



CITY OF CAMPBELL
Community Development Department

March 15, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 26, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Ken Chitgar for a Site and Architectural Review Permit (PLN2018-360) to allow the construction of a new approximately 4,629 square-foot two-story single-family residence on property located at **620 Kenneth Avenue**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

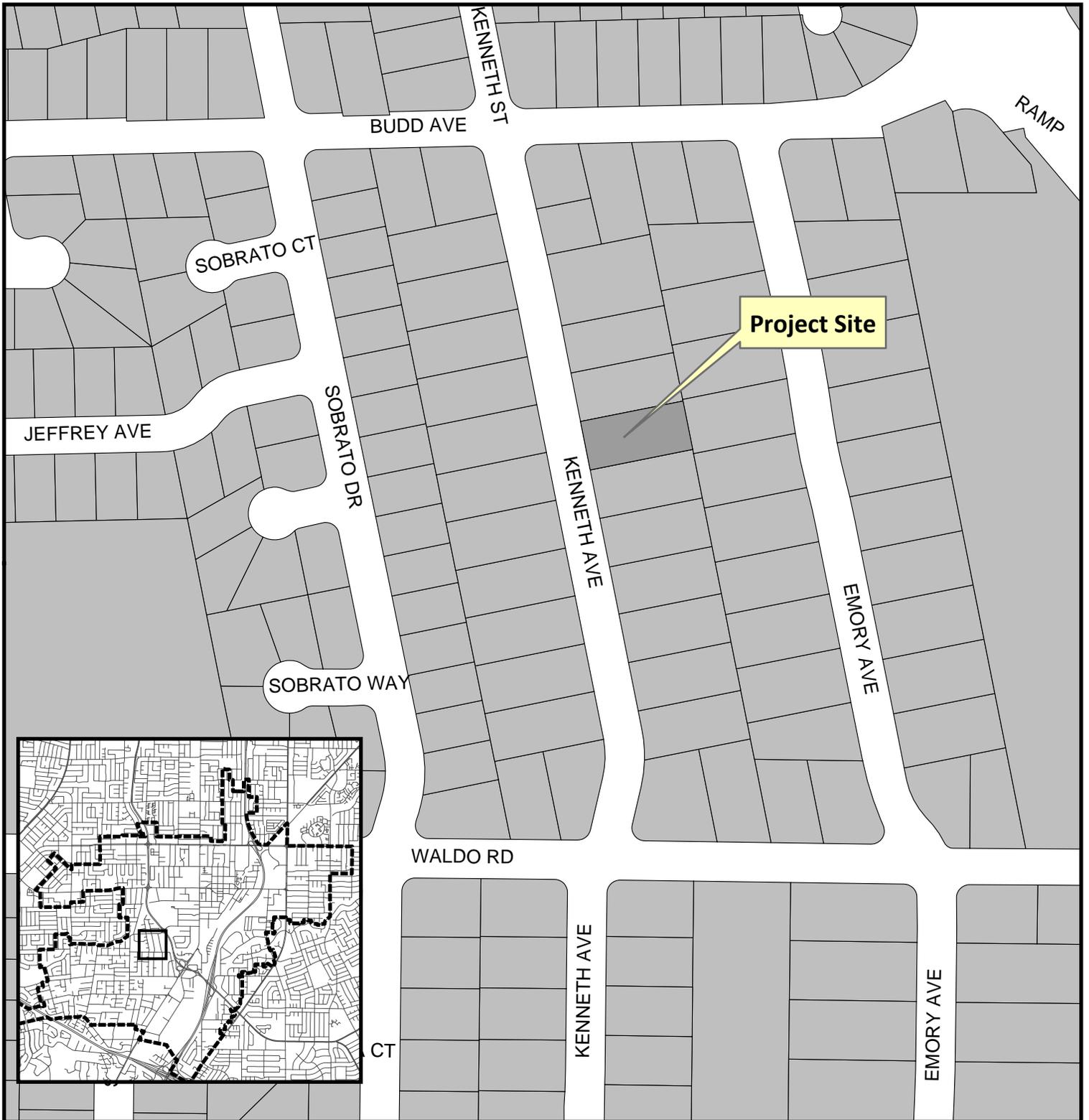
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **620 Kenneth Avenue**

Project Location Map

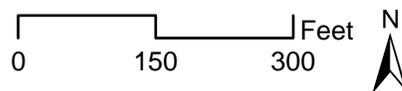


Project Location: 620 Kenneth Ave

Application Type: Site and Architectural Review Permit

Planning File No.: PLN2018-360

Description: New approx. 4,629 sf two-story single-family residence



Community Development Department
Planning Division

proposed new two-story single family residence
and attached two-car garage for the:

CHITGAR RESIDENCE

620 Kenneth Avenue
Campbell, CA 95008

CONDITIONS OF APPROVAL

APPROVAL SHEET

PROJECT NO: 404 - 26 - 051

DATE: 10/19/18

DESCRIPTION	EXISTING	PROPOSED	TOTAL SF	%
FIRST FLOOR (DEPCLUB)	1782.61 SF	1782.61 SF	1782.61 SF	19.71
SECOND FLOOR	0	1782.61 SF	1782.61 SF	14.89
GARAGE	800.00 SF (DETACHED/DEPCLUB)	804.74 (ATTACHED)	804.74 (ATTACHED)	4.4
ACCESSORY DWELLING	0	0	0	0
COVERED PORCHES	0	366.73 SF	366.73 SF	0.3%
COVERED ENTRY (DEPCLUB)	118.00 SF	118.00 SF	118.00 SF	
TOTAL	2880.61 SF	5048.90 SF	5048.90 SF	43.34

Detail Ink
RESIDENTIAL DESIGN
885 DRY CREEK ROAD CAMPBELL, CA 95008
VOICE: 408.371.8866
EMAIL: detailink2@gmail.com

proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
620 Kenneth Avenue
Campbell, CA 95008

A.P.N. 404 - 26 - 051

ZONING: R - 1 - 10

BUILDING AREA	EXISTING	PROPOSED	TOTAL SF	%
FIRST FLOOR	1782.61 SF (DEPCLUB)	1782.61 SF	1782.61 SF	19.71
SECOND FLOOR	0	1782.61 SF	1782.61 SF	14.89
GARAGE	800.00 SF (DETACHED/DEPCLUB)	804.74 (ATTACHED)	804.74 (ATTACHED)	4.4
ACCESSORY DWELLING	0	0	0	0
COVERED PORCHES	0	366.73 SF	366.73 SF	0.3%
COVERED ENTRY	118.00 SF (DEPCLUB)	118.00 SF	118.00 SF	
TOTAL	2880.61 SF	5048.90 SF	5048.90 SF	43.34

SETBACKS	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK
FRONT OF STRUCTURE/DWELLING	10'-1 1/2"	25'-0"	25'-0"
FRONT OF GARAGE	11'-5 1/2"	25'-0"	25'-0"
LEFT SIDE FIRST FLOOR	11'-5 1/2"	8'-0"	8'-0"
LEFT SIDE SECOND FLOOR	21'-7"	13'-0"	14'-0"
RIGHT SIDE FIRST FLOOR	11'-5 1/2"	10'-0"	10'-0"
RIGHT SIDE SECOND FLOOR	21'-7"	13'-0"	15'-0"
REAR FIRST FLOOR	11'-5 1/2"	25'-0"	25'-0"
REAR SECOND FLOOR	21'-7"	25'-0"	11'-6"

PAVING/LANDSCAPE AREA	EXISTING	PROPOSED	TOTAL SF
FRONT OF STRUCTURE/DWELLING	2108 SF	2108 SF	2108 SF
FRONT YARD PAVING	875 SF (26%)	PREVIOUS 785 SF (37%)	PREVIOUS 785 SF (37%)
WATER FEATURES	0	0	0
LIVE LANDSCAPING	225 SF	430 SF (23%)	430 SF (23%)
OTHER LANDSCAPING	0	PREVIOUS CRACKED ROCK 856 SF (40%)	PREVIOUS CRACKED ROCK 856 SF (40%)
TOTAL	2108 SF	2108 SF	2108 SF

