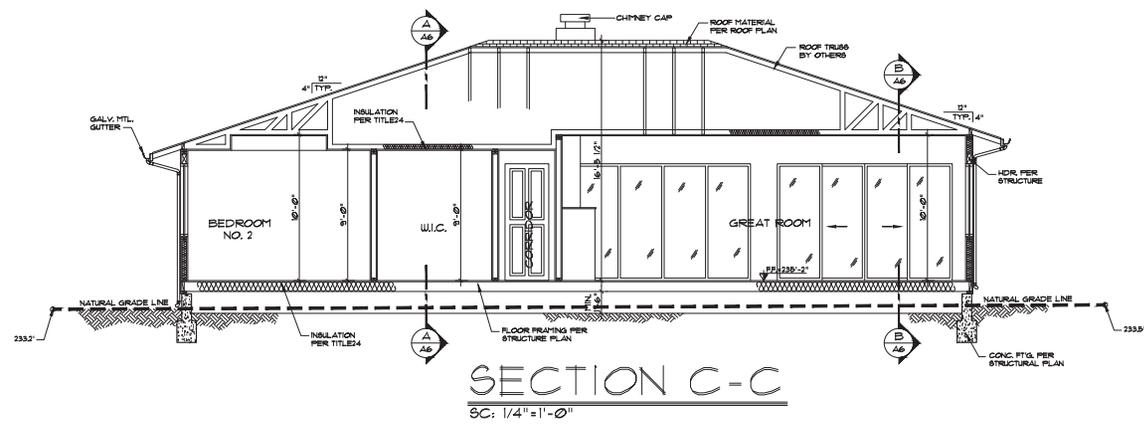
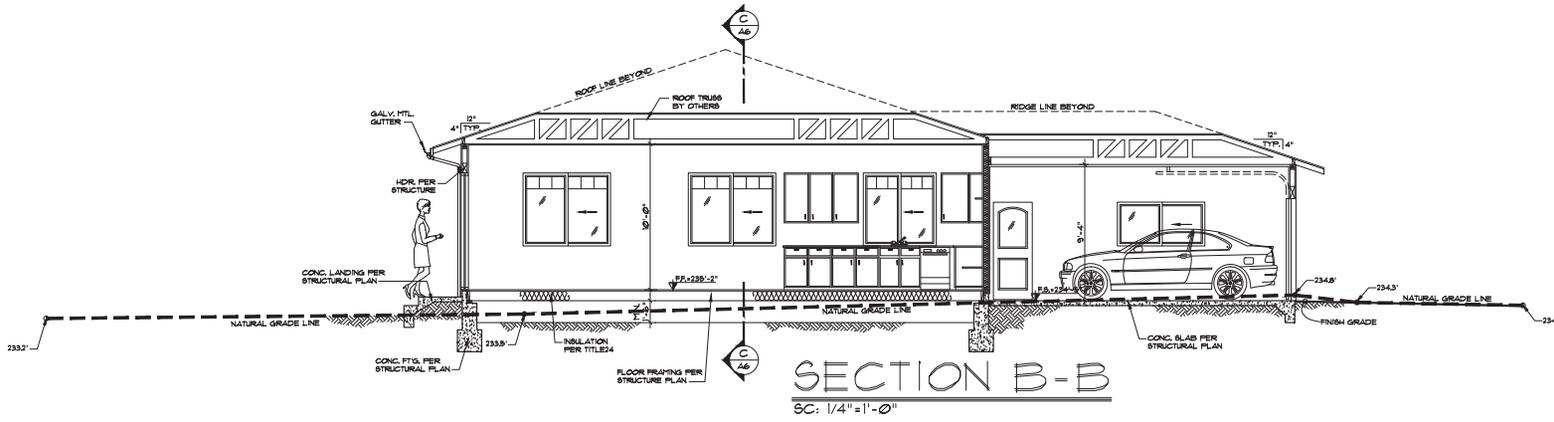
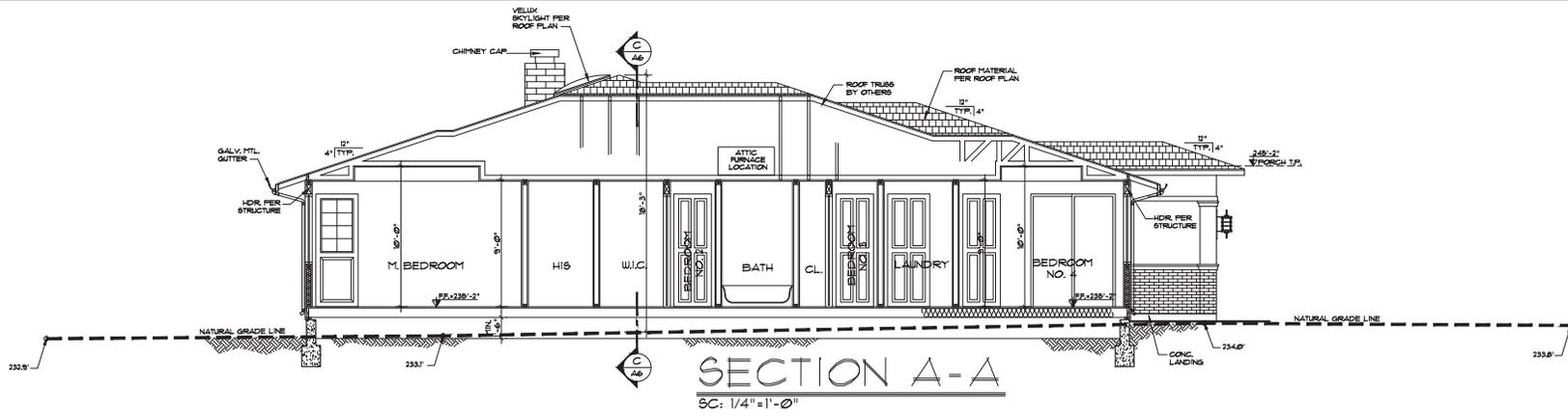
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