



**CITY OF CAMPBELL**  
**Community Development Department**

May 3, 2019

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **May 14, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Lance Miller for a Conditional Use Permit with a Parking Modification Permit (PLN2018-285) to allow establishment of a fitness studio with late-night activities (CrossFit San Jose) for a five-year period on property located at **1610 Dell Avenue, Suite S**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

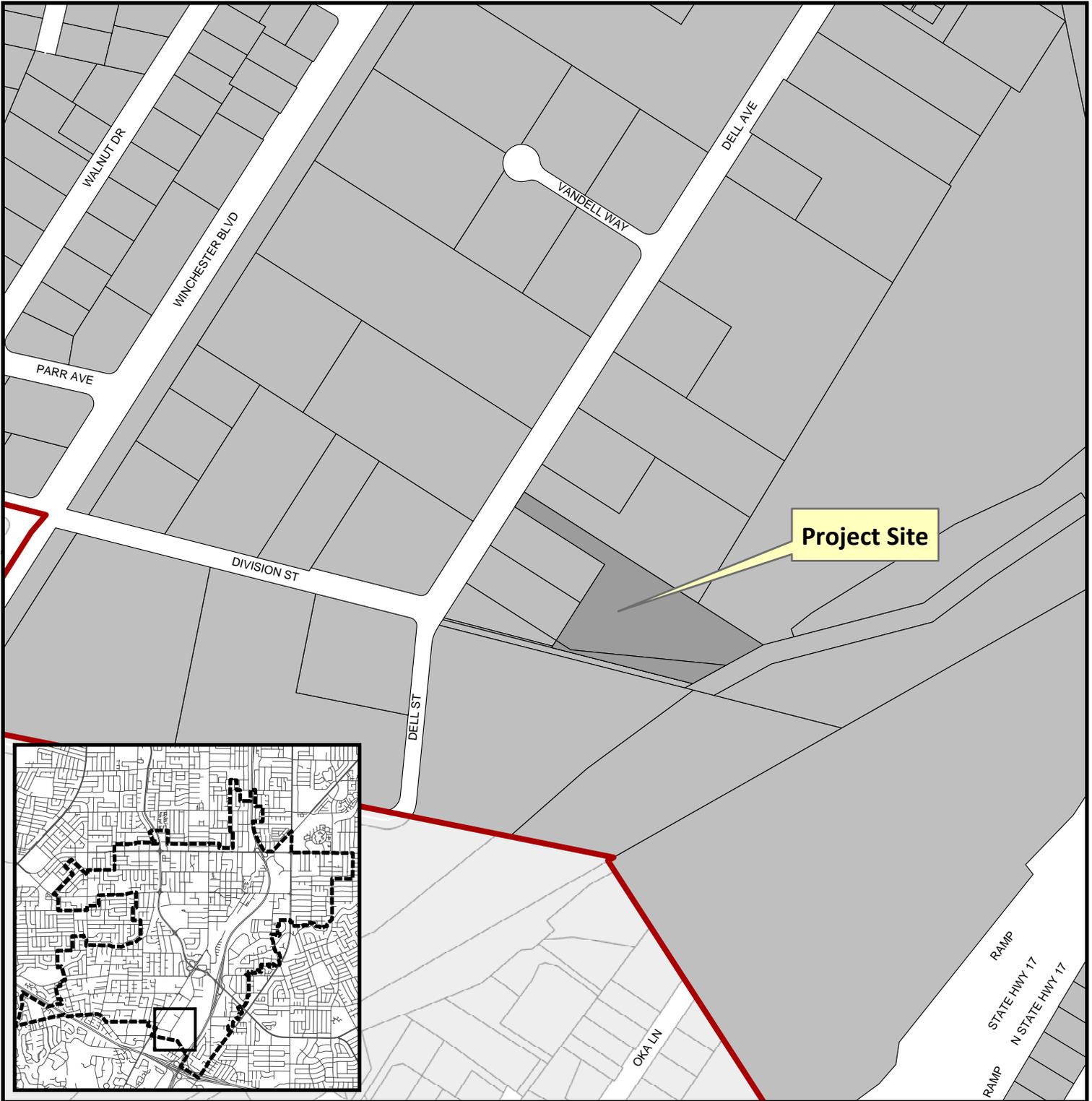
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1610 Dell Avenue, Suite S**

