



**CITY OF CAMPBELL**  
Community Development Department

March 14, 2019

**NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION**

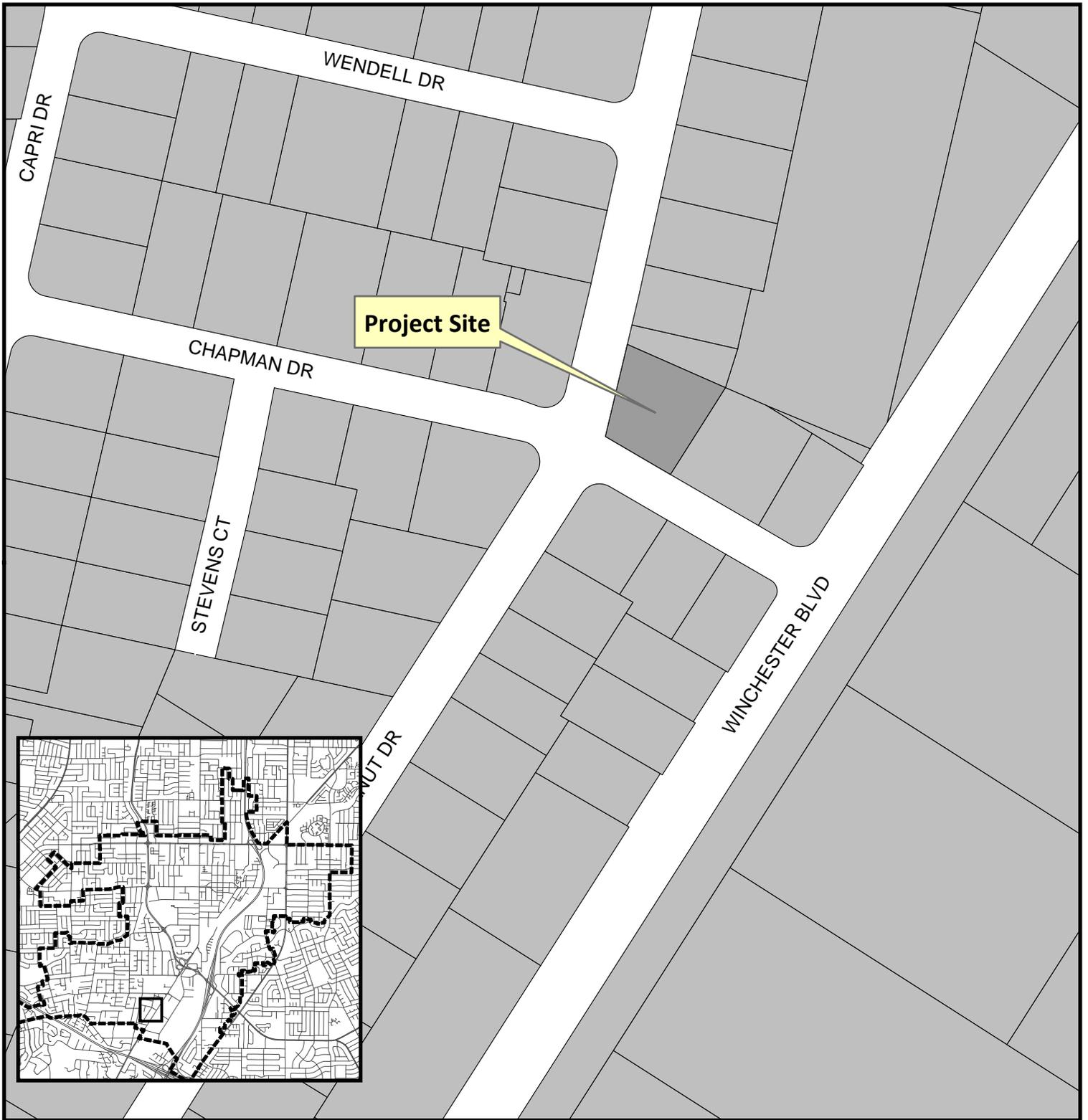
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

**File No.:** PLN2017-136  
**Applicant:** Michael Tehranian  
**Project Address:** 509 Chapman Drive  
**Property Owner:** Michael Tehranian  
**Zoning District:** R-1-10 (Single Family Residential)  
**General Plan:** Low Density Residential (San Tomas Area Neighborhood Plan)  
**Neighborhood Association(s):** San Tomas Area Community Coalition  
**Project Description:** Approx. 938 sf garage/workshop addition to existing single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 14, 2019 and ends on March 25, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 25, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Naz Pouya, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email [nazp@cityofcampbell.com](mailto:nazp@cityofcampbell.com).