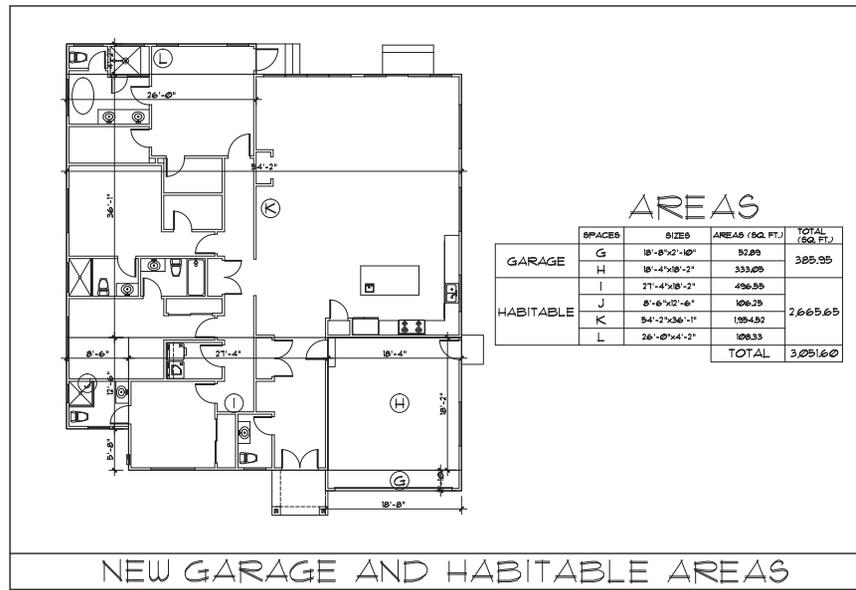
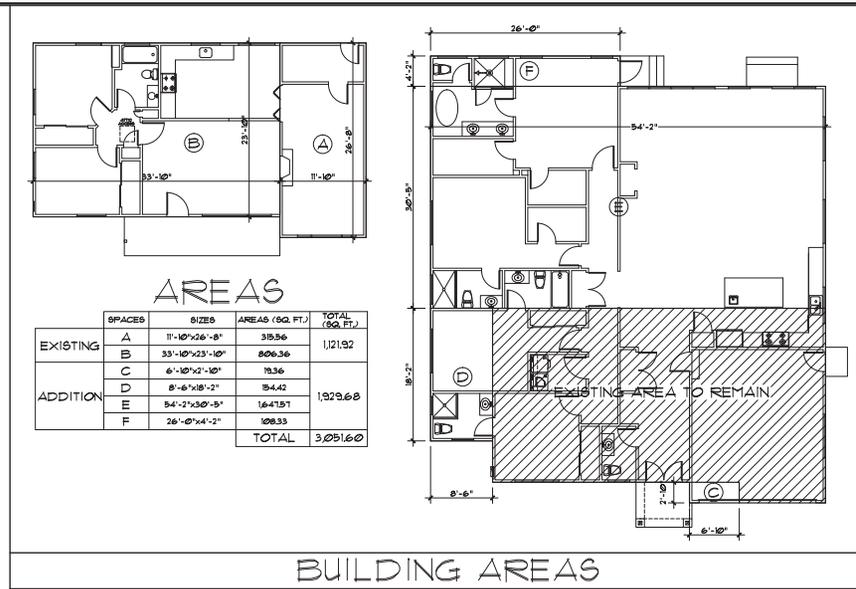
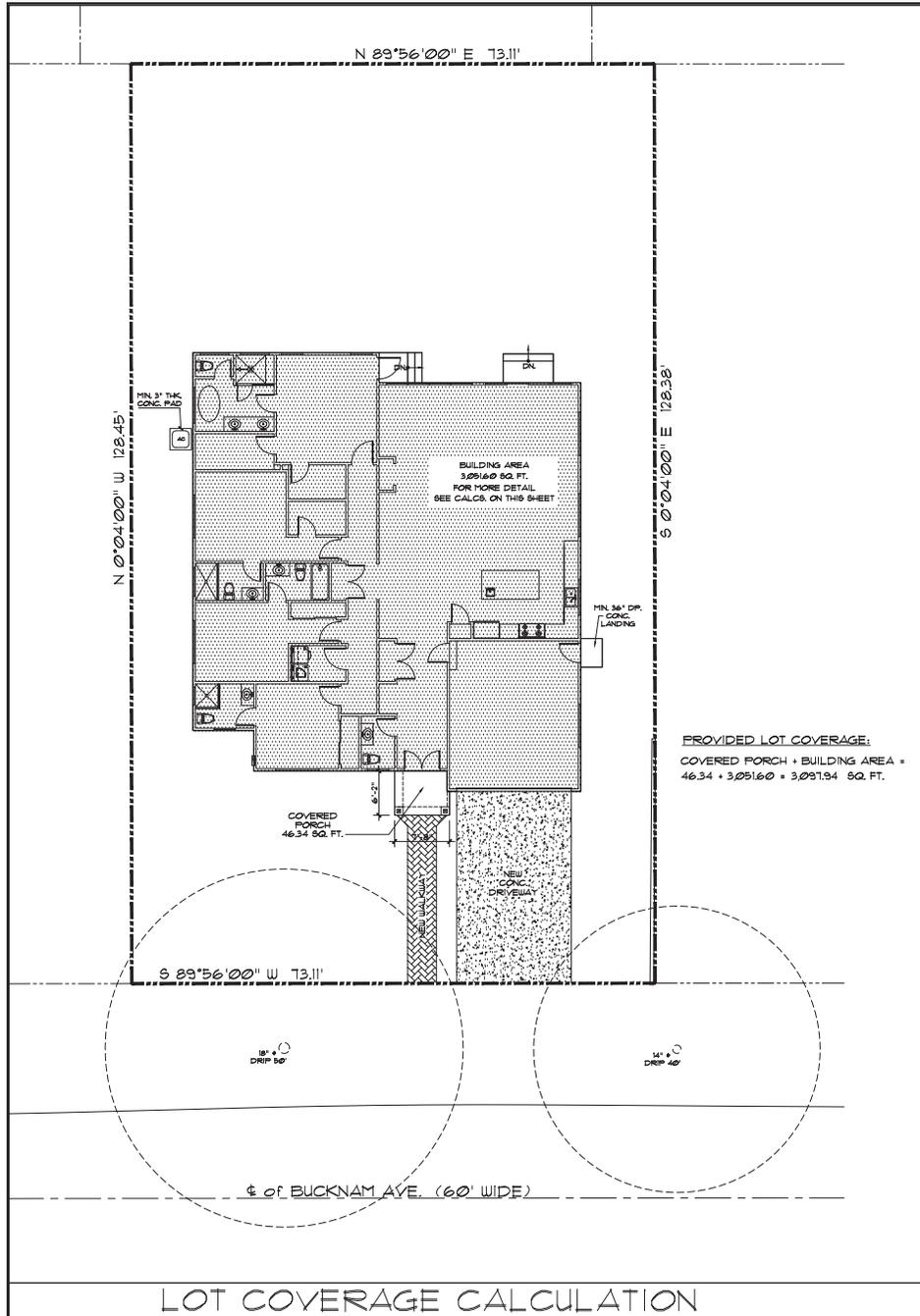
**BUILDING SECTIONS**

