



CITY OF CAMPBELL
Community Development Department

May 17, 2019

NOTICE OF CONDITIONAL USE AUTHORIZATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for a Conditional Use Authorization pursuant to the Pruneyard Master Use Permit for the following project proposal:

File No.: PLN2019-84

Applicant: Core Power Yoga

Project Address: 1875 S. Bascom Ave., Ste. 2580

Property Owner: CFEP Pruneyard, LLC

Zoning District: C-2-O (General Commercial / Overlay District)

General Plan: General Commercial

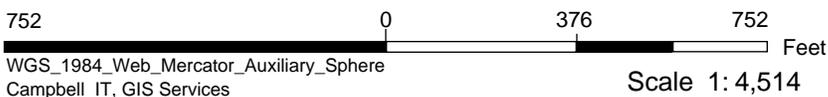
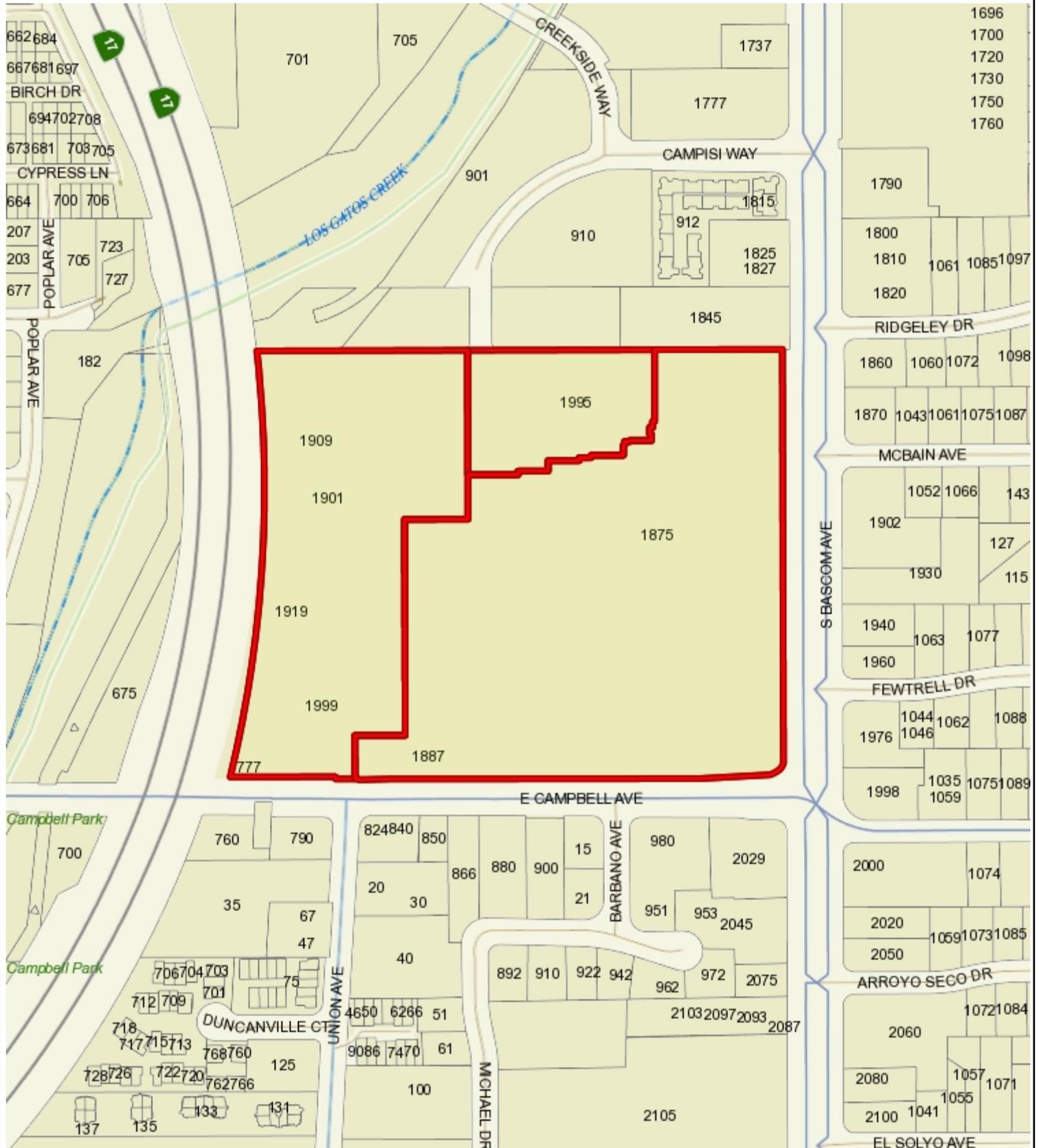
Project Description: Proposed yoga studio with early morning hours (5:00 AM, M-F) ("late-night activities") in an approximately 5,000 square-foot upstairs tenant space within the Pruneyard Shopping Center.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on May 17, 2019 and ends on May 27, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **May 27, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.