PLANNING FINAL REQUIRED
THE NEW LANDSCAPING
INDICATED ON THE PLANS
MUST BE INSTALLED PRIOR
TO FINAL INSPECTION

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cover sheet

2018 - 26

Sheet

October 19, 2018

CI.O

800 KENNETH AVENUE CAMPBELL, CHITGAR

GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH CURRENT 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA FIRE CODE, 2016 BUILDING ENERGY EFFICIENCY STANDARDS, 2016 CALIFORNIA GREEN BUILDING STANDARDS AS WELL AS ALL LOCAL CODES AND ORDINANCES.
- IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES, OR REVIEW THE AREA IN QUESTION WITH THE DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION.
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE SHOWN, EXCAVATION SHALL BE NEARLY AS POSSIBLE TO THE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE FOOTINGS.
- ALL FOOTING DEPTHS SHOWN ARE MINIMUM. FOOTINGS SHALL BE FOUNDED OVER FIRM SUB-NATIVE SUBSOIL. INCREASE FOOTING DEPTHS AS REQUIRED AND AS NECESSARY TO MATCH EXISTING FOOTING DEPTH.
- FOUNDATION VENTILATION SHALL COMPLY WITH THE CURRENT U.B.C. REQUIREMENTS (1) SQUARE FOOT OF VENT AREA FOR EACH 180 S.F. OF UNDER FLOOR AREA.
- PROVIDE GARAGE VENTILATION EQUAL TO 60 SQUARE INCHES PER VEHICLE WITHIN 6" OF THE SLAB.
- PROVIDE DOUBLE JOISTS UNDER WALLS PARALLEL TO FLOOR JOISTS AND SOLID BLOCKING UNDER WALLS PERPENDICULAR TO FLOOR JOISTS.
- NON-COMBUSTIBLE FIRE STOPS SHALL BE PROVIDED IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS FIREPLACES AND SIMILAR OPENINGS AT FLOOR CEILING CEILING LEVELS PER 2016 CRC AND CBC REQUIREMENTS.
- ALL JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE.
- CONSTRUCTION WATER GENERATED AT THE SITE IS TO BE DIVERTED TO RECYCLE OR SALVAGE BY AT LEAST 68%.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING TO BE CHECKED BEFORE ENCLOSURE.
- HVAC SYSTEM INSTALLERS TO BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
- VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.
- PROVIDE OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.
- AT LEAST 50% OF THE RESILIENT FLOORING SHALL COMPLY WITH VOC LIMITS.
- THERMAL INSULATION IN THE BUILDING SHALL BE IN COMPLIANCE WITH VOC LIMITS.
- SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR CRC AND OTHER TOXIC COMPOUNDS.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS), HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERINGS INSTITUTE (RFCI) FLOORSCORE PROGRAM; OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION 0350.
- DUCT SYSTEMS TO BE SIZED, DESIGNED AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL 3-2004 OR EQUIVALENT.
 - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL 2-2009 OR EQUIVALENT.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL 3-2004 OR EQUIVALENT.
- CEMENT USED IN FOUNDATION MIX DESIGN IS REDUCED. TIER 1 NOT LESS THAN 20% REDUCTION IN CEMENT USE.
- POSTCONSUMER OR PRECONSUMER RECYCLED CONTENT VALUE (RCV) MATERIALS TO BE USED ON THE PROJECT. TIER 1 NOT LESS THAN A 10% RECYCLED CONTENT VALUE.
- PER CALGREEN SECTION 4.106.2, PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OR ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.
 - WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.

CONSULTANTS:

OWNER: MR. and MRS. KEN CHITGAR
620 Kenneth Avenue
Campbell, CA 95008

DESIGNER: DETAIL INK/STEVE NELSON
1885 Dry Creek Road
Campbell, CA 95008
(408) 371-8866

STRUCTURAL: SEZEN & MOON STRUCTURAL ENGINEERING, INC.
274 E. Hamilton Ave Suite C
Campbell, CA 95008
(408) 871-7274

ENERGY: CARSTAIRS ENERGY CALCULATIONS
P.O. Box 4736
San Luis Obispo, CA 93403

PROJECT DESCRIPTION:

- DEMOLISH EXISTING 1716 SF SINGLE STORY RESIDENCE AND 600 SF DETACHED GARAGE INCLUDING ALL FOUNDATIONS AND SLABS.
- CONSTRUCT NEW TWO-STORY RESIDENCE W/ 2350.61 SF MAIN FLOOR, 1192.61 SF SECOND FLOOR AND 834.74 ATTACHED TWO-CAR GARAGE.
- INSTALL NEW FRONT YARD LANDSCAPING.

PROJECT REQUIREMENTS:

- LANDSCAPING:**
PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 INCLUDING CALIF. PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE 5182.
- FOR ANY NEW RESIDENTIAL DEVELOPMENT WITH AN AGGREGATE LANDSCAPE EQUAL TO OR GREATER THAN 800 SF TO COMPLY WITH ONE OF THE FOLLOWING OPTIONS:
 - LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CA DEPT. OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MELCO), WHICHEVER IS MORE STRINGENT;
 - PROJECTS WITH AN AGGREGATE LANDSCAPE AREA LESS THAN 2500 SF MAY COMPLY WITH THE MUELER'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION (CSGBC SECTION 4.304).

- PLUMBING:**
- ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS PRESCRIBED IN TABLE 1201.1 OF THE 2016 CALIF. PLUMBING CODE CSGBSC SECTION 4.303.2.

- WASTE MANAGEMENT:**
- CONTRACTOR TO PROVIDE DOCUMENTATION, PRIOR TO THE FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED AND APPROVED BY THE APPROPRIATE AGENCIES.

- DOCUMENTATION:**
- AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER ACCEPTABLE MEDIA INCLUDING ALL ITEMS 1 THROUGH 10 OF SECTION 4.410 OF THE CALIFORNIA GREEN RESIDENTIAL MANDATORY MEASURES.

- MECHANICAL:**
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPT.
 - ALL HEATING AND AIR CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF CSGBSC SECTION 4.801.2.

- FRAMING:**
- PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 18% MOISTURE CONTENT.

- ENERGY:**
- A COMPLETED CFR-1TG-O-E FORM MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

- CALGREEN:**
- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.
- FOR ADDITIONAL INFORMATION SEE MANDATORY MEASURES SHEET 61.0.

- ADDRESS:**
- THE BUILDING ADDRESS SHALL COMPLY WITH CRC SECTION R318 (SEE NOTE #9 ON PROPOSED FLOOR PLAN SHEET A2). FOR ADDITIONAL INFORMATION, FIRE.

- FIRE:**
- THE SPRINKLER SYSTEM REQUIRED PER COUNTY OF SANTA CLARA FIRE DEPARTMENT FOR RESIDENCE AND GARAGE PER NFPA STANDARD 13ID, SPRINKLER DRAWINGS & DETAILS AND CALCULATIONS TO BE PROVIDED BY A STATE OF CALIFORNIA (S-CAL) FIRE PROTECTION CONTRACTOR. THIS SHALL BE APPLIED FOR AS A SEPARATE PERMIT.

SPECIAL INSPECTIONS:

- PER SECTION 105.5 OF THE 2016 CBC, SPECIAL INSPECTIONS ARE REQUIRED FOR SHEARWALLS WITH A NAILING SCHEDULE OF 4" O.C. OR LESS. THE SPECIAL INSPECTION MAY BE PERFORMED BY THE ENGINEER OF RECORD.
- STRUCTURAL OBSERVATION BY THE ENGINEER IS REQUIRED FOR EPOXY INSTALL AT HOLD DOWNS AND FOUNDATION DOUELS.

DEFERRED SUBMITTALS:

- FIRE SPRINKLER SYSTEM

proposed two-story single family residence and attached two-car garage for:

KEN CHITGAR

620 Kenneth Avenue
Campbell, CA. 95008

SHEET INDEX:

ARCHITECTURAL	
NO.	DESCRIPTION
C1.0	CONDITIONS OF APPROVAL/COVER SHEET
T1.0	TITLE SHEET
A0.0	EXISTING SITE/TOPOGRAPHIC PLAN
A1.0	FOUNDATION PLANS
A1.0	PROPOSED SITE PLAN
C1.B	GRADING AND DRAINAGE PLAN
L1	PROPOSED MAIN FLOOR PLAN
A2.0	PROPOSED SECOND FLOOR PLAN
A2.1	FRONT/LEFT SIDE EXTERIOR ELEVATIONS
A4.0	REAR/RIGHT SIDE EXTERIOR ELEVATIONS
A5.0	ROOF PLAN
A6.0	CROSS SECTIONS
A7.0	STREETSCAPE

HERS VERIFICATION REQUIRED FOR HVAC COOLING, HVAC DISTRIBUTION, HVAC FAN SYSTEMS AND INDOOR AIR QUALITY (IAQ) FANS. PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

PROVIDE A COOL ROOF SYSTEM PER TITLE 24 REPORT AND AS NOTED ON THE CFR-1TG-O-E FORM.