NEW SINGLE STORY SINGLE FAMILY  
 1101 BUCKNAM AVE.,  
 CAMPBELL, CA 95008  
 APN: 406-15-004

DATE	02/23/2018
SCALE	1/4" = 1'-0"
DRAWN	BK
JOB	
SHEET	

**A6**  
 OF SHEETS





REVISIONS BY

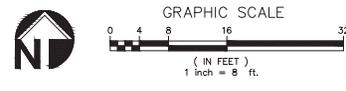
12/19/18	BK
01/25/19	BK

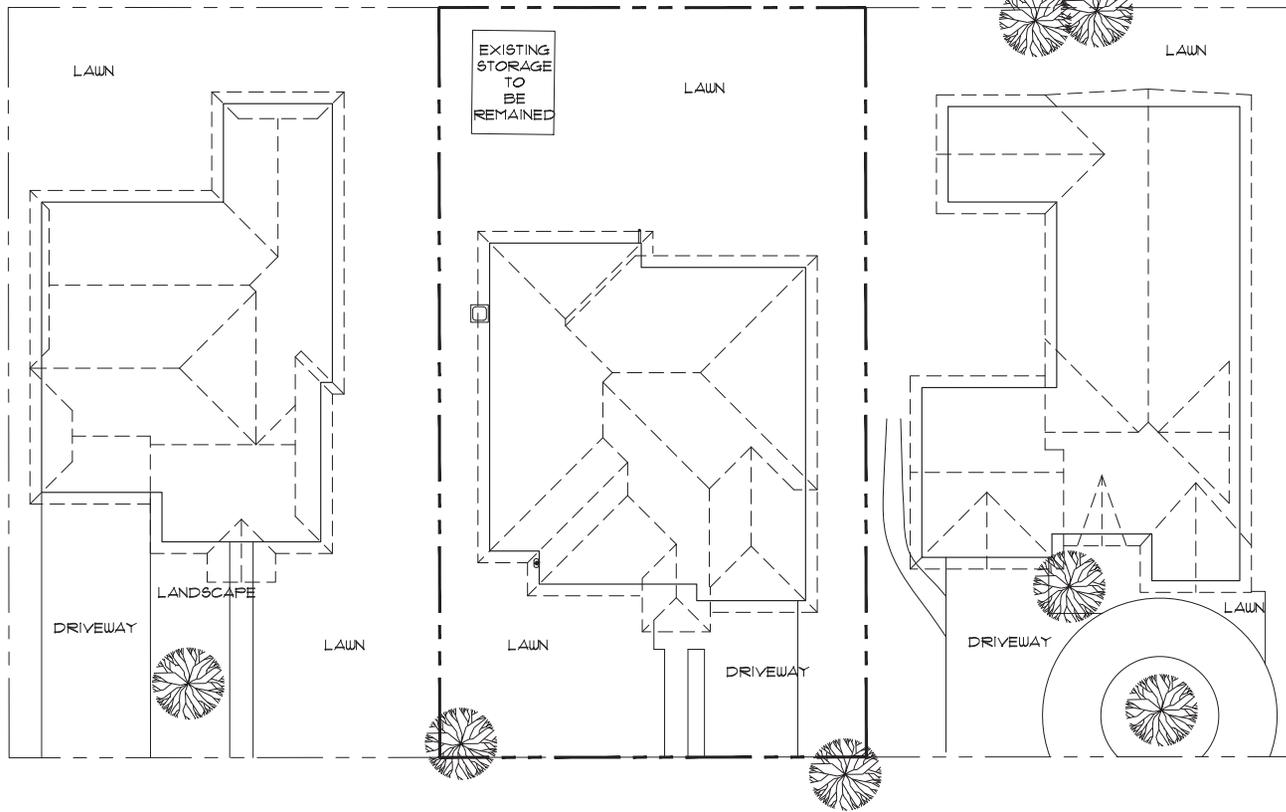
DESIGNED BY: **BAY AREA DESIGN & CONSTRUCTION**

811 EAST HAMILTON AVE.  
SUITE 110  
CAMPBELL, CA 95008  
TEL: (408) 209 8942

NEW SINGLE STORY SINGLE FAMILY  
1101 BUCKNAM AVE.,  
CAMPBELL, CA 95008  
APN: 406-15-004

DATE: 02/25/2018  
SCALE: 1/8" = 1'-0"  
DRAWN: BK  
JOB: A7  
SHEET: OF SHEETS





1121 BUCKNAM AVE.,

1107 BUCKNAM AVE.,  
SUBJECT  
PROJECT

1095 BUCKNAM AVE.,



REVISIONS	BY
△ 12/19/18	HN
△ 01/25/19	EK

DESIGNED BY:  
  
**BAY AREA DESIGN & CONSTRUCTION**  
 811 EAST HAMILTON AVE.  
 SUITE 100  
 CAMPBELL, CA 95008  
 TEL: (408) 295-0942

**STREET SCOPE**

NEW SINGLE STORY SINGLE FAMILY  
 1107 BUCKNAM AVE.,  
 CAMPBELL, CA 95008  
 APN: 406-15-004

DATE	02/23/18
SCALE	1" = 10'-0"
DRAWN	EK
JOB	
SHEET	48
OF SHEETS	



REVISIONS	BY
△ 12/19/18	HN
△ 01/25/19	BK

DESIGNED BY:  
  