Location Map - 1875 S. Bascom Ave.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

ACCESSIBILITY NOTES

DOOR NOTES:

- EXIT DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- NO REVOLVING DOOR ALLOWED FOR ACCESSIBLE DOORS.
- THRESHOLD MAXIMUM HEIGHT SHALL BE 1/2" WITH MAXIMUM VERTICAL CHANGE OF 3/4".



- DOUBLE DOOR WIDTH SHALL BE 3'-0" NOMINAL OPENING (ACTIVE LEAF).
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION (118-404.2.10)

SEE SHEET A122 & A401 FOR FLOOR FINISH TRANSITION DETAILS

HARDWARE NOTES:

- IT SHALL BE OPERABLE FROM SINGLE EFFORT, NO GRASPING OR WRIST MOVEMENT (LEVERS, PUSH-PULLS OR PANIC DEVICES).
- IT SHALL BE MOUNTED AT 38"-44" HIGH.
- IT SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGEABLE OR EFFORT.

DOOR OPENING FORCE:

INTERIOR DOOR = 5 POUNDS
EXTERIOR DOORS = 5 POUNDS
FIRE DOORS = 15 POUNDS

SEE SHEET A801 FOR DOOR DETAILS

WALK AND SIDEWALKS

- WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4" CHANGING IN LEVEL GREATER THAN 1/2" HIGH SHALL BE RAMPED AND SHALL COMPLY WITH 118-405 OR 118-406 (118-303.4)
- WALKS AND SIDEWALKS SHALL BE 48" MINIMUM IN WIDTH, (118-403.5.1 EXCEPTION 3)
- WHEN CHANGES IN LEVEL NOT EXCEEDING 1/2" OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. (118-303.2, 118-303.3)
- ABRUPT CHANGES IN LEVEL EXCEEDING 4" INCHES IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6" INCHES IN HEIGHT ABOVE THE WALK OR SIDE WALK SURFACE. (118-305.5)
- FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH SECTION 118-302 (118-302.1)
- THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48. (118-403.3)
- ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE RESTING AREA 60 INCHES IN LENGTH AT INTERVALS OF 400 FEET MAXIMUM. THE RESTING AREA SHALL BE AT LEAST AS WIDE AS THE WALK. THE SLOPE OF THE RESTING AREA IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM. (118-403.7)
- WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAFFIC FLOW. IF GRATINGS HAVE ELONGATED OPENINGS, THEY SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. (118-302.3)

PEDESTRIAN GRADE SEPARATIONS (OVERPASSES AND UNDERPASSES)

- WHERE DIRECT ACCESS IS PROVIDED FOR PEDESTRIANS FROM A PEDESTRIAN TUNNEL OR ELEVATED WALKWAY TO A BUILDING OR FACILITY, ALL ENTRANCES TO THE BUILDING OR FACILITY FROM EACH TUNNEL OR WALKWAY SHALL COMPLY WITH SECTION 118-404. (118-206.4.3)

RAMP (EXTERIOR OR INTERIOR)

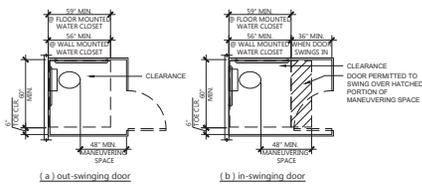
- RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 (118-405.2)
- THE CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48. (118-405.3)