# Project Location Map

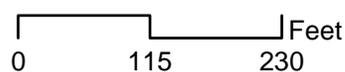


**Project Location:** 509 Chapman Dr

**Application Type:** Admin. Site and Arch. Review Permit

**Planning File No.:** PLN2017-136

**Description:** Approx. 938 square-foot garage/workshop addition to existing single-family home



Community Development Department  
Planning Division

PROJECT ADDRESS:  
 509 CHAPMAN DR., CAMPBELL, 95008  
 OWNER:  
 MRS. AND MR. TEHRANIAN  
 509 CHAPMAN DR., CAMPBELL, 95008

GENERAL INFORMATION

BUILDING TYPE:  
 SINGLE FAMILY DETACHED  
 APN # 406-21-012  
 OCCUPANCY GROUP: R-1-10  
 OCCUPANCY: R-3/U  
 CONSTRUCTION TYPE: V/B  
 NET/GROSS LOT AREA: 12,774 SQ.FT.  
 EXISTING BUILDING COVERAGE: 1652 SQ.FT. (12.9% OF NET LOT)  
 PROPOSED BUILDING COVERAGE: 2241 SQ.FT. (17.5% OF NET LOT)  
 EXISTING LIVING AREA: 1,079 SQ. FT.  
 EXISTING AUXILIARY STRUCTURE: 224 SQ.FT.  
 EXISTING GARAGE: 349 SQ.FT.  
 EXISTING COVERED OUTDOOR PATIO: 294 SQ.FT.  
 NEW GARAGE: 493 SQ.FT.  
 NEW WORKSHOP: 445 SQ.FT.  
 EXISTING AND NEW PORCH TOTAL: 94 SQ.FT. (7.4%)  
 NEW COVERED DECK: 81 SQ.FT. (6.3%)  
 PROPOSED F.A.R.: 17.5%  
 EXISTING/PROPOSED LANDSCAPE: 9968 SQ.FT./9459 SQ.FT. (78%/74%)  
 EXISTING/PROPOSED PAVING: 1457 SQ.FT./948 SQ.FT. (11.4%/7.4%)  
 NUMBER OF BEDROOMS: 2  
 AVERAGE CEILING HEIGHT: 8'  
 FIRE SPRINKLER SYSTEM: NO

PROJECT INFORMATION

THIS PROJECT INVOLVES CONSTRUCTION OF A 445 SQ.FT. WORKSHOP AND 493 SQ.FT. GARAGE; ENLARGE EXISTING 72 SQ.FT. PORCH TO 94 SQ.FT.; NEW COVERED DECK: 81 SQ.FT.

CODES AND RESTRICTIONS

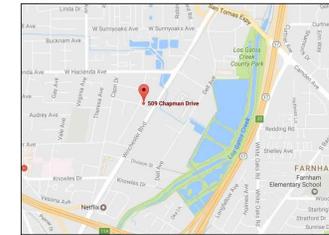
THE CONSTRUCTION SHOULD BE IN STRICT ACCORDANCE WITH THE FOLLOWING:

- 2016 CBC, 2016 CPC, 2016 CEC, 2016 CMC, 2016 CFC, 2016 CRC, 2016 NEC STANDARDS
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALGREEN
- ALL APPLICABLE CODES AND REGULATIONS OF CAMPBELL CITY AND THE STATE OF CALIFORNIA

DRAWING INDEX

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A2.2	PROPOSED SITE PLAN
A3	EXISTING & PROP. FLOOR PLANS
A4.1	EXISTING ELEVATIONS
A4.2	PROPOSED ELEVATIONS

VICINITY MAP



STANDARD NOTES:

1. ANY CONFLICTS BETWEEN ACTUAL ON SITE CONDITIONS AND THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESOLVE WITH THE OWNER/DESIGNER IMMEDIATELY, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION OR ANY PORTION OF THE WORK, EITHER AT THE START OF CONSTRUCTION OR AT ANY TIME THROUGHOUT THE COARSE OF THE CONSTRUCTION TO COMPLETION.
2. ALL CONTRACTORS AND SUBCONTRACTORS SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.
3. CARE SHOULD BE TAKEN NOT TO GENERATE PAINT FLAKES AND/OR DEBRIS. IF PAINT DEBRIS IS LEFT ON THE PROPERTY AFTER DEMOLITION, THEN PROPER DISPOSAL OF THE PAINT-IMPACTED SOIL MUST BE PERFORMED.
4. CONTRACTOR SHALL REVIEW CITY DETAILS ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. CONTACT PUBLIC WORKS FOR INSPECTION OF GRADING, STORM DRAINAGE, AND PUBLIC IMPROVEMENTS.
6. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
8. UTILIZE BEST MANAGEMENT PRACTICES (BMP's), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS THE SOIL.
9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS PREVAIL.
10. CONTRACTOR TO LAYOUT BUILDING OUTLINE TO VERIFY ALL REQUIRED SETBACKS, PRIOR TO POURING THE FOUNDATION.
11. ALL EXTERIOR AND INTERIOR MATERIALS AND COLORS TO BE APPROVED BY THE OWNER BEFORE ORDERING AND INSTALLATION.
12. ALL PLUMBING, MECHANICAL, ELECTRICAL, LIGHTING FIXTURES AND APPLIANCES TO BE APPROVED BY THE OWNER.