 811 EAST HAMILTON AVE.  
 SUITE 10  
 CAMPBELL, CA 95008  
 TEL: 408.265.8844

FRONT ELEVATION  
 RENDERING

NEW SINGLE STORY SINGLE FAMILY  
 1107 BUCKNAM AVE.,  
 CAMPBELL, CA 95008  
 APN: 406-15-004

DATE	01/25/19
SCALE	3/8" = 1'-0"
DRAWN	BK
JOB	
SHEET	49
OF	

# GRADING AND DRAINAGE NOTES

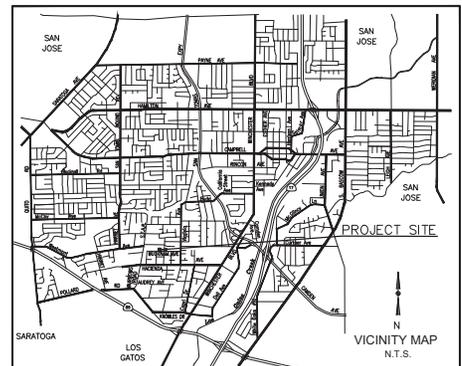
- CALIFORNIA BUILDING CODE**  
ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE.
- O.S.H.A. REGULATIONS**  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- GEOTECHNICAL (SOILS) REPORT**  
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT PREPARED BY AMERICAN SOILS TESTING INC., DATED JAN 23/2018 PROJECT NO. 18-02933.
- SPECIFICATIONS AND OBSERVATIONS**  
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY (866-2150) SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE STOPPED AND REPLACED UNDER OBSERVATION.
- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM**  
PRIOR TO ISSUANCE OF ANY GRADING OR DRAINAGE PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.
- LOCAL NON-POINT SOURCE ORDINANCE**  
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- UNDERGROUND UTILITIES AND STRUCTURES**  
THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- EROSION CONTROL**  
EROSION CONTROL, PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADDED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- UTILITY ELEVATION VERIFICATION**  
THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- UTILITY CROSSINGS**  
THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- GRADING REQUIREMENTS**  
DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNERS AND CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 5% FOR AT LEAST 10 FEET. MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN 2%.
- GRADED SITE ELEVATIONS**  
ON GRADDED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 MM) PLUS 5 PERCENT. THE BUILDING OFFICER MAY APPROVE A TERMINAL ELEVATION PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY**  
THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- TOPOGRAPHY SURVEY**  
THE TOPOGRAPHY SURVEY MADE BY ROBERT JAMES CRAIG ON 3/27/2017.
- TREE REMOVAL AND PRESERVATION**  
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.
- PROJECT PLANS**  
THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- FINAL LETTER OF INSPECTION**  
THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.
- GRADE EVENLY**  
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- APPROVAL OF PLANS**  
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTATION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT COVER ANY PART PERTAINING TO OTHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS, PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHERS REQUIRED PERMITS TO BE OBTAINED.
- WELL LOCATIONS**  
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS. THE PERMITTEE SHALL NOTIFY THE SANTA CLARA VALLEY WATER DISTRICT, CALL (408) 265-2800 EXTENSION 302 TO ARRANGE FOR DESTROY OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES**  
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND PERMIT FEES.
- EARTHWORK ADJUSTMENTS**  
ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.
- TRUCK ROUTE**  
THE TRUCK ROUTE SHALL BE BUCKNAM AVE. TOWARD VIRGINIA AVE. TURN RIGHT ONTO VIRGINIA AVE. TOWARD W HACIENDA AVE. TURN LEFT ONTO W HACIENDA AVE. TURN WINCHESTER BLVD. TURN LEFT INTO DUNDEE DR. TURN RIGHT ONTO SAN JOSE BLVD. TURN RIGHT ONTO SAN JOSE BLVD. TURN LEFT MERGE ONTO CA 151 VIA THE RAMP TO SAN JOSE. CONTINUE ON CA 151 N. DRIVE TO SCOTTSWOOD 1380
- CONTRACTOR RESPONSIBILITIES**  
THE ENGINEER OF WORK OR ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTORS WORKMENS ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- NEAT AND CLEAN PREMISES**  
DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH

# ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 1107 BUCKNAM AVE., CAMPBELL, CA 95008  
 BUILDING PERMIT NO. BLDXXXX-XXXX  
 ASSESSORS PARCEL NO. 406-15-004  
 NEW ADDITION TO SINGLE FAMILY HOUSE



## CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS



### AGENCY INDEX

- SANTA CLARA COUNTY FIRE DEPARTMENT (408) 378-4010
- CITY OF CAMPBELL - PUBLIC WORKS (408) 866-2150
- CITY OF CAMPBELL - POLICE (408) 866-2160
- (408) 811-5900
- AT&T TELEPHONE (408) 973-8980
- PACIFIC GAS & ELECTRIC (408) 278-7900
- SANTA CLARA VALLEY WATER DISTRICT (408) 265-2800
- COMCAST CABLE TELEVISION (408) 452-9100
- WEST VALLEY SANITATION DISTRICT (408) 378-2407

### ABBREVIATIONS

- |      |                   |      |                          |
|------|-------------------|------|--------------------------|
| AB   | AGGREGATE BASE    | LCL  | LAYOUT LINE              |
| AC   | ASPHALT CONCRETE  | MAX  | MAXIMUM                  |
| BC   | BEGIN CURVE       | MH   | MANHOLE                  |
| BCR  | BEGIN CURB RETURN | MIN  | MINIMUM                  |
| BW   | BOTTOM OF WALL    | OG   | ORIGINAL GRADE           |
| CL   | CLASS             | PB   | PULL BOX                 |
| DIA  | DIAMETER          | PCC  | PORTLAND CEMENT CONCRETE |
| DWVY | DRIVEWAY          | PVC  | POLYVINYL CHLORIDE       |
| ED   | END CURVE         | R    | RADIUS                   |
| ECDR | END CURB RETURN   | RCP  | REINFORCED CONCRETE PIPE |
| EX   | EXISTING          | R/W  | RIGHT-OF-WAY             |
| FC   | FACE OF CURB      | STA  | STATION                  |
| FG   | FINISH GRADE      | SW   | SIDEWALK                 |
| FH   | FIRE HYDRANT      | TC   | TOP OF CURB              |
| INV  | INVERT            | TEMP | TEMPORARY                |
| IRR  | IRRIGATION        | TW   | TOP OF WALL              |
|      |                   | TYP  | TYPICAL                  |
|      |                   | WLK  | WALKWAY                  |

CITY OF CAMPBELL  
 PLANNING DIVISION CLEARANCE

PLAN CHECK # \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL EXPLORATION REPORT ON \_\_\_\_\_ IN CAMPBELL, CALIFORNIA. PROJECT NO. \_\_\_\_\_ DATED \_\_\_\_\_ PREPARED BY \_\_\_\_\_

(NAME) \_\_\_\_\_ DATE \_\_\_\_\_  
 (SEAL) \_\_\_\_\_

### Earthwork Quantities

FILL:	24 CY
CUT:	84 CY
IMPORT:	0 CY
EXPORT:	59 CY

NOTE: EARTHWORK QUANTITIES ARE ENGINEER'S ESTIMATE. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS FOR BIDDING PURPOSES.