# Project Location Map

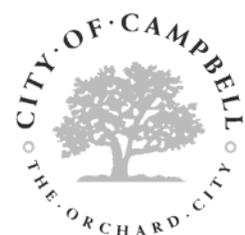
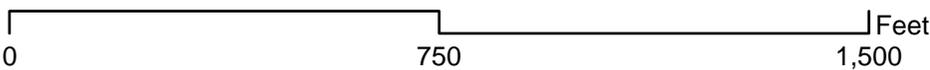


**Project Location:** 1610 Dell Ave, Ste S

**Application Type:** Conditional Use Permit and Parking Modification Permit

**Planning File No.:** PLN2018-285

**Description:** Fitness Studio with late-night activities



Community Development Department  
Planning Division

**WALKS AND SIDEWALKS**

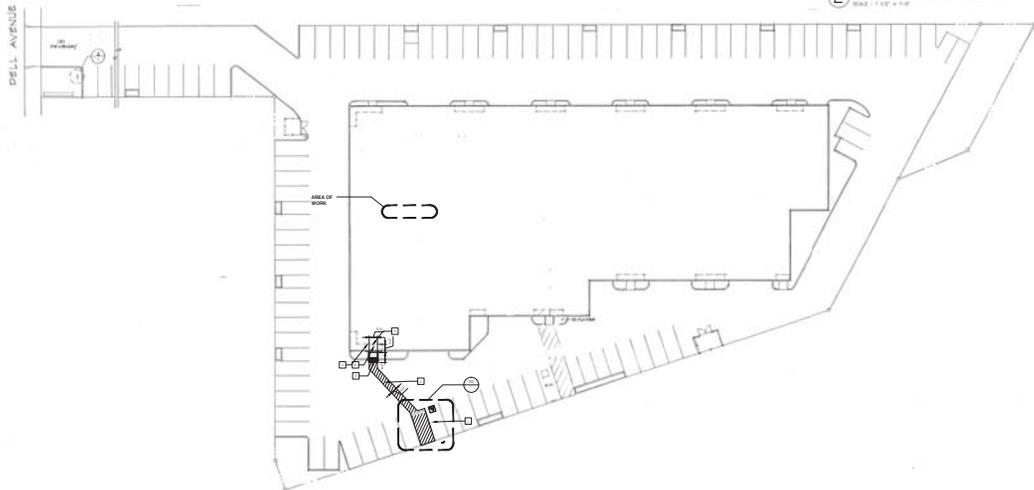
- WALKS AND SIDEWALKS SHALL BE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
- SURFACES WITH A SLOPE OF GREATER THAN 6 PERCENT GRADIENT SHALL BE AT LEAST AS SLIP RESISTANT AS THAT DESCRIBED AS A MEDIUM LITE FINISH.
- SURFACES WITH A SLOPE OF LESS THAN 5 PERCENT GRADIENT OR GREATER SHALL BE SLIP RESISTANT.
- SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
- WALKS, SIDEWALKS AND PEDESTRIANS WAY SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. FOR GRATINGS LOCATED ON THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE LIMITED TO 1/2 INCH IN THE DIRECTION OF TRAFFIC FLOW.
- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:3 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.
- WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60 INCHES BY 60 INCHES AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48 INCHES WIDE BY 44 INCHES DEEP AT DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND 4 INCHES TO THE SIZE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY 400 FEET.