ROUTE OF TRAVEL

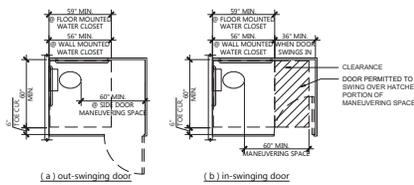
- ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS "A CONTINUOUS UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN AN ACCESSIBLE BUILDING OR FACILITY THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES" (118-106.5, CHAPTER 2 SECTION 202)
- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. (118-206.2.1)
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE. (118-206.2.2)
- WHEN A BUILDING OR PORTION OF A BUILDING IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE, AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, TO ACCESSIBLE BUILDING ENTRANCES, AND BETWEEN THE BUILDING AND THE PUBLIC WAY. (118-106.2)
- AN ACCESSIBLE ROUTE SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, RESTROOMS, CLOSETS, OR OTHER SPACES USED FOR SIMILAR PURPOSES, EXCEPT AS PERMITTED BY CHAPTER 10 (118-206.3)
- ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20, DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM LIFTS. ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF DIVISION 4. (118-402.2)
- ACCESSIBLE ROUTES SHALL BE PROVIDED WHERE REQUIRED BY SECTION 118-206 AND SHALL COMPLY WITH DIVISION 4. (118-206.3)

Issued/Revised	Date
40% CD SET	03/04/19
80% CD SET	03/20/19

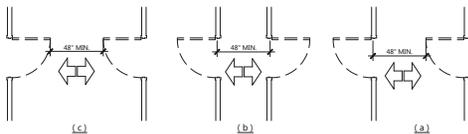
CHAPTER 118 ADA DESIGN GUIDELINES (FOR REFERENCE ONLY)



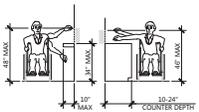
K. RESTROOM MANEUVERING SPACE END OPENING DOOR



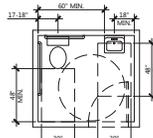
J. RESTROOM MANEUVERING SPACE SIDE OPENING DOOR



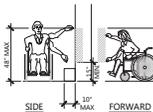
I. DOORS IN SERIES AND GATES IN SERIES



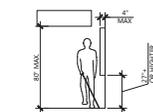
H. OBSTRUCTED HIGH SIDE REACH LIMITS



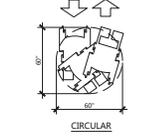
G. SINGLE OCCUPANCY RESTROOM



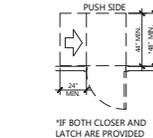
F. UNOBSTRUCTED REACH



E. LIMITS ON PROTRUDING OBJECTS



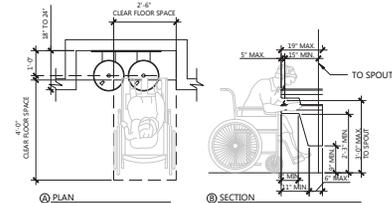
D. WHEELCHAIR TURNING SPACE



C. LATCH SIDE APPROACHES - SWING DOOR

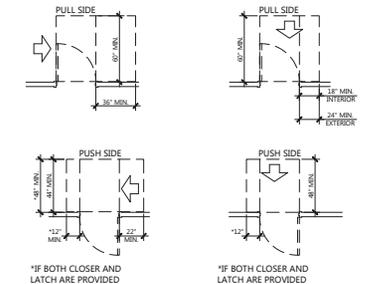
ACCESSIBILITY WATER FOUNTAIN (FOR REFERENCE ONLY)