PROPERTY DATA:

ASSESSOR'S PARCEL NO.	404 - 26 - 051
EXISTING USE:	SINGLE FAMILY RESIDENCE
ZONING DISTRICT:	R - 1 - 10
OCCUPANCY GROUP:	R3/U
FLOOD ZONE:	NO
CONSTRUCTION TYPE:	V - B
SPECIAL INSPECTION ITEMS:	SHEARWALLS
NUMBER OF EXISTING STORIES:	1
NUMBER OF PROPOSED STORIES:	2
FIRE SPRINKLERS REQUIRED:	YES

PROJECT DATA SUMMARY:

EXISTING LIVABLE AREA REMOVED:	1,716.00 SF
EXISTING DETACHED GARAGE REMOVED:	600.00 SF
PROPOSED MAIN FLOOR LIVABLE AREA:	2,350.61 SF
PROPOSED SECOND FLOOR LIVABLE AREA:	1,192.61 SF
TOTAL PROPOSED LIVABLE AREA:	4,103.22 SF
PROPOSED GARAGE AREA:	834.74 SF
PROPOSED COVERED PATIO/ENTRY:	469.23 SF
PROPOSED SECOND FLOOR COVERED DECK:	195.41 SF
NET LOT AREA:	1,922.75 SF
ALLOWABLE FLOOR AREA (.45):	5,365.28 SF
ALLOWABLE FLOOR AREA (4.67/36 SF):	38.81%
ALLOWABLE LOT COVERAGE (.35):	412.96 SF
PROPOSED LOT COVERAGE (3,344.58 SF):	28.25%

A COMPLETED CFR-1TG-O-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

CONTRACTOR MUST PROVIDE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF ALL LAMPS IN THE LUMINAIRES.

VICINITY MAP:



Detail Ink

RESIDENTIAL DESIGN
885 DRY CREEK ROAD CAMPBELL CA 95008
VOICE: 408.371.8866
EMAIL: detailink2@gmail.com

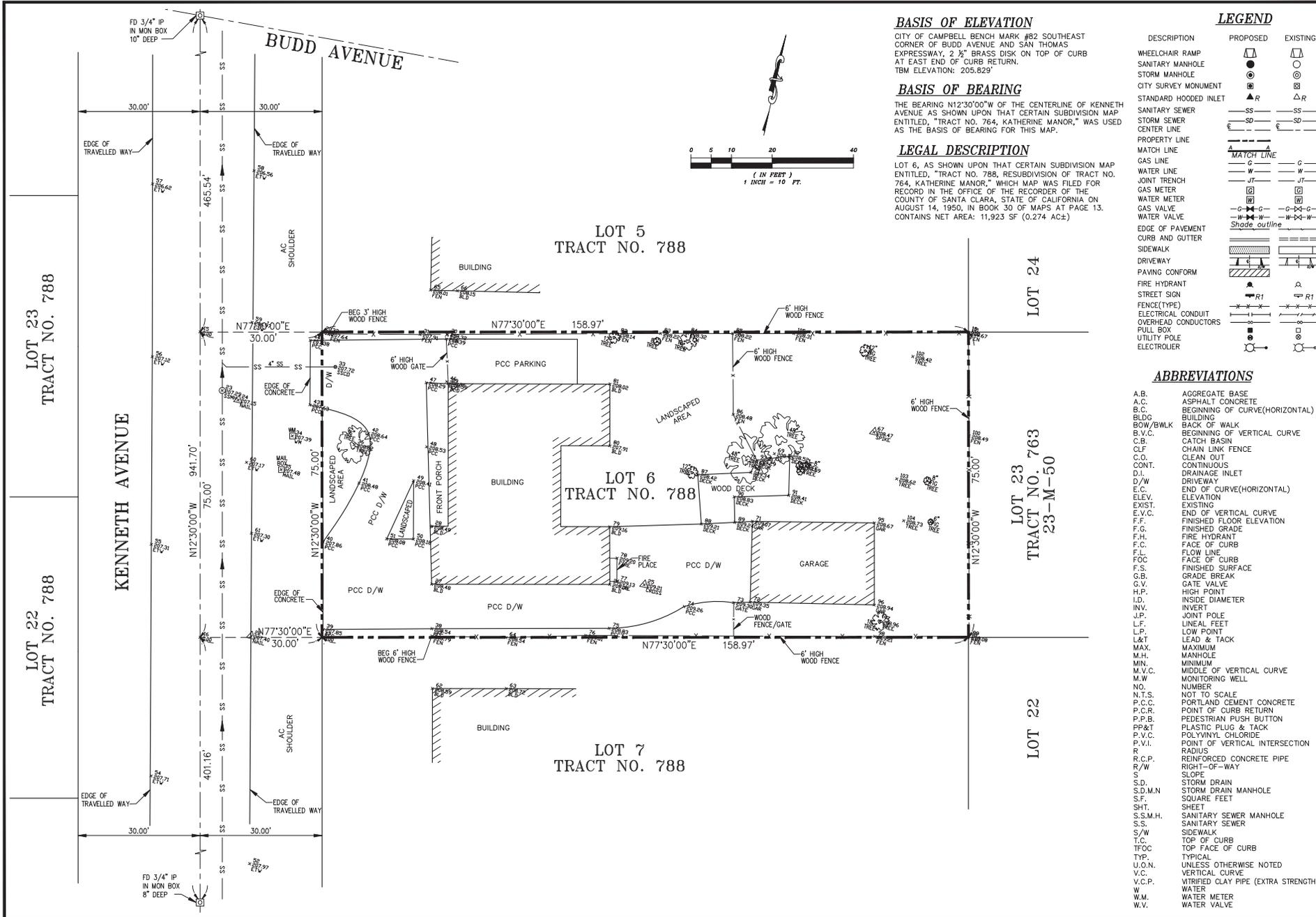
proposed new two-story single family residence and attached two-car garage for:
KEN CHITGAR
620 Kenneth Avenue
Campbell, CA 95008

A.P.N. 404 - 26 - 051
ZONING: R - 1 - 10

Revisions:

TITLE SHEET

2016 - 26
September 25, 2016
Sheet
T1.0



BASIS OF ELEVATION

CITY OF CAMPBELL BENCH MARK #82 SOUTHEAST CORNER OF BUDD AVENUE AND SAN THOMAS EXPRESSWAY, 2" BRASS DISK ON TOP OF CURB AT EAST END OF CURB RETURN. TBM ELEVATION: 205.829'

BASIS OF BEARING

THE BEARING N12°30'00"W OF THE CENTERLINE OF KENNETH AVENUE AS SHOWN UPON THAT CERTAIN SUBDIVISION MAP ENTITLED, "TRACT NO. 764, KATHERINE MANOR," WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

LEGAL DESCRIPTION

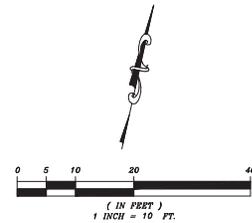
LOT 6, AS SHOWN UPON THAT CERTAIN SUBDIVISION MAP ENTITLED, "TRACT NO. 788, RESUBDIVISION OF TRACT NO. 764, KATHERINE MANOR," WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON AUGUST 14, 1950, IN BOOK 30 OF MAPS AT PAGE 13. CONTAINS NET AREA: 11,923 SF (0.274 AC±)

LEGEND

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER	SS	SS
STORM SEWER	SD	SD
CENTER LINE		
PROPERTY LINE		
MATCH LINE		
GAS LINE	G	G
WATER LINE	W	W
JOINT TRENCH	JT	JT
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		

ABBREVIATIONS

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE(HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
D/I	DRAINAGE INLET
D/W	DRIVEWAY
E.C.	END OF CURVE(HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.	FLOW LINE
F.O.C.	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT
J.P.	JOINT POLE
L.F.	LINEAL FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M/W	MONITORING WELL
NO.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R.	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S.	SLOPE
S.D.	STORM DRAIN
S.D.M.N.	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
T.F.C.	TOP FACE OF CURB
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.	VERTICAL CURVE
V.C.P.	VERIFIED CLAY PIPE (EXTRA STRENGTH)
W.	WATER
W.M.	WATER METER
W.V.	WATER VALVE



ADVANCED DEVELOPMENT

2023 SUBMITTAL CHECKLIST

DATE: 08/14/2023

PROJECT: 23-M-50

PREPARED BY: JACOB SALIMAN

TOPOGRAPHICAL & RECORD BOUNDARY

SURVEY FOR: APN 404-26-057

620 KENNETH AVENUE

CAMPBELL CALIFORNIA

APPROVED BY: [Signature]

DATE: 08-14-2023

CHECKED BY: [Signature]

DATE: 08-14-2023

SCALE: 1"=10'

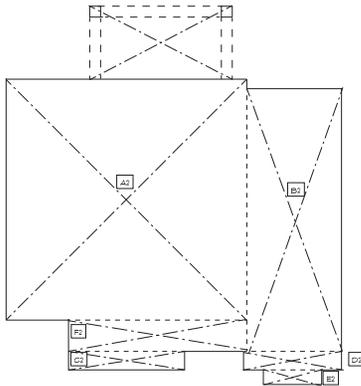
DATE: 08-14-2023

Sheet No. **C1**

Job No. 419

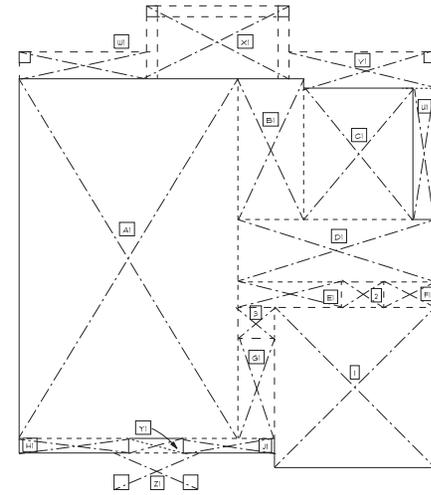
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RESIDENTIAL DESIGN
 885 DRY CREEK ROAD CAMPBELL, CA. 95008
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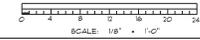