MRS. AND MR. TEHRANIAN RESIDENCE  
 509 CHAPMAN DR.  
 CAMPBELL, CA

NADIA PICHKO  
 586 N 1st street #226  
 San Jose, CA, 95112  
 (408) 646-2195

DATE 3/10/2016

SCALE

SHEET

A1

MRS. AND MR. TEHRANIAN RESIDENCE  
509 CHAPMAN DR. CAMPBELL, CA

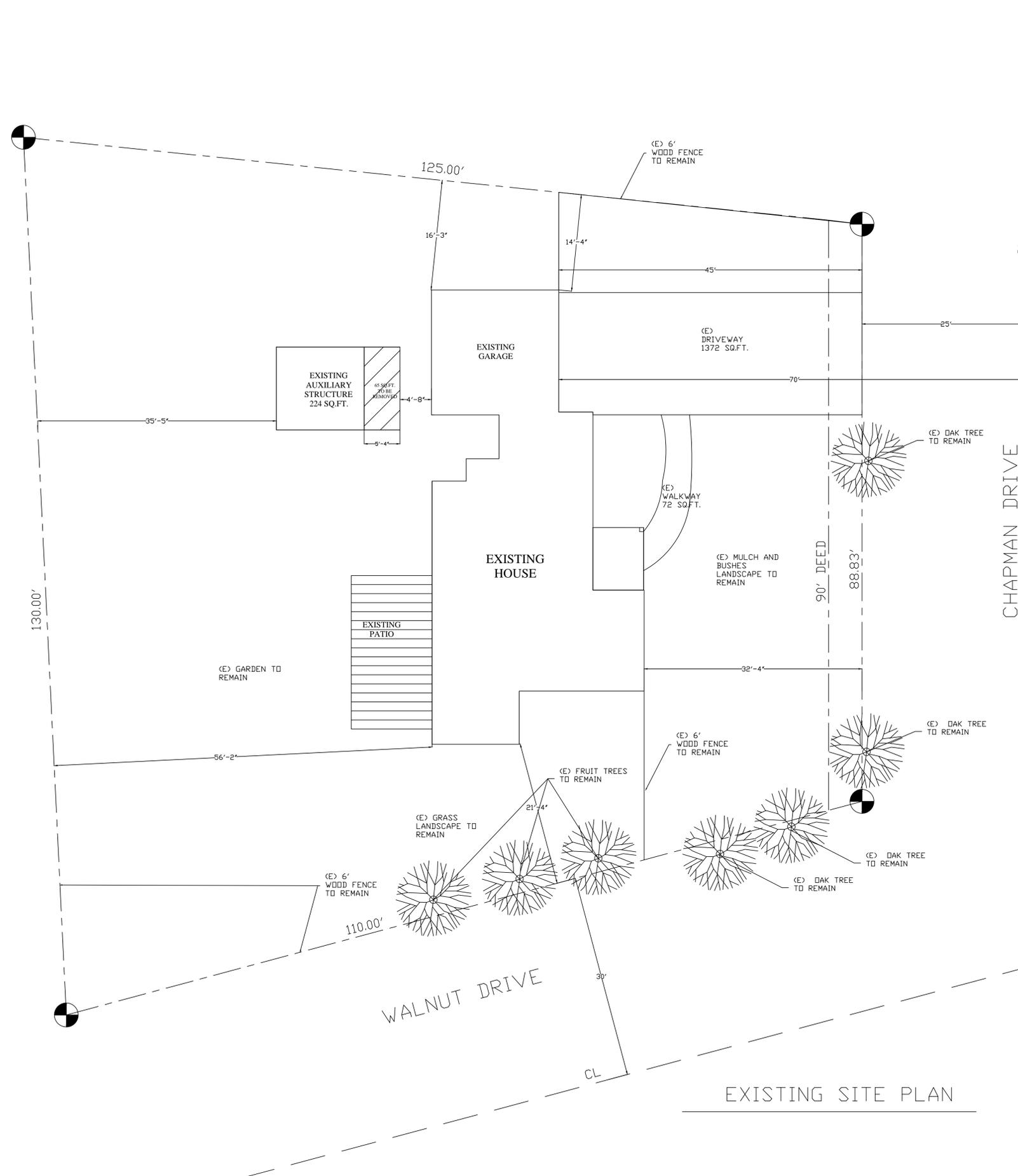
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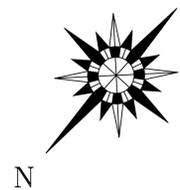
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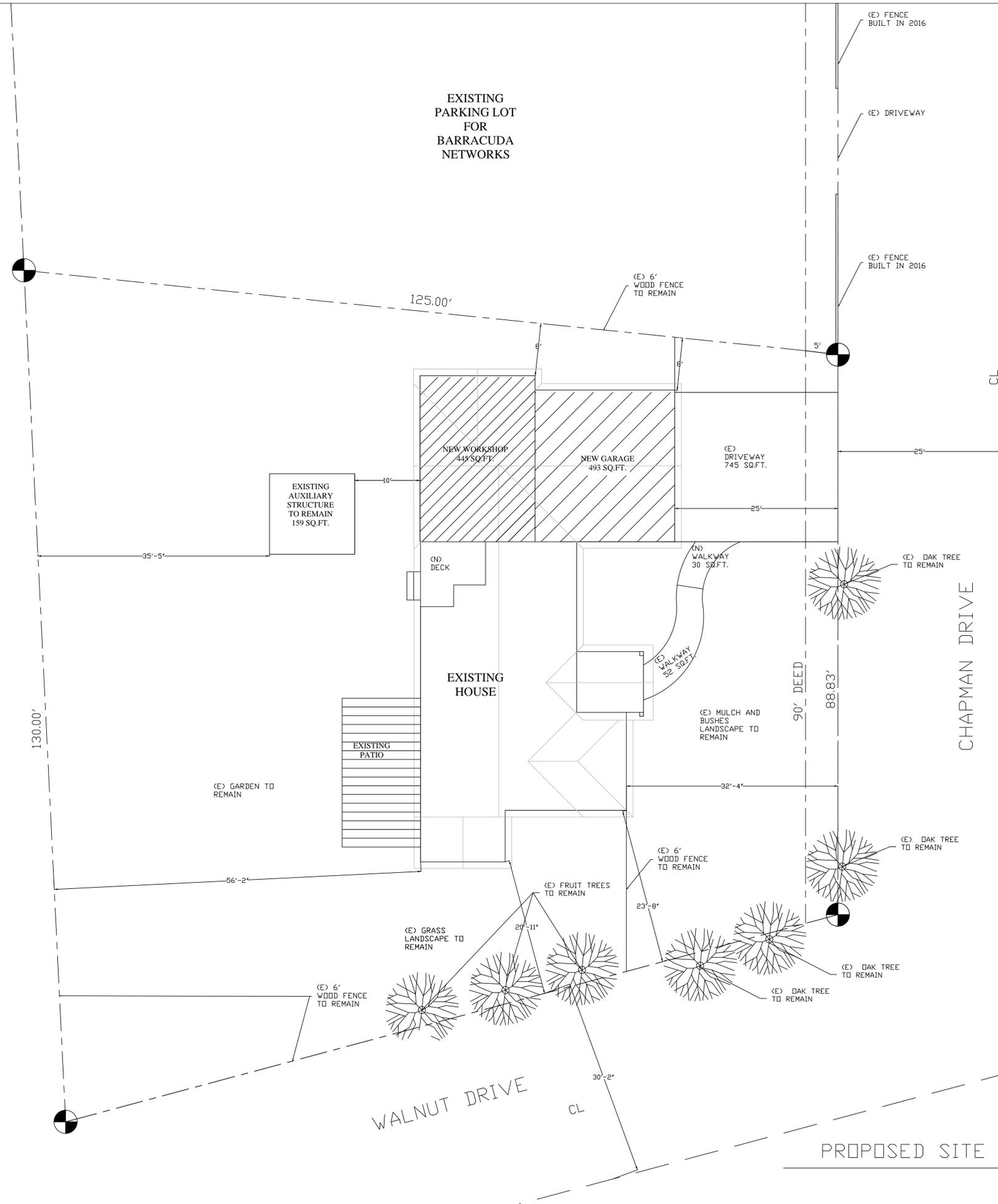
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EXISTING SITE PLAN