SEE SHEET A111 FOR DRINKING FOUNTAIN LOCATION



(A) PLAN

(B) SECTION



B. HINGE SIDE APPROACHES - SWING DOOR

A. FRONT APPROACHES - SWING DOOR

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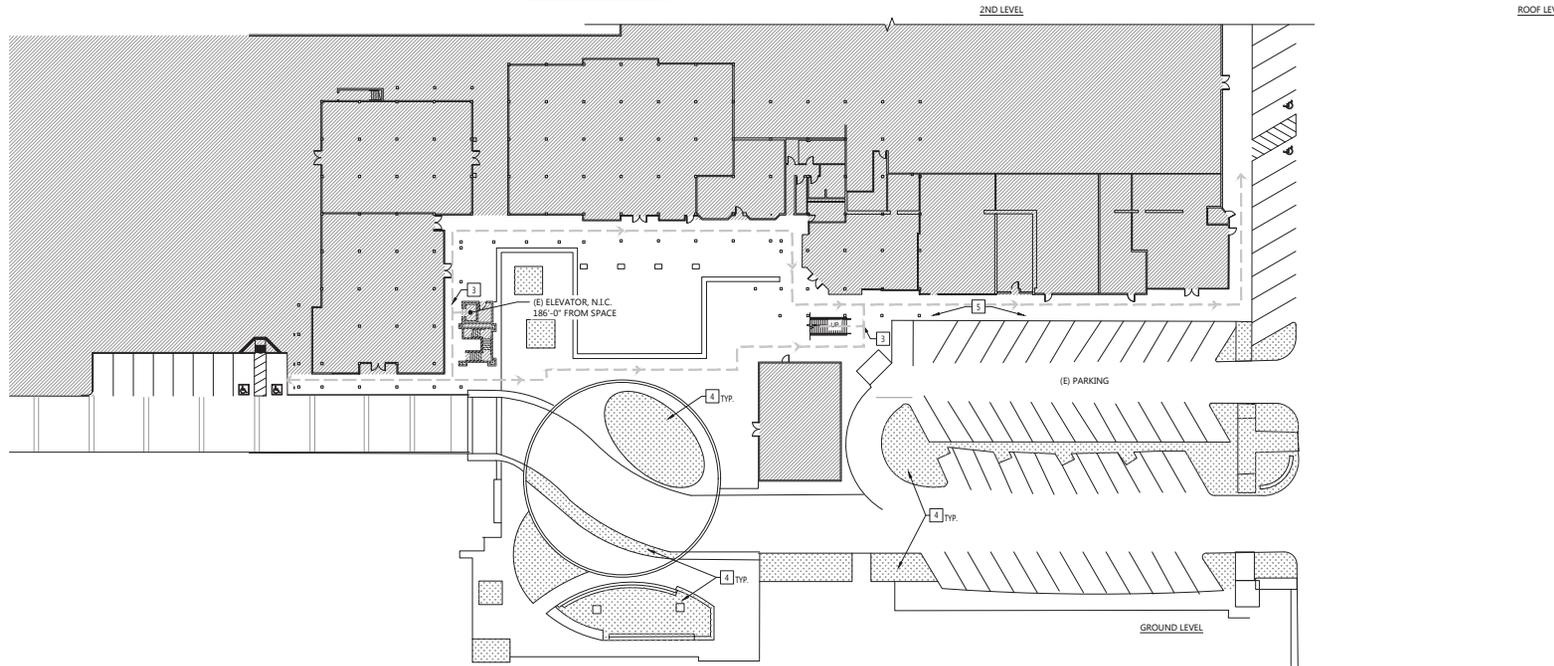
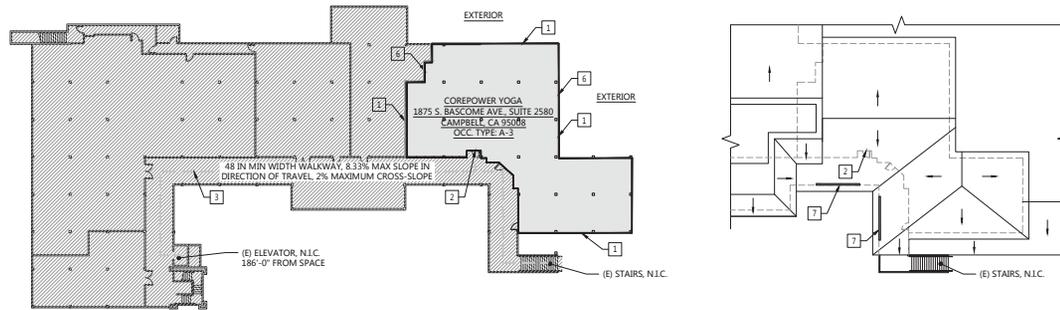
Project
COREPOWER YOGA - CAMPBELL
1875 S. BASCOM AVE. SUITE 2580
CAMPBELL, CA 95008

Project No. 53578
QA/QC BR/EF
Scale
Drawing Title
ACCESSIBILITY DETAILS

Drawing No.

A021

Issued/Revised	Date
40% CD SET	03/04/19
80% CD SET	03/20/19



1 SITE PLAN
1/8"=1'-0"

SHEET NOTES

- EXISTING SITE TO REMAIN UNLESS OTHERWISE INDICATED ON PLAN OR SCHEDULE. G.C. TO REPLACE DAMAGED FINISHES.
- ENSURE ACCESSIBLE ACCESS FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE.