SECOND FLOOR PLAN

KEY	SIZE	SQ. FT.
A1	30'-0" X 45'-3 1/2"	1,478.75
B1	9'-0" X 15'-3 1/2"	138.62
C1	15'-0" X 18'-0"	270.00
D1	27'-0" X 8'-6 1/2"	230.62
E1	14'-3" X 3'-6"	45.58
F1	1'-0" X 3'-6"	24.50
G1	8'-0" X 13'-8 1/2"	68.54
H1	15'-0" X 2'-0"	30.00
J1	12'-6" X 2'-0"	25.00
TOTAL MAIN FLOOR LIVABLE AREA		2,350.61
COVERED PORCH/PATIO AREA		469.23
TOTAL PROPOSED GARAGE AREA		504.74
TOTAL PROPOSED LIVABLE AREA		4,103.22
TOTAL PROPOSED FLOOR AREA		3,344.58
U1	18'-0" X 3'-0"	54.00
V1	18'-0" X 5'-0"	90.00
W1	15'-6 1/2" X 3'-6 1/2"	57.32
X1	19'-6 1/2" X 10'-0"	195.41
Y1	1'-6" X 2'-0"	3.00
Z1	11'-6" X 5'-0"	57.50
A2	33'-0" X 33'-0"	1,089.00
B2	15'-0" X 36'-0"	468.00
C2	15'-11" X 2'-6 1/2"	40.45
D2	13'-8 1/2" X 2'-6 1/2"	34.20
E2	8'-0" X 2'-0"	16.00
F2	24'-8 1/2" X 4'-3 1/2"	104.56
TOTAL SECOND FLOOR LIVABLE AREA		1,782.61



MAIN FLOOR PLAN



proposed new two-story single family residence and attached two-car garage for:
KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008
 A.P.N. 404 - 26 - 051
 ZONING: R - 1 - 10

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Revisions:
 per architectural review 02-28-18

calculation plans
 scale: 1/8" = 1'-0"
 2018 - 26
 October 24, 2018
 Sheet
A0.0

DESIGNED BY: KEN CHITGAR / ARCHITECTURE
 620 KENNETH AVENUE / CAMPBELL, CA 95008

Detail Ink

RESIDENTIAL DESIGN
 885 DRY CREEK ROAD CAMPBELL, CA 95008
 VOICE: 408.315866
 EMAIL: detailink@earthlink.net

CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS PRIOR TO ANY WORK IN THE RIGHT-OF-WAY

SEE GRADING AND DRAINAGE PLAN FOR ADDITIONAL INFO

THE ROOF DRAINAGE SYSTEM SHALL BE INSTALLED TO DISCHARGE AT A DISTANCE OF 5'-0" MINIMUM AWAY FROM THE FOUNDATION INTO AN APPROVED DRAINAGE SYSTEM

ALL NEW WATER METERS/S.S CLEANOUTS SHALL BE INSTALLED ON PRIVATE PROPERTY BEHIND THE RIGHT-OF-WAY LINE

TREE SCHEDULE				
KEY	TRUNK DIAMETER	TYPE	STATUS	NOTES
1	36"	ELM	SAVE	
2	12"	FITOSPORIUM	SAVE	
3	12"	FITOSPORIUM	SAVE	
4	18"	FITOSPORIUM	SAVE	
5	12"	ELM	REMOVE	
6	48"	ELM	SAVE	
7	48"	ELM	SAVE	
8	SMALL MULTI-TRUNK	FITOSPORIUM	REMOVE	
9	12"	FIG	SAVE	
10	8"	FIG	SAVE	
11	6"	FIG	REMOVE	
12	18"	ELM	SAVE	
13	5 GALLON	CAROLINA CHERRY	NEW	

proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008

A.P.N. 404 - 26 - 051
 ZONING: R - 1 - 10

FIRE DEPARTMENT NOTES:

- FIRE SPRINKLERS REQUIRED FOR ONE AND TWO-FAMILY DWELLINGS. AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN THE ALLOWABLE FIRE-FLOW APPENDIX TABLES (B09(1) AND B09(1)(2)) OF THE CALIFORNIA FIRE CODE. AND/OR ADDITIONS EXCEEDING FIFTY (50) PERCENT OF THE EXISTING LIVING AREA (EXISTING SQUARE FOOT CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT AND/OR ADDITIONS EXCEEDING SEVEN HUNDRED FIFTY (750) SQUARE FEET). WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. ADDITIONS OVER FIFTY (50) PERCENT AND/OR SEVEN HUNDRED FIFTY (750) SQUARE FEET AS REFERENCED ABOVE SHALL BE TREATED AS NEW STRUCTURE REGARDING THE INSTALLATION OF FIRE SPRINKLER SYSTEMS. NOTE, THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OR RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE SANTA CLARA FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. SEC. 48000.00
- WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OR RECORD. FINAL APPROVAL OF THE SYSTEM UNDER CONSTRUCTION WILL NOT BE GRANTED BY THE SANTA CLARA FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OR RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET. THE APPLICANT(S) 2016 CFC SEC. 900.33.9 AND HEALTH AND SAFETY CODE 33411.
- ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.9 INCH (21.1 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT POLE OR OTHER SIGN OR MARK SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED CFC SEC. 900.1.
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH THE APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARDS DETAIL AND SPECIFICATION 5111. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT CFC CHAPTER 33.

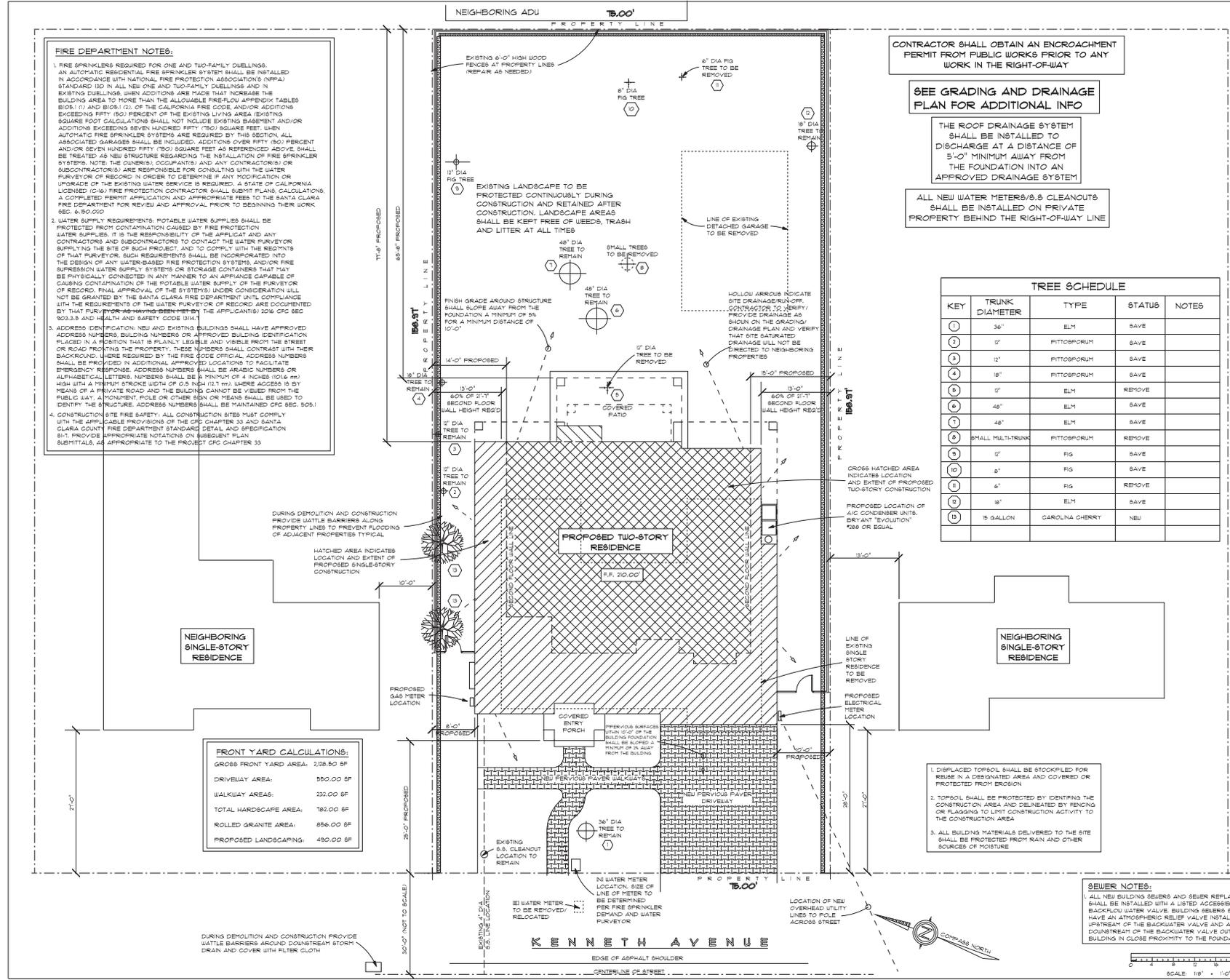
DURING DEMOLITION AND CONSTRUCTION PROVIDE WATTLE BARRIERS ALONG PROPERTY LINES TO PREVENT FLOODING OF ADJACENT PROPERTIES. TYPICAL.