**HAZARDS**

- WARNING CURBS: ABRUPT CHANGES IN LEVEL EXCEPT BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY, EXCEEDING 4 INCHES IN ANY VERTICAL DIMENSION, SUCH AS AT PLANTERS OR PLANTINGS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS, SHALL BE IDENTIFIED BY CURBS PROJECTING AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP OFF. WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED NO CURB IS REQUIRED WHEN A GUARDRAIL IS PROVIDED 4 INCHES (PLUS OR MINUS ONE INCH) ABOVE THE SURFACE OF THE WALK OR SIDEWALK; THE WALK IS PERCENT OR LESS GRADIENT OR NO LESS GRADIENT OR NO ADJACENT HAZARD EXISTS.
- DETECTABLE WARNINGS AT HAZARDOUS VEHICULAR AREAS: IF A WALK CROSSES OR ADJACENT A VEHICULAR WAY AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, BALUSAS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND THE VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36 INCHES WIDE, COMPLYING WITH 2010 CBC SECTION 1121B3.1, ITEM 8(A).
- OVERHANGING OBSTRUCTIONS: ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN WAY SHALL BE MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION.

**PARKING**

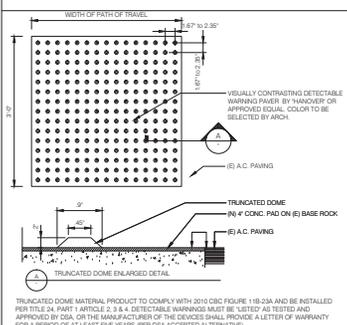
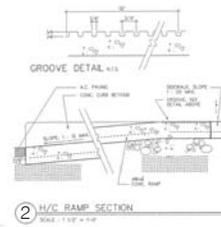
- ACCESSIBLE PARKING SPACES SHALL BE LOCATED AS NEAR AS PRACTICAL TO A PRIMARY ENTRANCE. IF ONLY ONE SPACE IS PROVIDED, IT SHALL BE 14 FEET WIDE AND STRIPED TO PROVIDE A 9 FOOT PARKING AREA, AND A 5 FOOT LOADING AND UNLOADING AREA ON THE PASSENGER SIDE. WHEN MORE THAN ONE SPACE IS PROVIDED RULES OF PROVIDING A 14 FOOT WIDE SPACE, TWO SPACES CAN BE PROVIDED WITHIN A 23 FOOT WIDE AREA (NET) TO PROVIDE A 9 FOOT PARKING AREA ON EACH SIDE OF A 5 FOOT LOADING AND UNLOADING AREA IN THE CENTER. THE MINIMUM LENGTH OF EACH PARKING SPACE SHALL BE 19 FEET. VAN PARKING SPACES SHALL BE A MIN. 9' WIDE BY MIN. 8' WIDE. LOADING/UNLOADING ASIDE. PAINT NO PARKING IN 12" HIGH WHITE LETTERS IN THE LOADING/UNLOADING ASIDE.
- IN EACH PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT ENCRoACHMENT OF CARS OVER REQUIRED WIDTH OF WALKWAYS. ALSO, THE SPACE SHALL BE SO LOCATED THAT A HANDICAPPED PERSON IS NOT COMPELLED TO WHEEL BEHIND PARKED CARS OTHER THAN THEIR OWN. PEDESTRIAN WAYS WHICH ARE ACCESSIBLE TO THE PHYSICALLY HANDICAPPED SHALL BE PROVIDED FROM EACH SUCH PARKING SPACE TO RELATED FACILITIES, INCLUDING CURB CUTS OR RAMPS AS NEEDED. RAMPS SHALL NOT ENCRoACH INTO ANY PARKING SPACES.
- SURFACE SLOPES OF PARKING SPACES FOR THE PHYSICALLY HANDICAPPED SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.
- ENTRANCES TO AND VERTICAL CLEARANCES WITHIN PARKING STRUCTURES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8 FEET 2 INCHES FOR VAN ACCESS AND 7 FEET 6 INCHES FOR STANDARD ACCESSIBLE PARKING. EACH PARKING SPACE RESERVED FOR THE HANDICAPPED SHALL BE IDENTIFIED BY A PERMANENTLY AFFIXED REFLECTORIZED SIGN CONSTRUCTED OF PORCELAIN ON STEEL, BEADED TEXT, OR EQUAL, DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES (45161.1 SQ. MM) IN AREA AND SHALL BE CENTERED ON THE SIGN TO THE PARKING SPACE FINISHED GRADE, OR CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 30 INCHES (914.4 MM) FROM THE PARKING SPACE FINISHED GRADE, GROUND, OR SIDEWALK. VAN STALLS IN ADDITION SHALL BE NOTED "VAN ACCESSIBLE" A SIGN SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO THE OFF-STREET PARKING FACILITY, NOT LESS THAN 17 INCHES (431.8 MM) BY 22 INCHES (558.8 MM) IN SIZE WITH LETTERING NOT LESS THAN ONE INCH (25.4 MM) IN HEIGHT. REFER TO THE DETAIL ON THIS SHEET.
- IN ADDITION TO THE ABOVE REQUIREMENTS, THE SURFACE OF EACH PARKING PLACE SHALL HAVE A SURFACE IDENTIFICATION DUPLICATING THE SYMBOL OF ACCESSIBILITY IN BLUE PAINT.