# INDEX OF DRAWINGS

TITLE	SHEET
TITLE SHEET	1
GRADING AND DRAINAGE PLAN	2
EROSION CONTROL PLAN	3
BLUE PRINT FOR A CLEAN BAY	4

# LEGEND

EXISTING	PROPOSED
SIDEWALK	SIDEWALK
CURB AND GUTTER	CURB AND GUTTER
CENTER LINE	CENTER LINE
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
DRIVEWAY	DRIVEWAY
PCC OR AC REMOVAL	PCC OR AC REMOVAL
STANDARD CITY MONUMENT	STANDARD CITY MONUMENT
BENCH MARK	BENCH MARK
MANHOLE	MANHOLE
STORM DRAIN INLET	STORM DRAIN INLET
WATER METER	WATER METER
VALVE	VALVE
FIRE HYDRANT	FIRE HYDRANT
STREET LIGHT	STREET LIGHT
POWER POLE	POWER POLE
PULL BOX	PULL BOX
CABLE TELEVISION LINE	CABLE TELEVISION LINE
ELECTRICAL LINE	ELECTRICAL LINE
IRRIGATION LINE	IRRIGATION LINE
NATURAL GAS LINE	NATURAL GAS LINE
OVERHEAD LINE	OVERHEAD LINE
SANITARY SEWER LINE	SANITARY SEWER LINE
STORM DRAIN LINE	STORM DRAIN LINE
TELEPHONE LINE	TELEPHONE LINE
WATER LINE	WATER LINE
TRAFFIC SIGNAL CONDUIT	TRAFFIC SIGNAL CONDUIT
LIGHTING CONDUIT	LIGHTING CONDUIT
ROADSIDE SIGN & SIGN CODE	ROADSIDE SIGN & SIGN CODE
FENCE	FENCE
TREE/SHRUB	TREE/SHRUB
WALL	WALL

### BASIS OF BEARINGS:

THE BEARING S 89°56'00" E OF CENTERLINE OF BUCKNAM AVE AS SHOWN ON THAT CERTAIN TRACT NO. 521, RECORDED IN BOOK 24 OF MAPS AT PAGE 30, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

### PROJECT BENCHMARK:

REFERENCED CITY OF CAMPBELL BENCHMARK: BM# 60 EL: 229.91' (NAVD88)

### SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 67003 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

THE DESIGN SHOWS HORIZON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

THE DESIGN INCLUDES PRINCIPLES AND TECHNIQUES TO REDUCE QUANTITY AND IMPROVE THE QUALITY OF STORM WATER RUNOFF, AS REQUIRED BY NPDES.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONSIDERED TO BE A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

SIGNATURE \_\_\_\_\_ P.E. \_\_\_\_\_  
 PRINT  
 SMP ENGINEERS  
 1534 CAROL LANE, LOS ALTOS, CA 94024  
 TEL: (650) 941-8005

COVER SHEET  
 GRADING AND DRAINAGE PLANS  
 NEW SINGLE FAMILY HOUSE  
 3777 ESTHER AVE., CAMPBELL, CA 95008

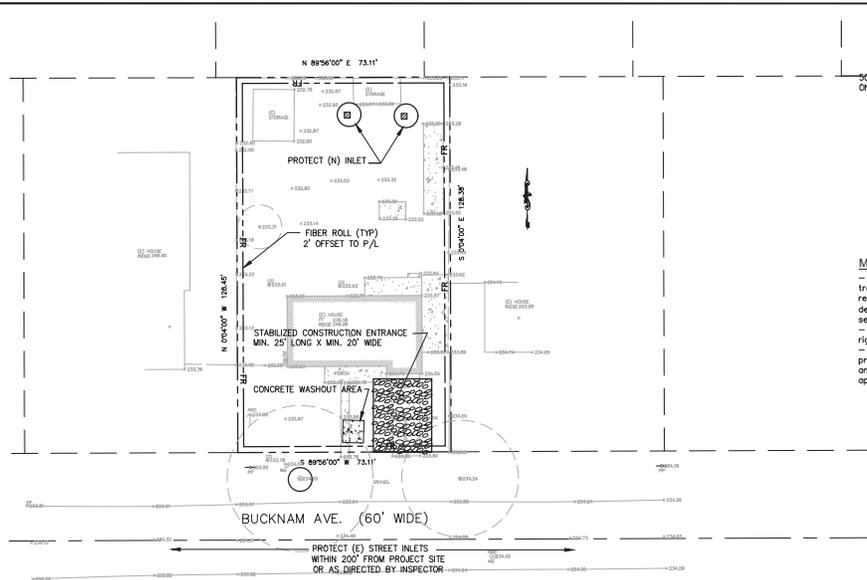
DATE: 3/27/2018  
 PREPARED BY: S.P.  
 CHECKED BY: S.R.  
 SMP JOB NO.: 218633

1534 CAROL LANE  
 LOS ALTOS, CA 94024  
 TEL: (650) 941-8005  
 FAX: (650) 941-8020  
 E-MAIL: SAMP@SMPENGINEERS.COM  
 SMPENGINEERS.COM

PROFESSIONAL SEAL  
 ENGINEER  
 STATE OF CALIFORNIA  
 No. 02374  
 CIVIL

SCALE: N.T.S.  
 SHEET: 1 OF 4



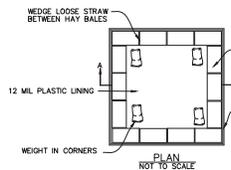
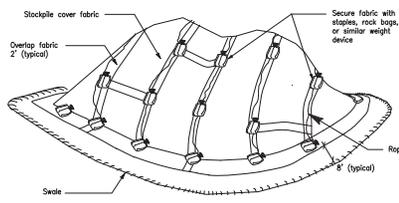