HATCHED AREA INDICATES LOCATION AND EXTENT OF PROPOSED SINGLE-STORY CONSTRUCTION

NEIGHBORING SINGLE-STORY RESIDENCE

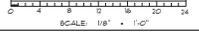
FRONT YARD CALCULATIONS:	
GROSS FRONT YARD AREA:	2128.50 SF
DRIVEWAY AREA:	550.00 SF
WALKWAY AREAS:	232.00 SF
TOTAL HARDSCAPE AREA:	782.00 SF
ROLLED GRANITE AREA:	856.00 SF
PROPOSED LANDSCAPING:	430.00 SF

DURING DEMOLITION AND CONSTRUCTION PROVIDE WATTLE BARRIERS ALONG DOWNSTREAM STORM DRAIN AND COVER WITH FILTER CLOTH



- DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION
- TOPSOIL SHALL BE PROTECTED BY IDENTIFYING THE CONSTRUCTION AREA AND DEMARCATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA
- ALL BUILDING MATERIALS DELIVERED TO THE SITE SHALL BE PROTECTED FROM RAIN AND OTHER SOURCES OF MOISTURE

SEWER NOTES:
 ALL NEW BUILDING SEWERS AND SEWER REPLACEMENTS SHALL BE INSTALLED WITH A LISTED ACCESSIBLE BACKFLOW WATER VALVE. BUILDING SEWERS SHALL HAVE AN ATMOSPHERIC RELIEF VALVE INSTALLED UPSTREAM OF THE BACKWATER VALVE AND A CLEANOUT DOWNSTREAM OF THE BACKWATER VALVE OUTSIDE THE BUILDING IN CLOSE PROXIMITY TO THE FOUNDATION



Revisions:

per architectural review 03-28-18

site plan

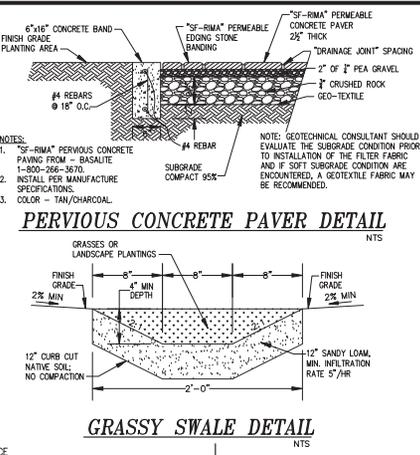
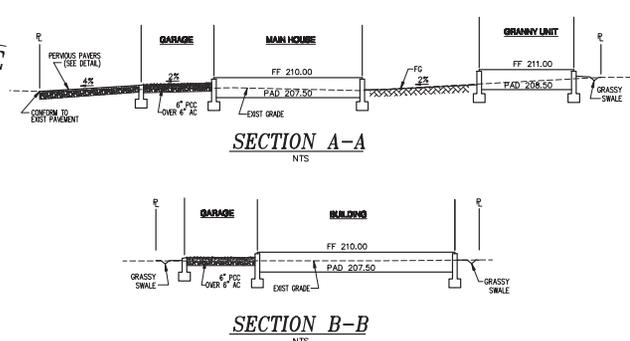
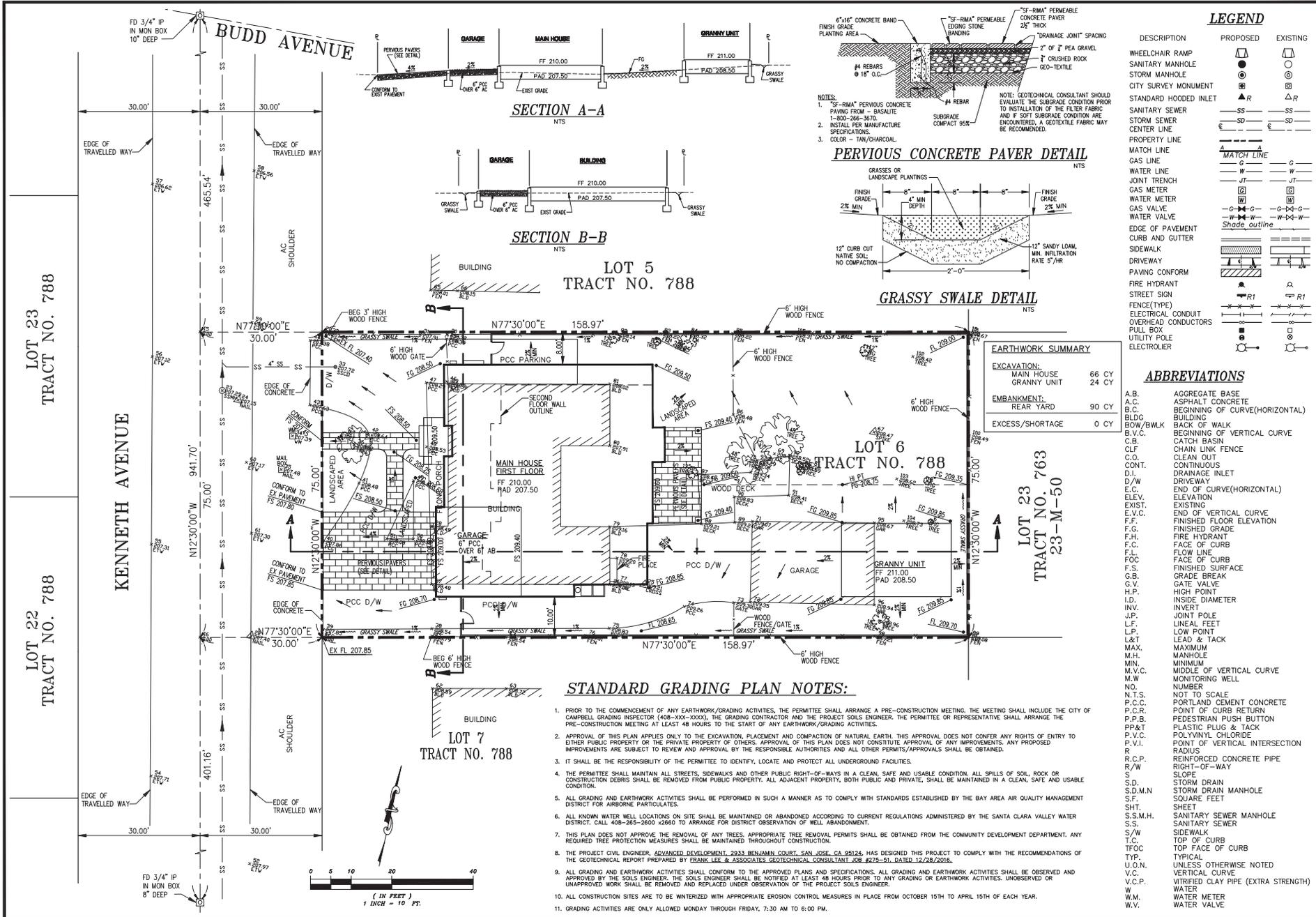
scale: 1/8" = 1'-0"