- NEW HANDICAP ACCESSIBLE VAN SPACE
- NEW STRIPED PATH OF TRAVEL STRIPES @ 3'-0" O.C.
- NEW BUILDING ACCESSIBILITY SIGN SEE DETAIL 8;
- ACCESSIBLE ENTRY
- NEW ACCESSIBLE CURB RAMP
- FLAT LEVEL SIDEWALK

\*NOTE: THE BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A PLAINLY LEGIBLE LOCATION VISIBLE FROM THE STREET. DRYPENANCE NUMBERS SHALL HAVE A CONTRASTING BACKGROUND A MINIMUM OF 4" HIGH WITH A STROKE WIDTH OF 1/2" PER 2010 CBC SEC. 506.

**1 SHEET NOTES**



TRUNCATED DOME MATERIAL PRODUCT TO COMPLY WITH 2010 CBC FIGURE 118-23A AND BE INSTALLED PER TABLE PART 1 (ARTICLE 2.3.8.4). DETECTABLE WARNING MUST BE TESTED AS TESTED AND APPROVED BY CSA OR THE MANUFACTURER OF THE DEVICES SHALL PROVIDE A LETTER OF WARRANTY FOR A PERIOD OF AT LEAST FIVE YEARS. (PROVIDE ALTERNATIVE)

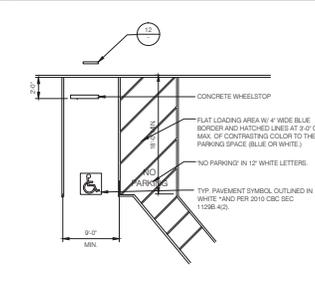


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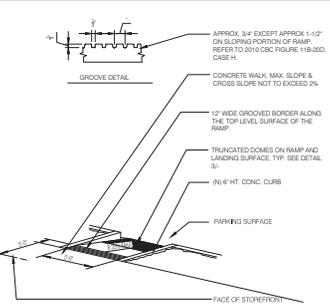
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43-12	CLIENT REVIEW	WV

**19 SITE ACCESSIBILITY NOTES**



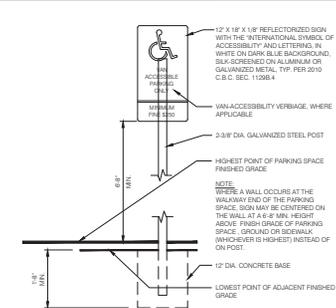
\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-208 & FIGURE 118-208, CASE C