**LEGEND:**

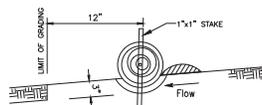
- FR --- FIBER ROLL (TYP)
- CONCRETE WASHOUT AREA
- INLET PROTECTION PER DETAIL



**SITE PLAN**  
1"=20'



**CONCRETE WASHOUT AREA**  
N.T.S.



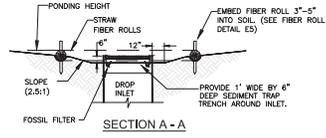
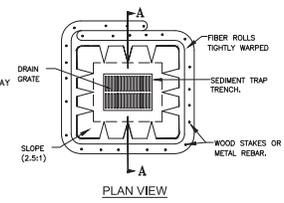
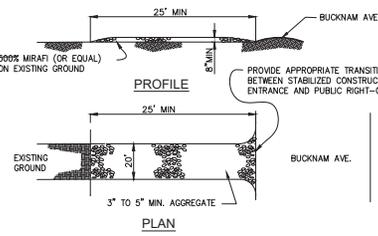
**FIBER ROLL NOTES**

1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading.

**Maintenance**

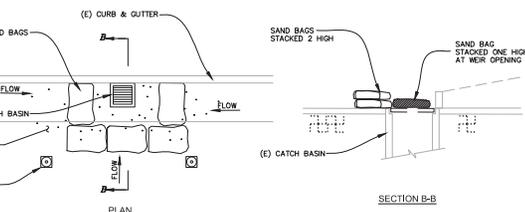
- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done on an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

**STABILIZED CONSTRUCTION ENTRANCE (TO BE MAINTAINED)**



**STORM INLET SEDIMENT TRAP-FIBER ROLLS**

1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. FOSFILLS FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSFILLS FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-9819.



**EXISTING STREET DRAINAGE INLET PROTECTION**  
N.T.S.

**EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 15T to April 30TH. Facilities are to be operative prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
4. Contractor shall maintain stabilized entrances of each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydrosediment is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of 1) seed, mulch, fertilizer 2) bloom straw 3) sodifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydrosediment Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may be encountered during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
13. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment load runoff to any storm drainage systems, including existing drainage swales and water courses.
14. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
15. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
16. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.

**MAINTENANCE NOTES**

1. Maintenance is to be performed as follows:
  - A. Repair damages caused by soil erosion or construction at the end of each working day.
  - B. Swales shall be inspected periodically and maintained as needed.
  - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
  - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
  - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
  - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project shall be protected with sand bags during construction. See detail: Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

No.	Revision	Date	By	Check
		11/02/2018	S.P.	
			S.R.	

Date: 11/02/2018  
Prepared By: S.P.  
Checked By: S.R.  
SNP Job No: 218107



1557 CAROL LANE  
SAN JOSE, CA 95128  
TEL: (408) 941-8000  
F: (408) 941-8000  
E: MAIL@SEAKZ.COM  
WWW.SEAKZ.COM

**EROSION CONTROL PLAN  
GRADING AND DRAINAGE PLANS  
ADDITION TO SINGLE FAMILY HOUSE  
1107 BUCKNAM AVE., CAMPBELL, CA 95008**



SCALE:  
1" = 20'  
SHEET:  
3 OF 4

**FRESH CONCRETE AND MORTAR APPLICATION**

**BEST MANAGEMENT PRACTICES FOR:**

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

• Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.

• Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.

• Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

**DURING CONSTRUCTION**

• Don't mix up more fresh concrete or cement than you will use in a day.

• Set up and operate small mixers on tarps or heavy plastic drop cloths.

**LANDSCAPING, GARDENING, AND POOL MAINTENANCE**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

• Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.

• Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.

• Do not place yard waste in gutters.

• Use temporary check dams or ditches to divert runoff away from storm drains.

• Protect storm drains with hay bales or other erosion controls.

• Revegetation is an excellent form of erosion control for any site.

**POOL/FOUNTAIN/SPA MAINTENANCE**

• Never discharge pool or spa water to a street or storm drain.

OR

• When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.

• Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.

• Do not use copper-based algicides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

**LANDSCAPING/GARDEN MAINTENANCE**

• Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.

• Dispose of unused pesticide as hazardous waste.

• Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.

• In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.

• Do not blow or rake leaves, etc. into the street.

**HEAVY EQUIPMENT OPERATION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

**SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE**

• Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.

• Maintain all vehicles and heavy equipment. Inspect frequently for leaks.

• Perform major maintenance, repair jobs, vehicle and equipment washing off site.

• If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.

• Do not use diesel oil to lubricate equipment or parts.

• Clean up spills immediately when they happen.

**PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES**

**BEST MANAGEMENT PRACTICES FOR THE: PAINTING/CLEANUP**

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

• Never clean brushes or trim paint containers into a street, gutter, storm drain, or stream.

• For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.

• Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

**PAINT REMOVAL**

• Chemical paint stripping residue is a hazardous waste.

• Chips and dust from marine paints or paints containing lead or tributyltin are hazardous wastes. Dry sweep and dispose of appropriately.

• Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.

• When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (trap or vacuum) building cleaning water and dispose to the sanitary sewer.

• For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

• For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

**WHAT CAN YOU DO?**

• Recycle excess leftover paints whenever possible.

• Recycle excess water-based paint, including sludges, as hazardous waste.

• Route leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

**STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES**

• All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

**EARTH MOVING ACTIVITIES**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

**DURING CONSTRUCTION**

• Remove existing vegetation only when absolutely necessary.

• Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.

• Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.

• Use check dams or ditches to divert runoff around excavations.

• Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

**GENERAL BUSINESS PRACTICES**

• Schedule excavation and grading work for dry weather.

• Perform major equipment repairs away from the job site.

• When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.

• Do not use diesel oil to lubricate equipment or parts.

**DETECTING CONTAMINATED SOIL OR GROUNDWATER**

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded construction water before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

**WATCH FOR ANY OF THESE CONDITIONS:**

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

**STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES**

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff eroding a site and slow the flow with check dams or roughened ground surfaces.

**ROADWORK AND PAVING**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment paving machines
- Dump trucks
- Concrete mixers
- Construction inspectors
- General contractors
- Developers

**WHAT CAN YOU DO?**

• Develop and implement erosion/sediment control plans for embankments.

• Schedule excavation and grading work for dry weather.

• Check for and repair leaking equipment.