BUILDING OCCUPANCY SEPARATION ANALYSIS

OCCUPANCY GROUP	REQUIRED SEPARATION FROM ASSEMBLY, A-3 (HR-HOURS)	PROVIDED
GROUND FLOOR:		
MERCANTILE, M	1 HR	(E) 1HR RATED WALL

KEYNOTES

- LEASELINE
- MAIN ENTRY DOOR
- (E) ACCESSIBLE ROUTE. SEE A051 FOR ACCESSIBLE ROUTE WITHIN TENANT SPACE.
- (E) LANDSCAPE (N.I.C.)
- (E) SIDEWALK (N.I.C.)
- (E) 1-HR FIRE RATED SEPARATION.
- ROOF SIGNAGE ABOVE.

RATED PARTITIONS KEY

- (E) 1HR RATED WALL

OCCUPANCY GROUPS PATTERN KEY

- MERCANTILE GROUP M
- ASSEMBLY GROUP A-3 (COREPOWER YOGA AREA OF WORK)

SYMBOLS

- LEASELINE
- (E) ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY



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Project
COREPOWER YOGA - CAMPBELL
1875 S. BASCOM AVE. SUITE 2580
CAMPBELL, CA 95008

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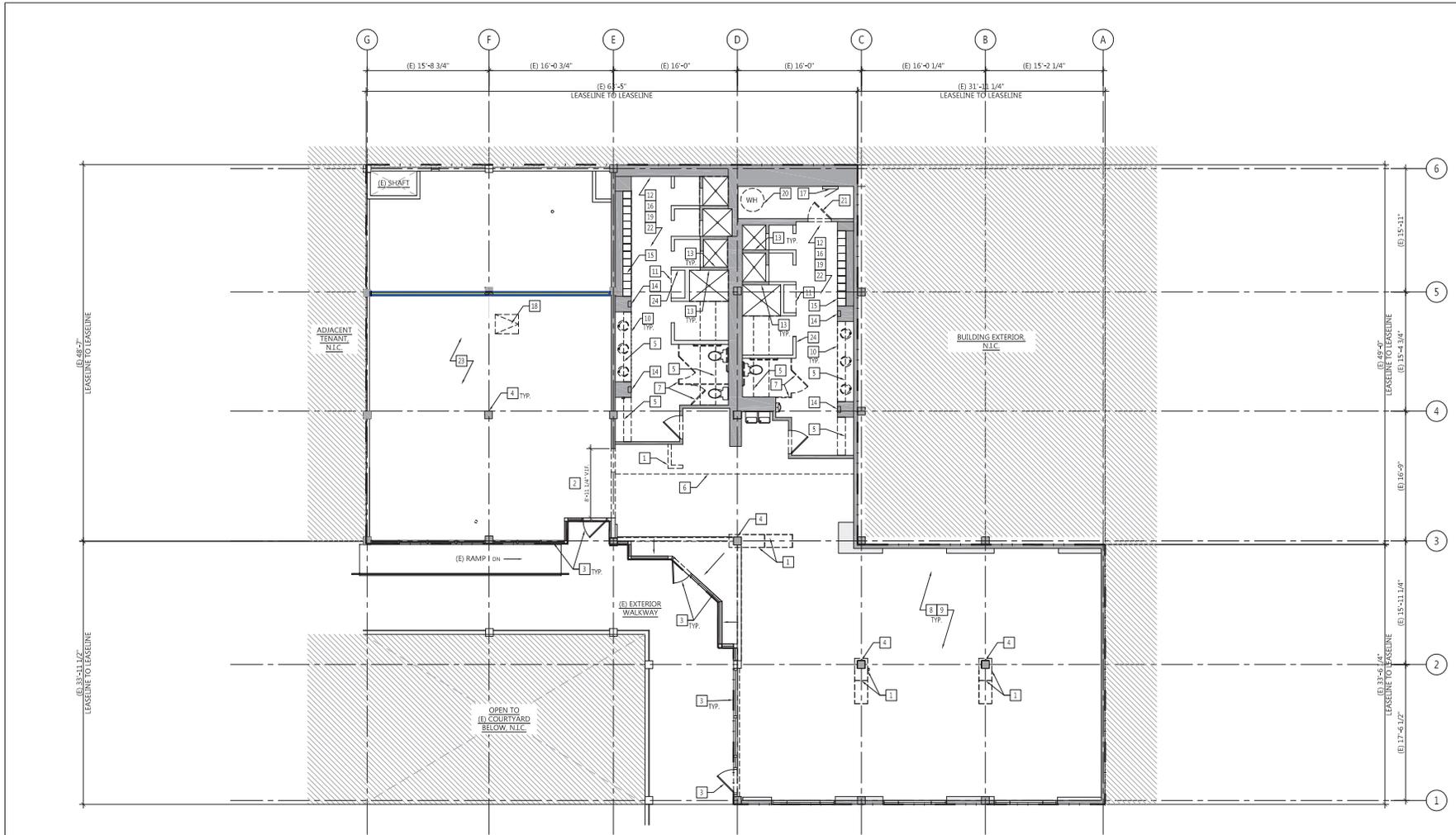
Scale