2018 - 26

Sheet **A1.0**

October 24, 2018

620 KENNETH AVENUE / CAMPBELL, CA 95008



LEGEND

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTRICAL		

EARTHWORK SUMMARY

EXCAVATION:	
MAIN HOUSE	66 CY
GRANNY UNIT	24 CY
EMBALLMENT:	
REAR YARD	90 CY
EXCESS/SHORTAGE	0 CY

ABBREVIATIONS

A.B.	AGGREGATE BASE
A.C.	ASPHALT CONCRETE
B.C.	BEGINNING OF CURVE(HORIZONTAL)
BLDG	BUILDING
BOW/BWLK	BACK OF WALK
B.V.C.	BEGINNING OF VERTICAL CURVE
C.B.	CATCH BASIN
CLF	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONT.	CONTINUOUS
D/W	DRIVEWAY
E.C.	END OF CURVE(HORIZONTAL)
ELEV.	ELEVATION
EXIST.	EXISTING
E.V.C.	END OF VERTICAL CURVE
F.F.	FINISHED FLOOR ELEVATION
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.C.	FACE OF CURB
F.L.W.	FLOW LINE
FOC	FACE OF CURB
F.S.	FINISHED SURFACE
G.B.	GRADE BREAK
G.V.	GATE VALVE
H.P.	HIGH POINT
I.D.	INSIDE DIAMETER
INV.	INVERT
J.P.	JOINT POLE
L.F.	LINEAL FEET
L.P.	LOW POINT
L&T	LEAD & TACK
MAX.	MAXIMUM
M.H.	MANHOLE
MIN.	MINIMUM
M.V.C.	MIDDLE OF VERTICAL CURVE
M.W.	MONITORING WELL
NO.	NUMBER
N.T.S.	NOT TO SCALE
P.C.C.	PORTLAND CEMENT CONCRETE
P.C.R.	POINT OF CURB RETURN
P.P.B.	PEDESTRIAN PUSH BUTTON
PP&T	PLASTIC PLUG & TACK
P.V.C.	POLYVINYL CHLORIDE
P.V.I.	POINT OF VERTICAL INTERSECTION
R.	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S.	SLOPE
S.D.	STORM DRAIN
S.D.M.N	STORM DRAIN MANHOLE
S.F.	SQUARE FEET
SHT.	SHEET
S.S.M.H.	SANITARY SEWER MANHOLE
S.S.	SANITARY SEWER
S/W	SIDEWALK
T.C.	TOP OF CURB
T.F.C.	TOP FACE OF CURB
T.Y.C.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.P.	VERTICAL CURVE
V.C.N.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
W.	WATER
W.M.	WATER METER
W.V.	WATER VALVE

STANDARD GRADING PLAN NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE CITY OF CAMPBELL GRADING INSPECTOR (408-XXX-XXXX), THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS TO THE START OF ANY EARTHWORK/GRADING ACTIVITIES.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. ANY PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER PERMITS/APPROVALS SHALL BE OBTAINED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE SHALL MAINTAIN ALL STREETS, SIDEWALKS AND OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PUBLIC PROPERTY. ALL ADJACENT PROPERTY, BOTH PUBLIC AND PRIVATE, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL KNOWN WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL 408-265-2600 X2660 TO ARRANGE FOR DISTRICT OBSERVATION OF WELL ABANDONMENT.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF ANY TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- THE PROJECT CIVIL ENGINEER, ADVANCED DEVELOPMENT, 2913 BENJAMIN COURT, SAN JOSE, CA 95124, HAS DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY FRANK LEE & ASSOCIATES, GEOTECHNICAL CONSULTANT, JOB #275-51, DATED 12/28/2016.
- ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOBSERVED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
- ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
- GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.

ADVANCED DEVELOPMENT

2913 BENJAMIN COURT, SAN JOSE, CA 95124
 (408) 265-2600
 JACOB SALDANHA, CIVIL ENGINEER

GRADING AND DRAINAGE PLAN
 FOR: APN 404-26-057
 620 KENNETH AVENUE
 CAMPBELL, CALIFORNIA

Checklist: Approved by Authority
 Approved by City
 Approved by County
 Approved by State
 Approved by Federal

Scale: 1" = 10'-0"

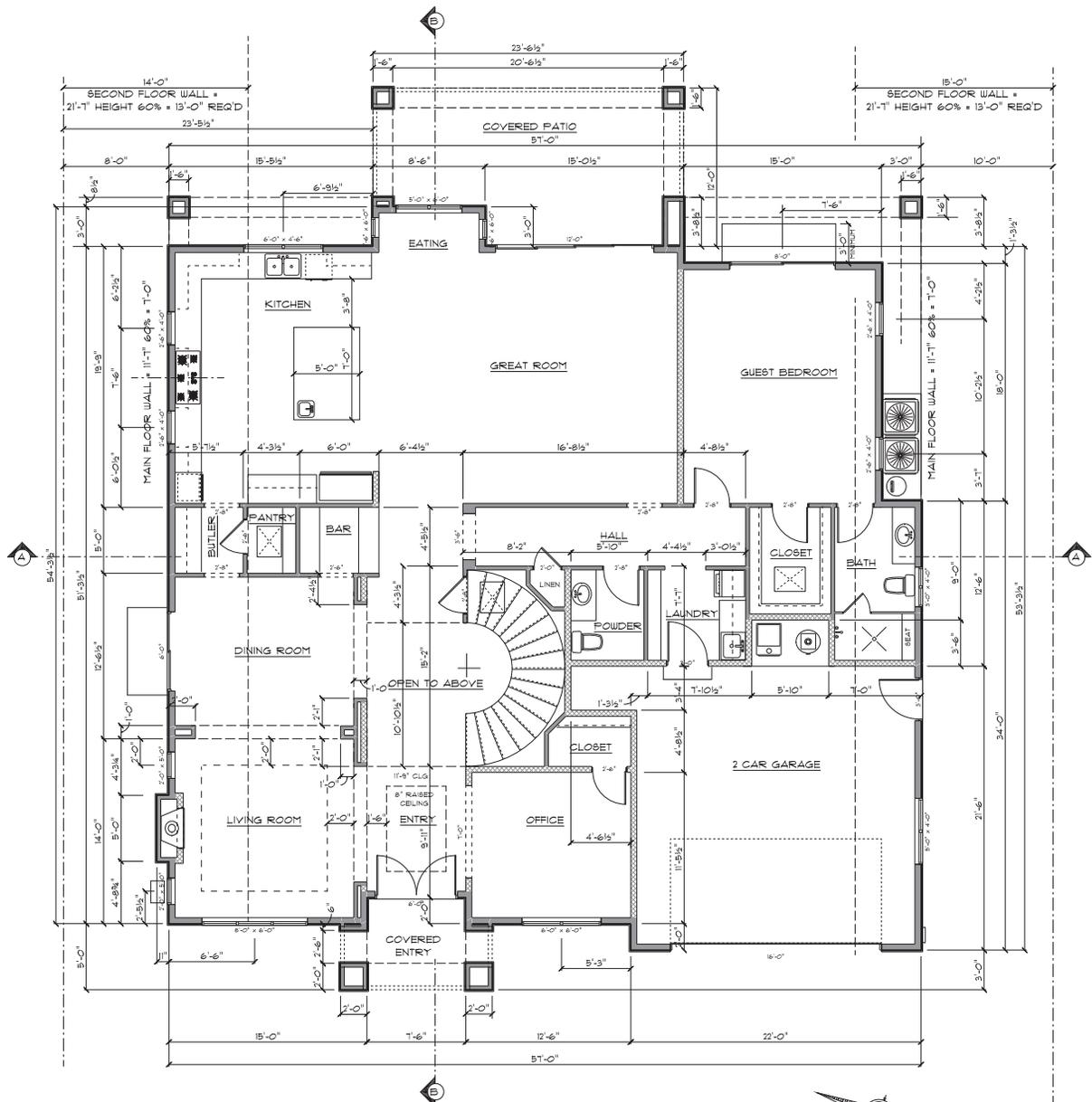
Date: 12-28-2016

Sheet No. C1

Job No. 419

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RESIDENTIAL DESIGN
 885 DRY CREEK ROAD CAMPBELL, CA. 95008
 VOICE: 408.311.8866
 EMAIL: detailink@earthlink.net



proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008

A.P.N. 404 - 26 - 051
 ZONING: R - 1 - 10

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Revisions:

	per architectural review 02-28-18

main floor plan

scale: 1/4" = 1'-0"
 2018 - 26
 October 24, 2018

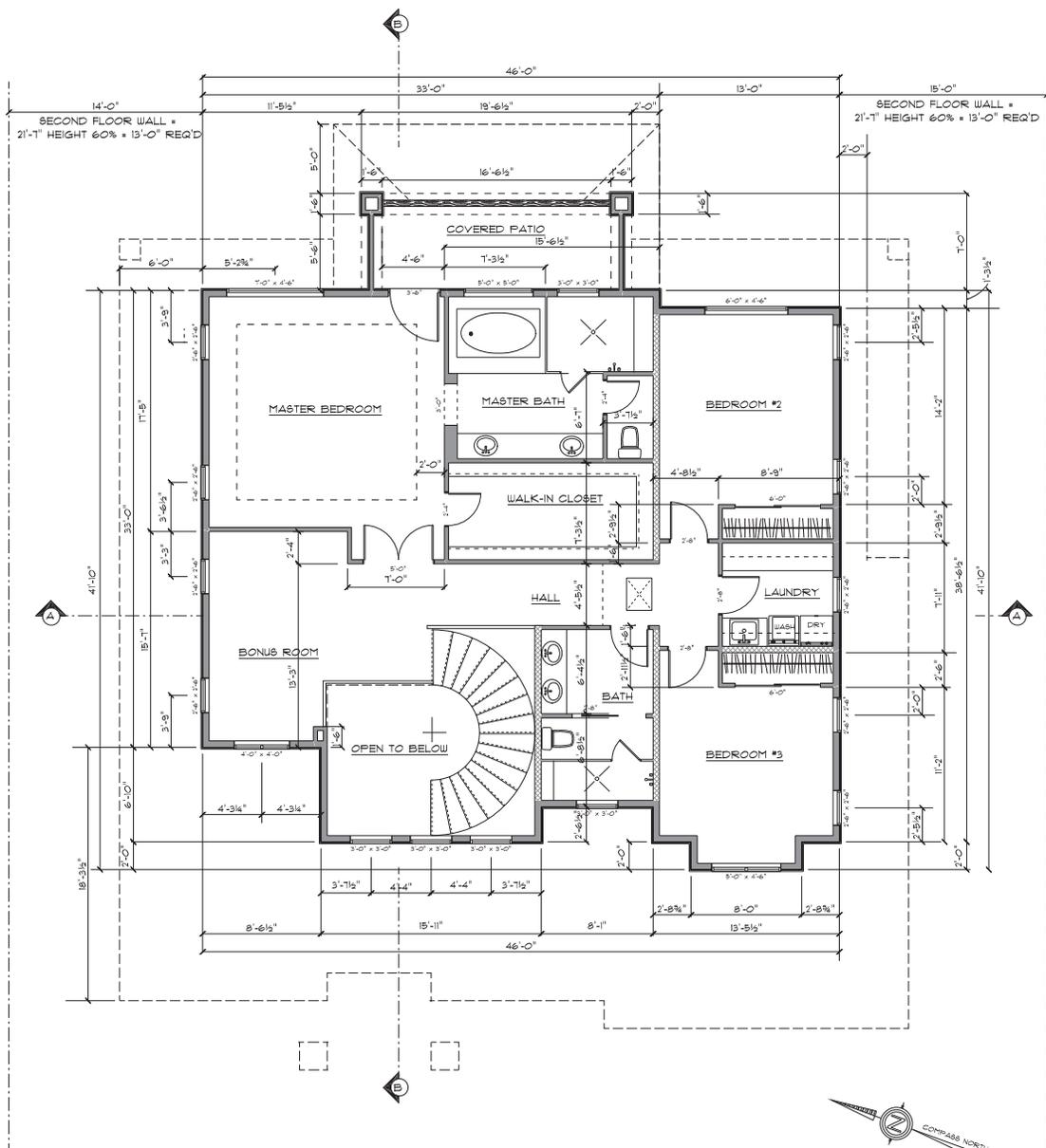
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650 KENNETH AVENUE / CAMPBELL, CA 95008

Detail Ink

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 EMAIL: detailink2@earthlink.net



proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008

A.P.N. 404 - 26 - 051
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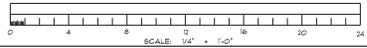
Revisions:

per architectural review 02-28-18

second floor plan

scale: 1/4" = 1'-0"
 2018 - 26
 October 24, 2018

Sheet
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620 KENNETH AVENUE / CAMPBELL, CA 95008

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 EMAIL: detailink@comcast.net



EXTERIOR LIGHT FIXTURES

EXTERIOR FINISHES:	
(A) ROOFING:	MIRAGE TILE 'EAGLE' CARISTRAND STYLE (SANTA FE BLEND (VARIABLE))
(B) GUTTERS/FASCIA:	PAINTED KELLY MOORE 'BEAR BROWN' 'KHATTI'
(C) STUCCO:	SMOOTH TEXTURE PAINTED KELLY MOORE 'NAVALO WHITE' #36
(D) WINDOW TRIM:	PAINTED KELLY MOORE 'BEAR BROWN' 'KHATTI'
(E) WINDOWS:	MILGARD 'TUSCANY BROWN'
(F) GARAGE DOOR:	PAINTED KELLY MOORE 'BEAR BROWN' 'KHATTI'
(G) ENTRY DOOR:	BRONZE BROUGH IRON
(H) STONE VENEER:	ELDORADO STONE 'SAUTOOTH' RUSTIC LEDGE
(I) CHIMNEY TRIM:	PAINTED KELLY MOORE 'NAVALO WHITE' #36
(J) CHIMNEY CAP:	BRONZE ANODIZED
(K) SILL RAILINGS:	PAINTED KELLY MOORE 'BEAR BROWN' 'KHATTI'



proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008

A.P.N. 404 - 26 - 051

ZONING: R - 1 - 10

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Revisions:

per architectural review 02-28-18

front and left side exterior elevations

scale: 1/4" = 1'-0"

2018 - 26

October 24, 2018

Sheet

A4.0



650 KENNETH AVENUE / CAMPBELL, CA 95008

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 EMAIL: detailink2resn.com



REAR ELEVATION

EXTERIOR FINISHES:

A	ROOFING:	MISSION TILE "EAGLE" CAPSTRAND STYLE SANTA FE BLEND (VARIATED)
B	GUTTERS/ FASCIA:	PAINTED KELLY MOORE "BEAR BROWN" *K/MATT
C	STUCCO:	SMOOTH TEXTURE PAINTED KELLY MOORE "NAVAJO WHITE" *36
D	WINDOW TRIM:	PAINTED KELLY MOORE "BEAR BROWN" *K/MATT
E	WINDOWS:	MILGARD "TUSCANY BROWN"
F	GARAGE DOOR:	PAINTED KELLY MOORE "BEAR BROWN" *K/MATT
G	ENTRY DOOR:	BRONZE UROUGHT IRON
H	STONE VENEER:	ELDORADO STONE "SAUTOOTH" RUSTIC LEDGE
I	CHIPNEY TRIM:	PAINTED KELLY MOORE "NAVAJO WHITE" *36
J	CHIPNEY CAP:	BRONZE ANODIZED
K	W.L. RAILINGS:	PAINTED KELLY MOORE "BEAR BROWN" *K/MATT



RIGHT SIDE ELEVATION



proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008

A.P.N. 404 - 26 - 051

ZONING: R - 1 - 10

The owner certifies that the information provided is true and correct to the best of their knowledge. These drawings shall not be used for any other purpose without the written consent of the designer. The designer shall not be responsible for any errors or omissions on these drawings.

Revisions:

	per architectural review 02-28-18

rear and right side exterior elevations

scale: 1/4" = 1'-0"

2018 - 26

October 24, 2018

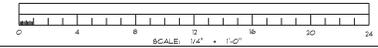
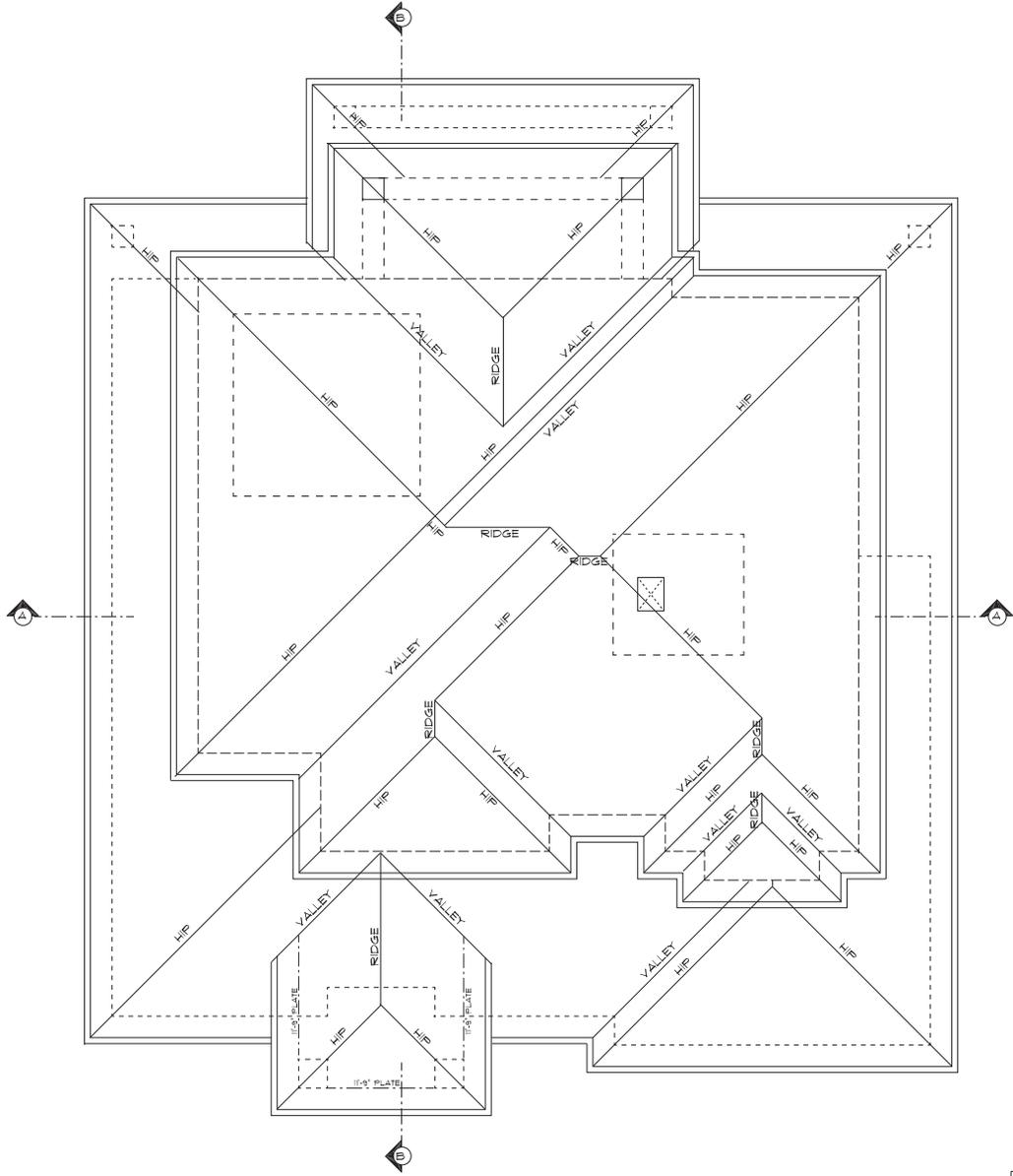
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A4.1