• Perform major equipment repairs in designated areas at your yard, away from the construction site.

• When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.

• Do not use diesel oil to lubricate equipment or parts.

• Recycle used oil, concrete, broken asphalt, etc. whenever possible.

**DURING CONSTRUCTION**

• Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.

• Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.

• Use check dams, ditches, or berms to divert runoff around excavations.

**BEST MANAGEMENT PRACTICES FOR THE:**

- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- Catch drips from paver with drip pans or absorbent material (cloths, rags, etc.) placed under machine when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over application by water trucks for dust control.

**WHAT CAN YOU DO?**

• Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.

• Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.

• Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.

• Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.

• Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.

• Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.

• Make sure portable toilets are in good working order. Check frequently for leaks.

**STORM DRAIN POLLUTION FROM ROADWORK**

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

**GENERAL CONSTRUCTION AND SITE SUPERVISION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Construction industry

**WHAT CAN YOU DO?**

• Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job.

• Use recyclable materials whenever possible.

• Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

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• Make sure portable toilets are in good working order. Check frequently for leaks.

**MATERIALS/WASTE/HANDLING**

**BEST MANAGEMENT PRACTICES FOR THE:**

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**BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION**

**In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bayslands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.**

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by their subcontractors or employees.

**San Jose** Santa Clara Water Pollution Control Plant (408) 945-3300  
**Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga**

**Sunnyvale** Water Pollution Control Plant (408) 730-7270

**Palo Alto** Regional Water Quality Control Plant (415) 329-2598  
**Serving El Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford**

**ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL**

**Spill Response Agencies**

1. Dial 911
2. Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710.
3. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).

**Local Pollution Control Agencies**

Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195

Santa Clara Valley Water District (408) 927-0710

**San Jose** Santa Clara Water Pollution Control Plant (408) 945-3300  
**Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga**

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**A. Criminal Penalties.** Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.

**B. Civil Penalties.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys' fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.

**C. Civil Liability.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys' fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.

**D. Remedies Cumulative.** The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

Check			
By			
Date			
Revision			
No.			
DATE: 11/02/2018	PROJECT BY: S.P.	CREATED BY: S.P.	SMP Job No. 218107
			
			
			
			
			
			
			
			
			
			
			
			
			
			
			
SCALE:	N.T.S.		
SHEET:			
	4 OF 4		

6179 Orinda Drive  
San Jose, California 95125  
tel 408 691-9207  
fax 408 228-6085  
email wjeff@heidlandscap.com

OWNERSHIP AND USE OF DRAWINGS  
All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain the property. They are to be used only with respect to the Project and are not to be used on any other project. Distribution or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in description of W. Jeffrey Heid Landscape Architect - common law, copyright or other reserved rights.

REVISED 1/28/19

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUECLS
	Soil lawn - 100% dwarf fescue		high	.7
	Tulbaghia violacea @ 36" oc	1 gallon	low	3
	Gazania mitisana yellow @ 24" oc	1 gallon	low	3
	Carex chinensis/ Berkeley Sedge @ 36" oc	1 gallon	low	3
	Cotinus Golden Spire	15 gallon	low	3
	Lomandra Phoebe	5 gallon	low	3
	Leucadlia Grosso/ Lavender	5 gallon	low	3
	Loropetalum Suzans	5 gallon	low	3
	Lagotisraemia Tiscovna old./ Craple Myrtle	24" box	low	3

- 1) Verify placement of all new plant material.
- 2) The contractor shall submit for and obtain a soil fertility analysis with soil preparation recommendations prior to planting.
- 3) Incorporate 4 cu of compost per 1000 sq ft, 6" into native soil unless dictated by soil fertility analysis.
- 4) Spread 3" of ProChap earthtone mulch, or equal, after planting.
- 5) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape.
- 6) 100% of the proposed plant material have an average WUECLS rating of 3 or less.
- 7) The proposed turf area encompasses 24% (979 sq ft) of the front yard landscape, thus under the 25% maximum.
- 8) No lawn is proposed on a slope which exceeds 1" vertical elevation change in 4'.
- 9) No lawn is proposed in a parking strip.

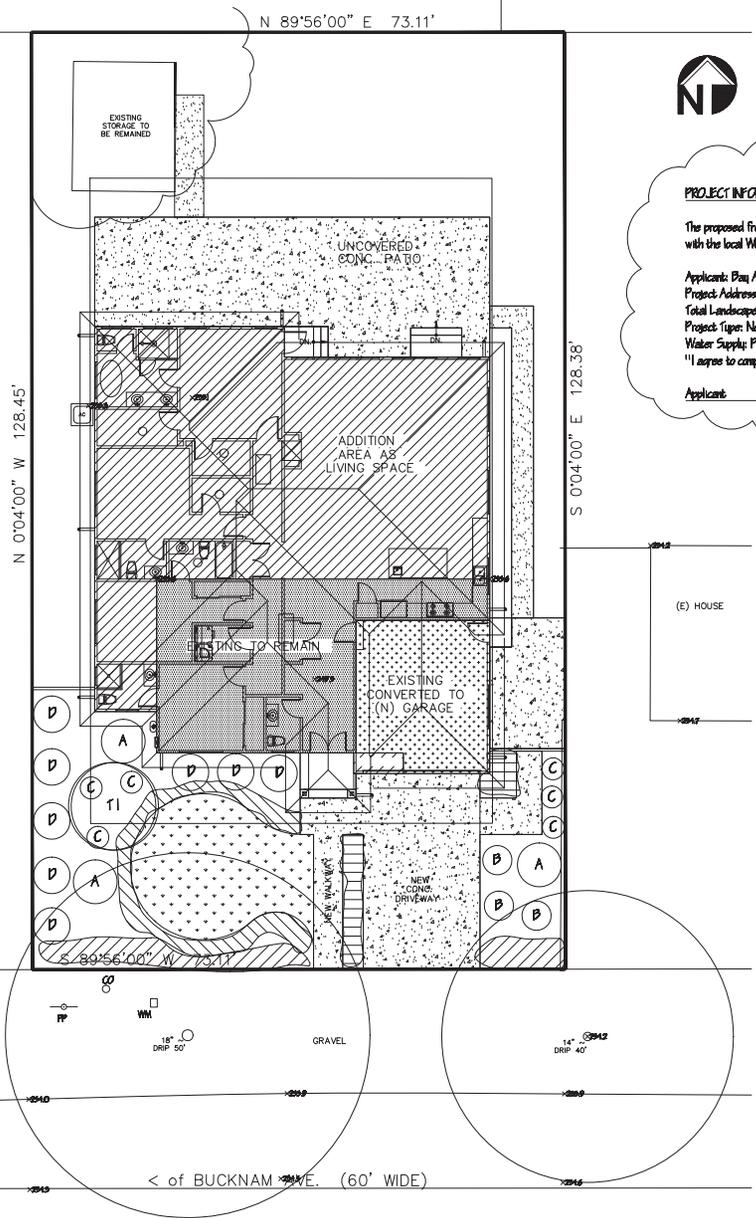


PROJECT INFORMATION

The proposed front yard landscape area is under 2500 sq ft, thus Prescriptive Compliance with the local WELO has been selected.