**15 SITE PLAN**



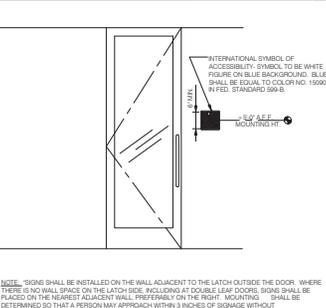
\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-180 & FIGURE 118-208, CASE C

**12 ACCESSIBLE PARKING STALL SIGN**



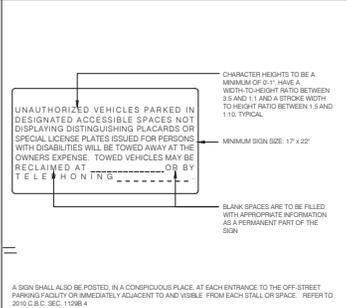
\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-180 & FIGURE 118-208, CASE C

**8 ACCESSIBLE ENTRY SIGNAGE**



\*NOTE: SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE. HOLLONS AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING SHALL BE DETERMINED SO THAT A WISDOM WAY APPROACH WITHIN 4 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

**3 DETECTABLE WARNINGS**



A SIGN SHALL ALSO BE POSTED, IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO THE OFF-STREET PARKING FACILITY OR IMMEDIATELY ADJACENT AND VISIBLE FROM EACH STALL OR SPACE. REFER TO 2010 C.B.C. SEC. 1108.4

**20 ACCESSIBLE PARKING STALLS**

\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-180 & FIGURE 118-208, CASE C

**16 CURB CUT RAMP**

\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-180 & FIGURE 118-208, CASE C

**12 ACCESSIBLE PARKING STALL SIGN**

\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-180 & FIGURE 118-208, CASE C

**8 ACCESSIBLE ENTRY SIGNAGE**

\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-180 & FIGURE 118-208, CASE C