N



REVISIONS	
<b>MRS. AND MR. TEHRANIAN RESIDENCE</b> 509 CHAPMAN DR. CAMPBELL, CA	
NADIA PICHKO 586 N 1st street #226 San Jose, CA, 95112 (408) 646-2195	
DATE	3/10/2017
SCALE	1/8"=1'-0"
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PROPOSED SITE PLAN

NOTES:

0-CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE AND HE/SHE SHALL PROVIDE REQUIRED BRACING AND TEMPORARY SUPPORT, ETC.

1-WATER CLOSETS SHALL BE LOCATED IN A CLEAR SPACE THAT IS AT LEAST 30" WIDE (15" MIN TO CENTER) WITH 24" CLEAR IN FRONT.

2-SHOWERS AND TUB WALLS TO BE FINISHED WITH CEMENT PLASTER, TILE OR APPROVED EQUAL TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET.

3-SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

4-W.R. GYP. BD. IS NOT PERMITTED AS BACKING AT SHOWER AND TUB/SHOWER WALLS. "DURLOCK" OR OTHER APPROVED CEMENTITIOUS BACKER BOARD SHOULD BE USED INSTEAD.

5-EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE PROVIDED IN EVERY SLEEPING ROOM AND SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. MINIMUM OPENING IS 24" IN HEIGHT AND 20" IN WIDTH WITH A NET CLEAR OPENING OF 5.7 SQ.FT. DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE OPENING SHALL NOT BE OVER 44" ABOVE THE FINISHED FLOOR PER CRC R310.

6-WATER CLOSET SHOULD HAVE 1.28 GAL/FLUSH MAX. CAPACITY.

7-ADDRESS NUMBER ON THE BUILDING SHOULD BE CLEARLY VISIBLE FROM ADJACENT STREET OR ROAD CRC SECTION R319.1.