Applicant: Day Area Design and Construction  
Project Address: 1107 Bucknam Avenue  
Total Landscape Area: 1950 sq ft  
Project Type: New  
Water Supply: Potable  
I agree to comply with the requirements of the prescriptive compliance option for the MWELO"

Applicant: \_\_\_\_\_ Date: \_\_\_\_\_



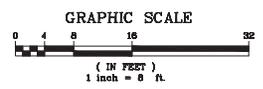
TULBAGHIA      GAZANIA      CAREX



A - COTINUS      B - LOMANDRA      C - LAVANDULA      D - LOROPETALUM



T1 - LACISTROEMIA



MASTER/ PLANTING PLAN  
1/8" = 1'-0"

ADDITION AND REMODEL

for:  
1107 BUCKNAM AVENUE  
CAMPBELL, CA. 95008

MASTER/ PLANTING PLAN

date: 11/18/18  
scale: NOTED  
drawn by: W.J.H.  
job no. 21882  
sheet  
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of sheets



W. Jeffrey Heid  
Landscape Architect  
C-22299

6179 Orinda Drive  
San Jose, California 95125

tel 408 691-9207  
fax 408 228-6085  
email wjheid@comcast.net

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ADDITION AND REMODEL

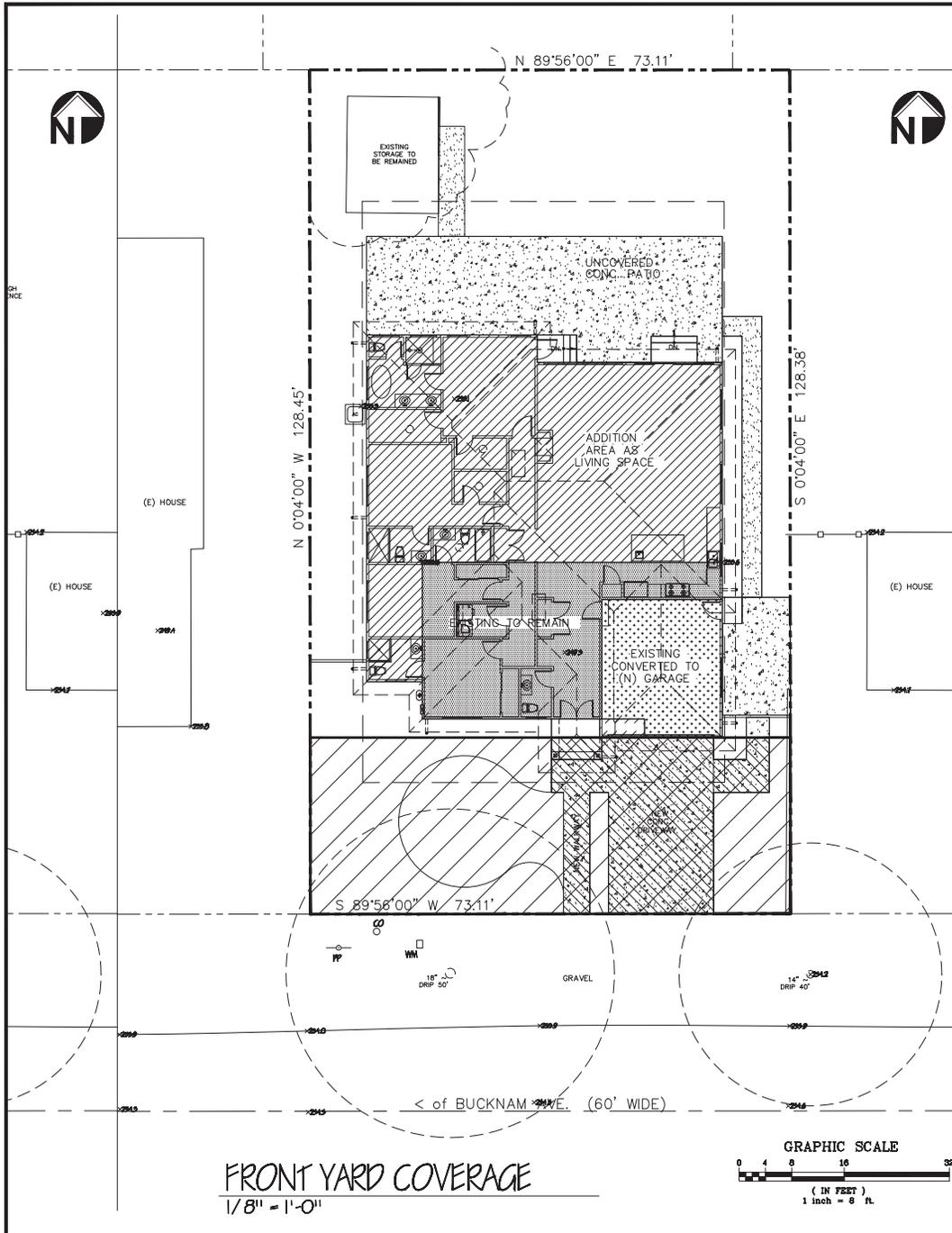
for:  
1107 BUCKNAM AVENUE  
CAMPBELL, CA. 95008



date: 1/28/19  
scale: NOTED  
drawn by: W.J.H.  
job no. 21882  
sheet

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FRONT YARD HARDSCAPE COVERAGE

- Overall Front Yard Area: 1965 sf
- Proposed Hardscape: 650 sf

Allowable Hardscape: 50% or 992 sf

Proposed Hardscape: 32% or 352 sf under allowable