Drawing Title
SITE PLAN

Drawing No.

A031

Issued/Revised	Date
40% CD SET	03/04/19
80% CD SET	03/20/19
PERMIT SET	03/29/19



1 EXISTING CONDITION / DEMOLITION PLAN - GROUND LEVEL
3/16/20

- SHEET NOTES**
- SEE SHEET A011 AND A012 FOR RESPONSIBILITY REQUIREMENTS.
 - VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - DO NOT DEMOLISH ANY LOAD BEARING WALLS OR CONSTRUCTION THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE STRUCTURE. NOTIFY ARCHITECT OF ANY STRUCTURAL ISSUES ARISING FROM DEMOLITION.
 - VERIFY SIZE OF EXISTING STRUCTURAL COLUMNS AND NOTIFY ARCHITECT OF ANY DISCREPANCY.
 - MAINTAIN EXISTING ADJACENT FIRE RATING FOR ALL PENETRATIONS THROUGH EXISTING FIRE RATED ASSEMBLIES.
 - WHERE DEMOLITION OCCURS ADJACENT TO EXISTING TO REMAIN, PATCH AND REPAIR ADJACENT CONDITIONS TO A UNIFORM APPEARANCE.
 - REMOVE GLUE AND/OR SETTING MATERIALS FROM EXISTING FLOOR SURFACE. CREATE A SMOOTH AND LEVEL SURFACE IN ALIGNMENT WITH EXISTING ADJACENT FLOORING SUBSURFACE FOR PROPER INSTALLATION OF NEW FLOOR FINISHES UNLESS SPECIFICALLY NOTED.
 - REMOVE AND CAP ALL EXISTING FLOOR POWER AND COMMUNICATION OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS.
 - COORDINATE REMOVAL OF MECHANICAL EQUIPMENT WITH NEW WORK AND MECHANICAL DRAWINGS.
 - REMOVE ALL EXISTING ABANDONED PLUMBING FIXTURES AND CAP EXISTING PLUMBING LINES THROUGHOUT PER PLUMBING CODE REQUIREMENTS.

- REMOVE AND CAP ALL EXISTING ABANDONED ELECTRICAL CONDUIT THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS.
- COORDINATE DEMOLITION OF ALL FIRE ALARM EQUIPMENT WITH LANDLORD.
- DO NOT DISTURB AND/OR DISRUPT EXISTING BUILDING SERVICES THAT PASS THROUGH TENANT SPACE UNLESS COORDINATED WITH LANDLORD.