8-ALL GLASS LOCATED WITHIN 18" OF FLOOR, 24" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED PER R308.4.8.

MAX. FLOW RATES:

- WATER CLOSET - 1.28 GPM
- SHOWER HEADS - 2.0 GPM AT 80 PSI
- KITCHEN FAUCETS - 1.8GPM AT 60 PSI
- LAVATORY FAUCETS - 1.2 GPM AT 60 PSI & MIN 0.8 GPM AT 20 PSI

WALL LEGEND

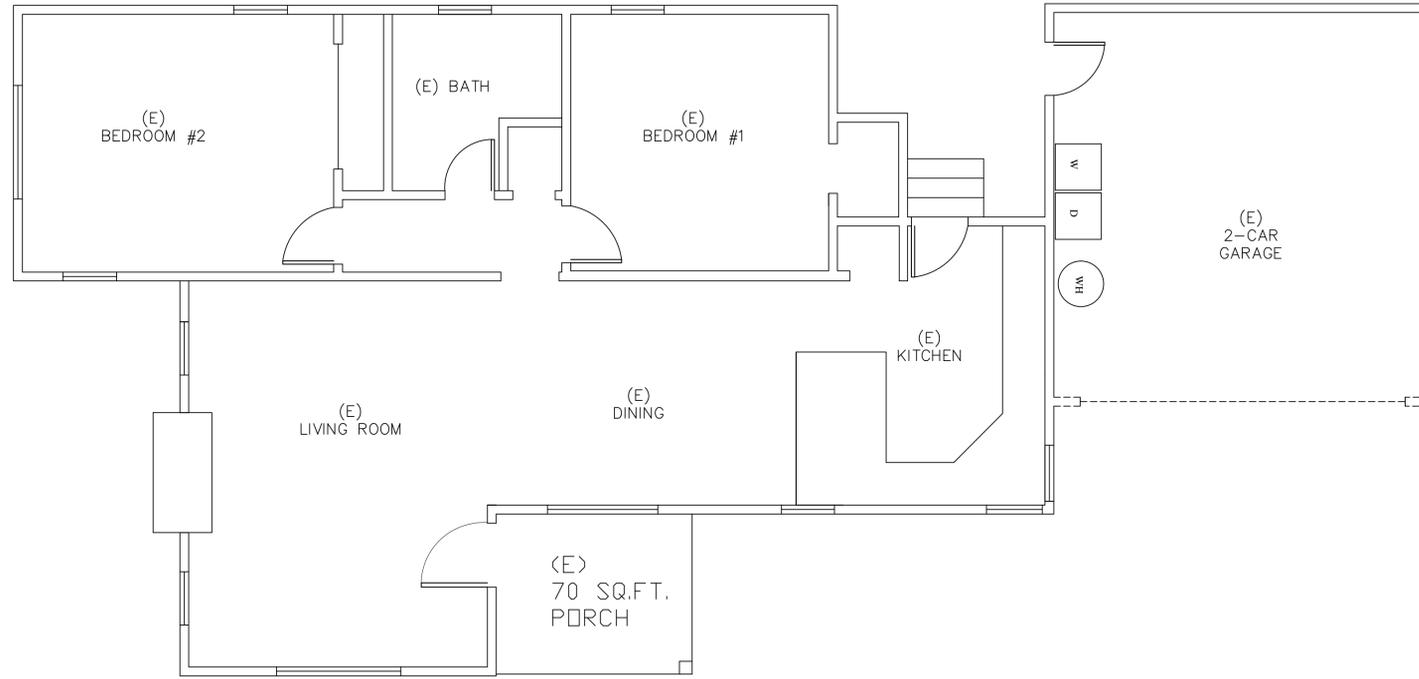
- ⊞ WALLS TO BE REMOVED