**4 TOWING SIGN**

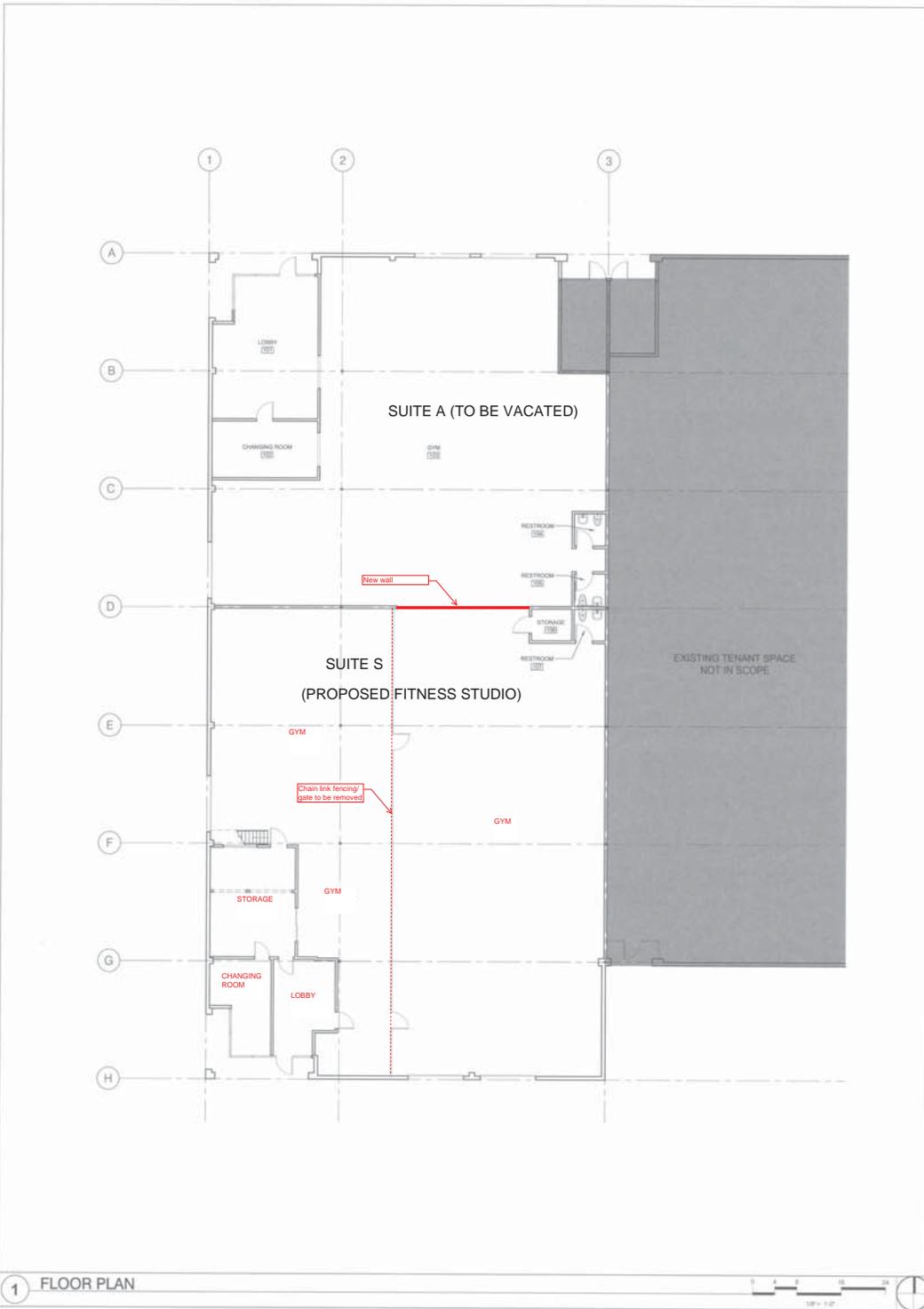
\*NOTE: REFER TO 2010 C.B.C. FIGURE 118-180 & FIGURE 118-208, CASE C



**SITE PLAN & PATH OF TRAVEL**

PROJECT NO: 3874

**A-001**



**LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING DOOR

**KEY NOTES**

- VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
- "ALWAYS" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND SUBMITTALS.
- FINISH SYSTEMS SHALL COMPLETELY TO WITHIN 1/8" OF FLOOR TO ENSURE A SMOOTH WALL BASE INSTALLATION.
- FIRE EXTINGUISHERS SHALL BE PROVIDED AND LOCATED IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS. SEE 916.101 F.C.C. FOR PLANS. EXTINGUISHER CABINET DOOR OPENING WIDTHS SHALL BE 48" MAX. ABOVE FINISHED FLOOR.
- GENERAL: AT ALL FINISH CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. MAKE JOINTS OF NEW AND EXISTING PATCHES SMOOTH, EVEN, AND PRACTICALLY INVISIBLE. WHERE NEW PAINT OR OTHER FINISHES ARE JOINED, CARE TO NEARLY BRUSH IN SURFACES, CORNERS, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEAT FINISHED APPEARANCE.
- WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CONCRETE/POUR FILLER SUBJECT TO A FASTER CODE. USE AND APPLY IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

**SPECIFIC SHEET NOTES**

**GENERAL CONSTRUCTION NOTES**

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REV.	DATE	DESCRIPTION	BY
4-3-12		CLIENT REVIEW	W
5-2-12		CITY COMMENTS	W



We warrant our drawings and specifications to be complete for the building and intended use, and we warrant that they conform to the applicable building codes and regulations. We warrant that we are not providing any design or engineering services for any other project or for any other use. We warrant that we are not providing any design or engineering services for any other project or for any other use. We warrant that we are not providing any design or engineering services for any other project or for any other use.

**FLOOR PLAN**

PROJECT NO. 3574

**A-101**