KEYNOTES

- (E) INTERIOR PARTITIONS AND COLUMN BUILD OUTS SHOWN AS DASHED TO BE REMOVED. U.O.N.
- PORTION OF (E) DEMISING WALL TO BE REMOVED FOR NEW DOOR AND VESTIBULE. GC TO NOTIFY ARCHITECT IMMEDIATELY IF ANY PORTION OF WALL APPEARS TO BE STRUCTURAL. PATCH AND REPAIR AS REQUIRED.
- (E) STOREFRONT DOOR AND SYSTEM TO REMAIN.
- (E) COLUMNS TO REMAIN. TYP.
- (E) LIGHT COVE TO REMAIN
- (E) SOFFIT TO REMAIN.
- (E) TOILET PARTITIONS TO BE REMOVED. PATCH WALL AS REQUIRED.
- (E) FLOORING AND WALL BASE TO BE REMOVED THROUGHOUT U.O.N. CLEAN AND PREPARE SLAB FOR NEW FLOORING.
- (E) LIGHTING FIXTURES TO BE REMOVED THROUGHOUT. SEE ELECTRICAL DRAWINGS FOR NEW LIGHTING SCOPE.
- (E) LAVATORY COUNTER, SINKS AND FAUCET FIXTURES AT RESTROOMS TO BE REPLACED. SEE PLUMBING DRAWINGS.
- (E) COUNTER TO BE REMOVED. SEE MILLWORK DRAWINGS FOR NEW SCOPE.
- (E) RESTROOM PARTITIONS, FIXTURES AND FINISHES TO REMAIN. U.O.N. PATCH AND REPAIR AS REQUIRED.
- (E) SHOWER HEADS TO BE REPLACED. SEE PLUMBING DRAWINGS.

- (E) RECESSED TOWEL DISPENSERS AND WASTE RECEPTACLES TO BE REMOVED. PATCH AND REPAIR WALL AND PREPARE SURFACE FOR (N) HAND DRYERS. GC TO ADD POWER PER ELEC. DRAWINGS
- (E) LOCKERS TO REMAIN.
- (E) SURFACE MOUNTED RESTROOM LIGHTING FIXTURES TO BE REMOVED. PATCH AND REPAIR EXISTING CEILING AS REQUIRED. SEE ELECTRICAL DRAWINGS FOR NEW LIGHTING SCOPE.
- (E) ELECTRICAL PANEL TO BE REMAIN. SEE ELECTRICAL DRAWINGS
- (E) ROOF HATCH TO BE ABANDONED AND WELDED SHUT BY LL FOR NON-USE. (E) LADDER TO BE REMOVED BY LL.
- (E) TILE FLOORING IN RESTROOM (EXCEPT SHOWER TILE) TO BE REMOVED. PREPARE SLAB FOR NEW FLOORING.
- (E) WATER HEATER TO BE REMOVED. SEE MECHANICAL DRAWINGS.
- (E) DOOR TO BE REMOVED AND REINSTALLED FOR REVERSE DOOR SWING. SEE CONSTRUCTION PLAN.
- (E) COVE LIGHTING & (E) SHOWER LIGHT FIXTURES TO BE REMOVED AND REPLACED 1:1 WITH NEW FIXTURES. SEE A051 & ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- GC TO CONFIRM EXISTING SLAB CONDITIONS ARE LEVEL AND SUITABLE FOR (N) FLOORING FINISH. GC TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
- (E) RECESSED TISSUE DISPENSER TO BE REMOVED. GC TO PATCH AND REPAIR WALL FOR NEW PAINT FINISH.

SYMBOLS

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- - - LEASELINE

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CAMPBELL, CA 95008

Project No. 53578
QA/QC BR/EF
Scale

Drawing Title
EXISTING CONDITIONS /
DEMOLITION PLAN

Drawing No.
A101

MBH ARCHITECTURE INC. 950 ALHAMBRA AVENUE, ALHAMBRA, CA 94501
 TEL: 510.865.8163 FAX: 510.865.8164
 WWW.MBHARCH.COM

Friday April 5th, 2019

Sarah MacIntyre
Ellis Partners
111 Sutter Street, Ste. 800
San Francisco, CA 94104

RE: CorePower Yoga – Campbell located in The Prune Yard, Written Statement for Condition of Use Application.

The project is a 4,887 square foot yoga studio “CorePower Yoga - Campbell” that will be housed in a suite in the existing shopping center building at The Pruneyard. The location in the shopping center will be on the second floor above the former El Burro Restaurant space. Noise generated by the studio would be minimal and not exceed the NC-40 standard.

The permit should be granted because this amenity will be a complimentary use within The Pruneyard. It will not only benefit the shopping center customers, but also the employees of the shopping center, the office buildings and patrons of the hotel.

The hours of operation would be as follows:

- Monday through Friday 5:00 AM to 10:00 PM and
- Saturday and Sunday 7:00 AM to 9:00 PM.

The approximate number of employees would be approximately 40. There will generally be 2-3 employees in the studio at a time.

Sincerely,



Trina McWhorter
Real Estate Manager
303.863.9642 x 1505