- ▭ EXISTING WALLS TO REMAIN
- ▬ NEW WALLS

WINDOW SCHEDULE

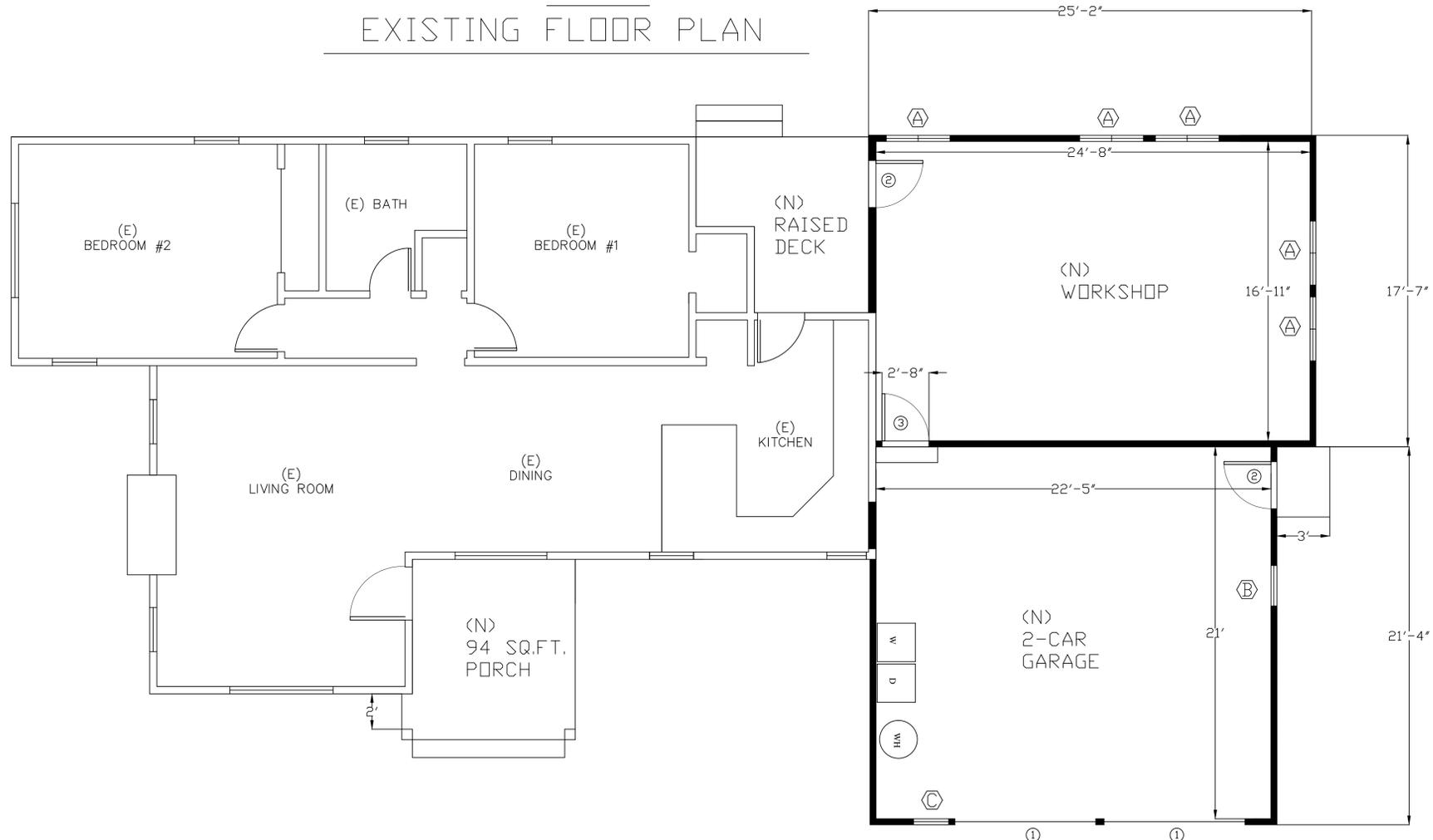
MARK	O	WIDTH	HEIGHT	TEMPERED	QUANTITY	TYPE
A		3'-7 1/2"	3'-11 1/2"		5	DH
B		2'-3 1/2"	2'-11 1/2"		1	DH
C		2'-3 1/2"	2'-11 1/2"	YES	1	DH, ARCHED

DOOR SCHEDULE

MARK	O	WIDTH	HEIGHT	TEMPERED	QUANTITY	TYPE
1		8'-0"	7'-0"	YES	2	ROLL UP DOOR
2		2'-8"	6'-8"		2	EXTERIOR
3		2'-8"	6'-8"		1	20 MIN. RATED



EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN

REVISIONS

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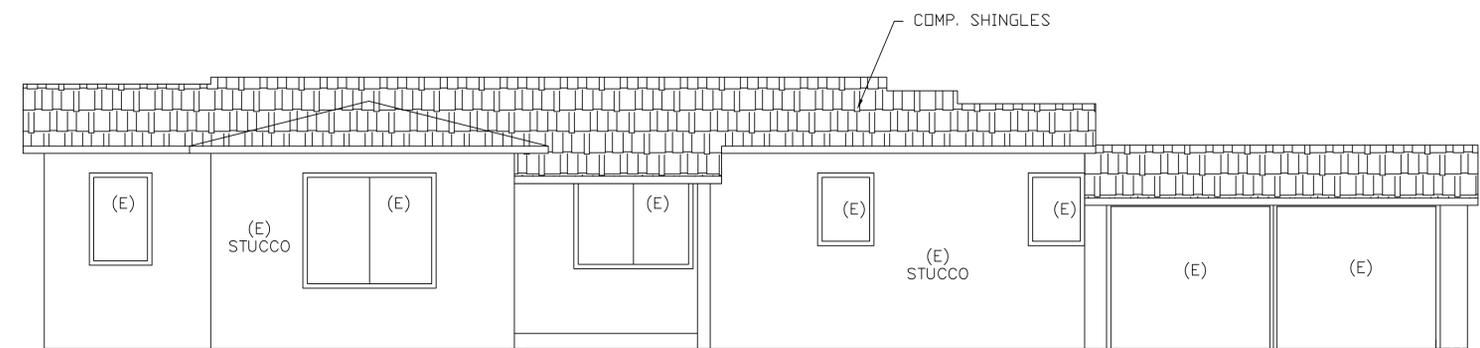
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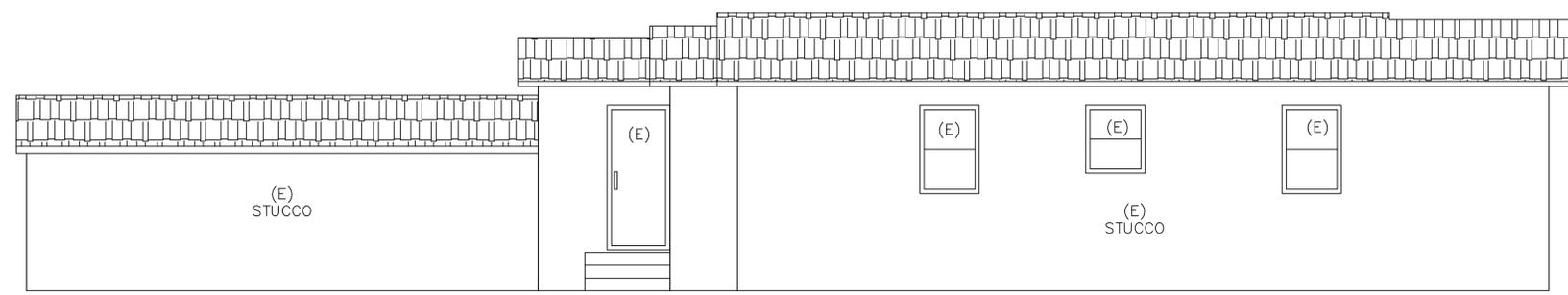
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SHEET

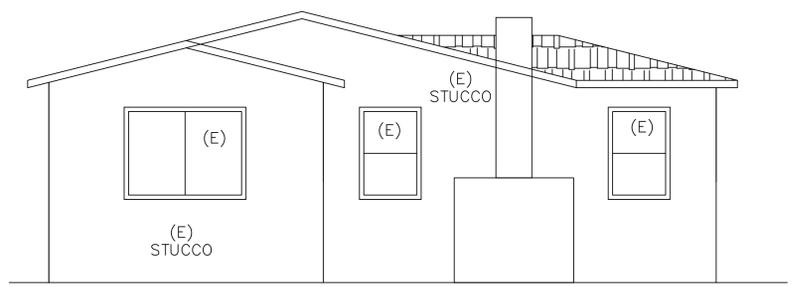
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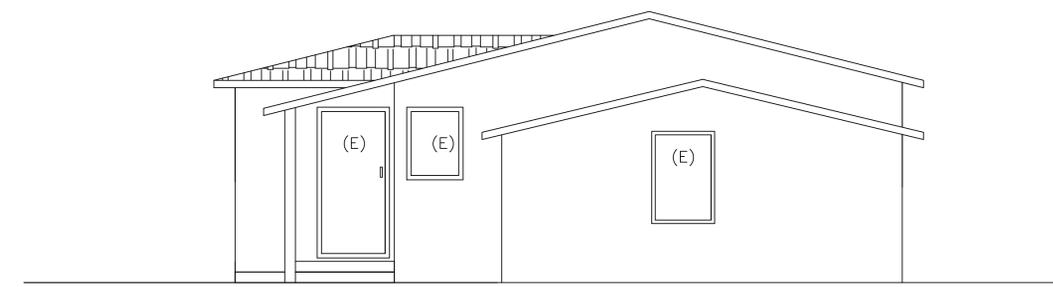
EXISTING FRONT ELEVATION (SOUTH)



EXISTING REAR ELEVATION (NORTH)



EXISTING RIGHT SIDE ELEVATION (WEST)



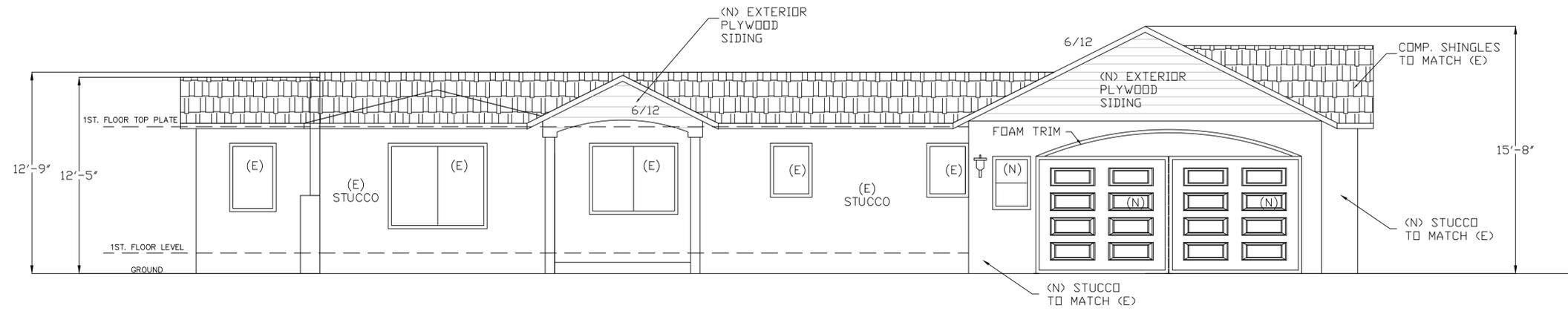
EXISTING LEFT SIDE ELEVATION (EAST)