620 KENNETH AVENUE / CAMPBELL, CA 95008

Detail Ink

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 EMAIL: detailink@earthlink.net



proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008

A.P.N. 404 - 26 - 051

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Revisions:

	per architectural review 02-28-18

roof plan

SCALE: 1/4" = 1'-0"

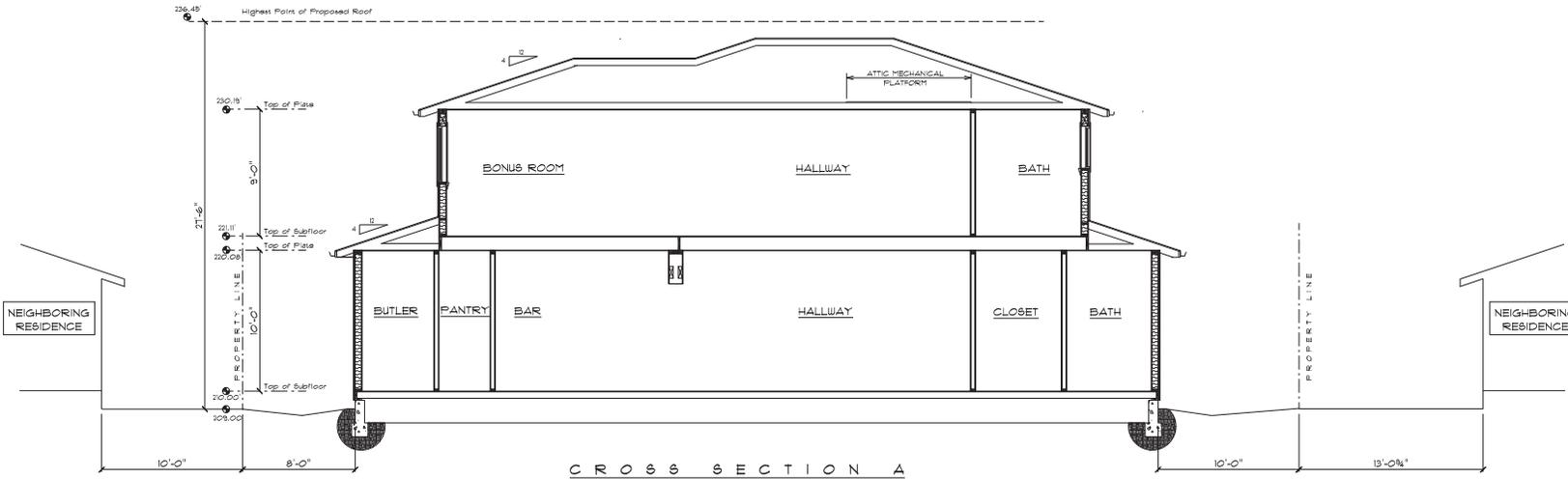
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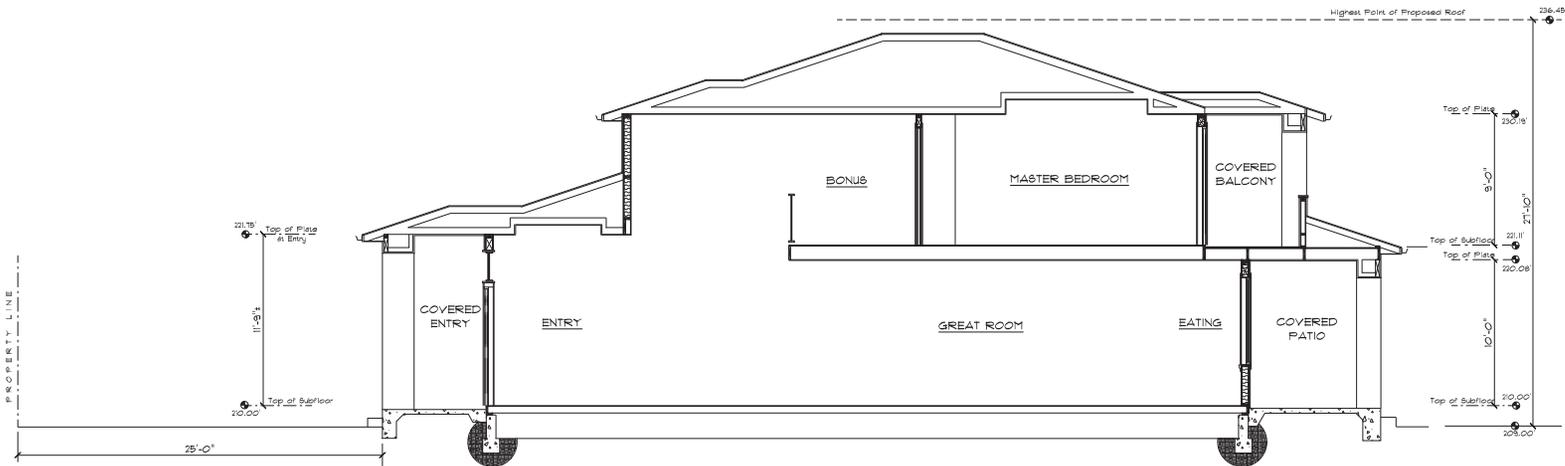
620 KENNETH AVENUE / CAMPBELL, CA 95008

Detail Ink

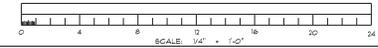
RESIDENTIAL DESIGN
 885 DRY CREEK ROAD CAMPBELL, CA 95008
 VOICE: 408.371.8866
 EMAIL: detailink2@earthlink.net



CROSS SECTION A



CROSS SECTION B



proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
 620 Kenneth Avenue
 Campbell, CA 95008

A.P.N. 404 - 26 - 051

ZONING: R - 1 - 10

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Revisions:

per architectural review 02-28-18

cross sections

scale: 1/4" = 1'-0" Sheet

2018 - 26 A6.0
 October 24, 2018

ADDRESS: 885 DRY CREEK ROAD CAMPBELL, CA 95008



606

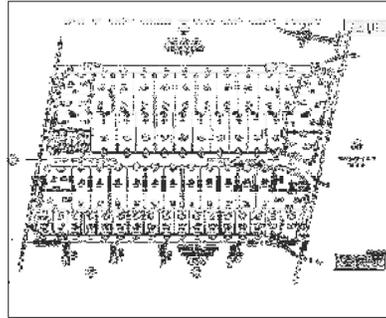


620
(SUBJECT PROPERTY)



636

EAST SIDE KENNETH AVENUE



645



631



615

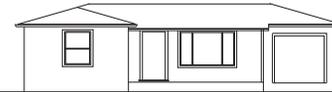
WEST SIDE KENNETH AVENUE



606



620
PROPOSED RESIDENCE



636

S C H E M A T I C S T R E E T V I E W

Detail Ink

RESIDENTIAL DESIGN
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proposed new two-story single family residence and attached two-car garage for:

KEN CHITGAR
620 Kenneth Avenue
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ZONING: R - 1 - 10

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Revisions:

photographic streetscape

scale: none

2018 - 26

January 10, 2018

Sheet

A.T.O.

620 KENNETH AVENUE - CAMPBELL / CHITGAR