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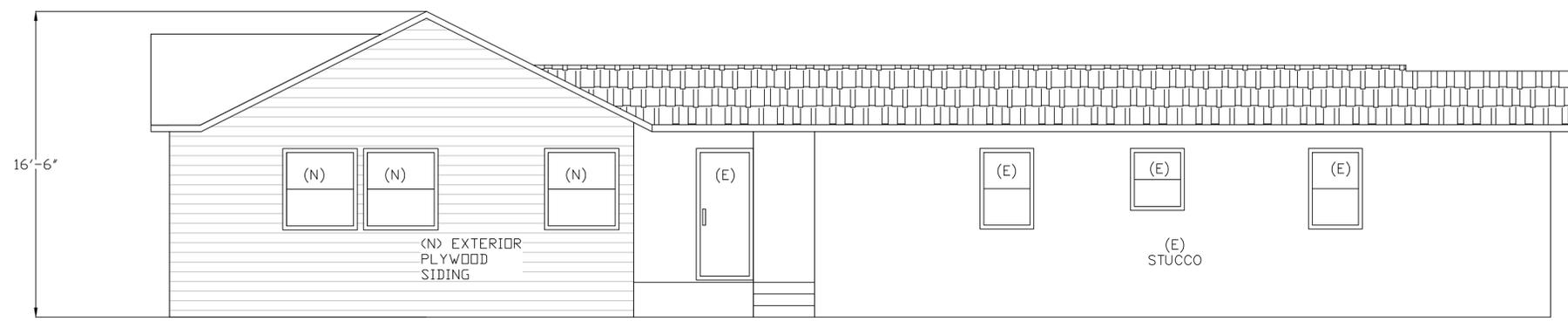
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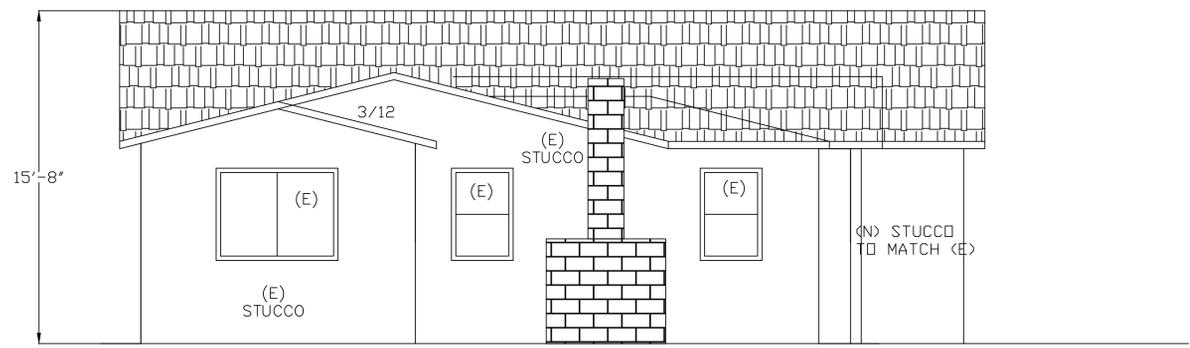
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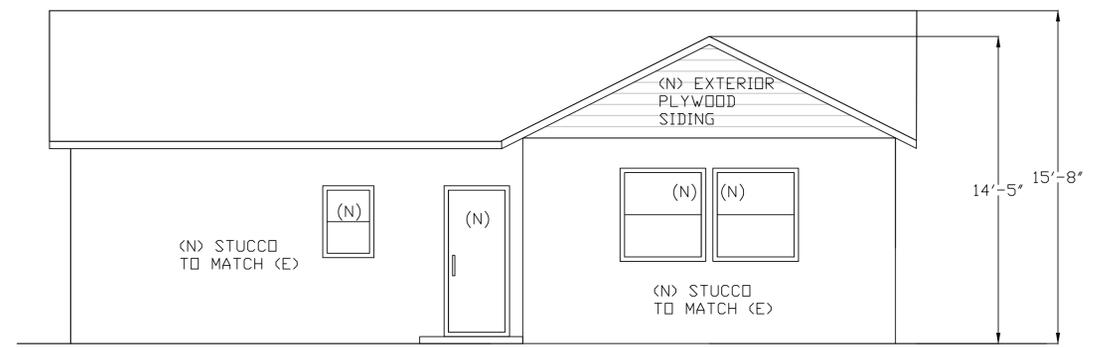
FRONT ELEVATION (SOUTH)



REAR ELEVATION (NORTH)



LEFT SIDE ELEVATION (WEST)



RIGHT SIDE ELEVATION (EAST)

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**A4.2**