



CITY OF CAMPBELL
Community Development Department

May 31, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 11, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of FirstElement Fuel for a Modification (PLN2019-44) to a previously approved Conditional Use Permit (PLN2017-123) to allow separation of an approved project (service station/convenience store remodel and new hydrogen fueling facility) into two phases, on property located at **337 E. Hamilton Avenue**. Staff is recommending that this project be deemed Categorically Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

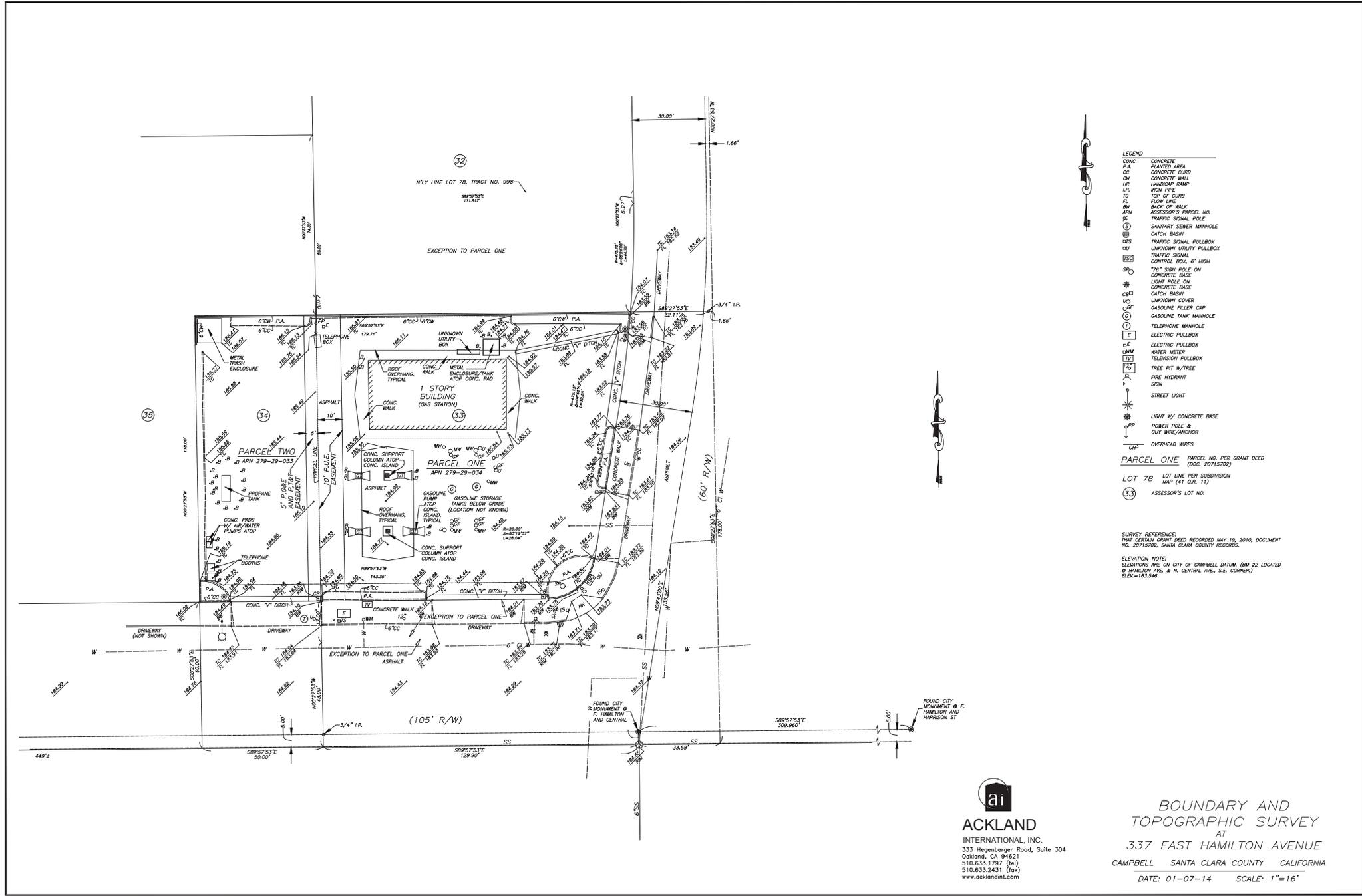
Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **337 E. Hamilton Avenue**



- LEGEND**
- CONC CONCRETE
 - PLA PLANTED AREA
 - CC CONCRETE CURB
 - CM CONCRETE WALL
 - HR HANDICAP RAMP
 - LR IRON PIPE
 - TC TOP OF CURB
 - FL FLOW LINE
 - BM BACK OF WALK
 - APN ASSESSOR'S PARCEL NO.
 - TS TRAFFIC SIGNAL POLE
 - SM SANITARY SINKER MANHOLE
 - CB CATCH BASIN
 - STTS TRAFFIC SIGNAL PULLBOX
 - SU UNKNOWN UTILITY PULLBOX
 - TS TRAFFIC SIGNAL
 - CSB CONTROL BOX, 6" HIGH
 - SPD 78" SIGN POLE ON CONCRETE BASE
 - LP LIGHT POLE ON CONCRETE BASE
 - UC UNKNOWN COVER
 - GC GASOLINE FILLER CAP
 - GM GASOLINE TANK MANHOLE
 - EM ELECTRIC PULLBOX
 - EW ELECTRIC PULLBOX
 - WM WATER METER
 - TV TELEVISION PULLBOX
 - TR TREE PIT W/TREE
 - FD FIRE HYDRANT
 - ST STREET LIGHT
 - LC LIGHT W/ CONCRETE BASE
 - PP POWER POLE & GUY WIRE/ANCHOR
 - OW OVERHEAD WIRES
- PARCEL ONE** PARCEL NO. PER GRANT DEED (DOC. 20715702)
- LOT 7B** LOT LINE PER SUBDIVISION MAP (41 O.R. 11)
- 33** ASSESSOR'S LOT NO.

SURVEY REFERENCE:
 THAT CERTAIN GRANT DEED RECORDED MAY 19, 2010, DOCUMENT NO. 20715702, SANTA CLARA COUNTY RECORDS.

ELEVATION NOTES:
 ELEVATIONS ARE ON CITY OF CAMPBELL DATUM (BM 22 LOCATED @ HAMILTON AVE. & N. CENTRAL AVE., S.E. CORNER.)
 ELEV. = 183.546

ai
ACKLAND
 INTERNATIONAL, INC.
 333 Hegenberger Road, Suite 304
 Oakland, CA 94621
 510.633.1797 (tel)
 510.633.2431 (fax)
 www.acklandint.com

BOUNDARY AND TOPOGRAPHIC SURVEY
 AT
337 EAST HAMILTON AVENUE
 CAMPBELL SANTA CLARA COUNTY CALIFORNIA
 DATE: 01-07-14 SCALE: 1"=16'

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions		
No.	Description	Date
1	PLAN CHECK RESPONSE	03/14/2018

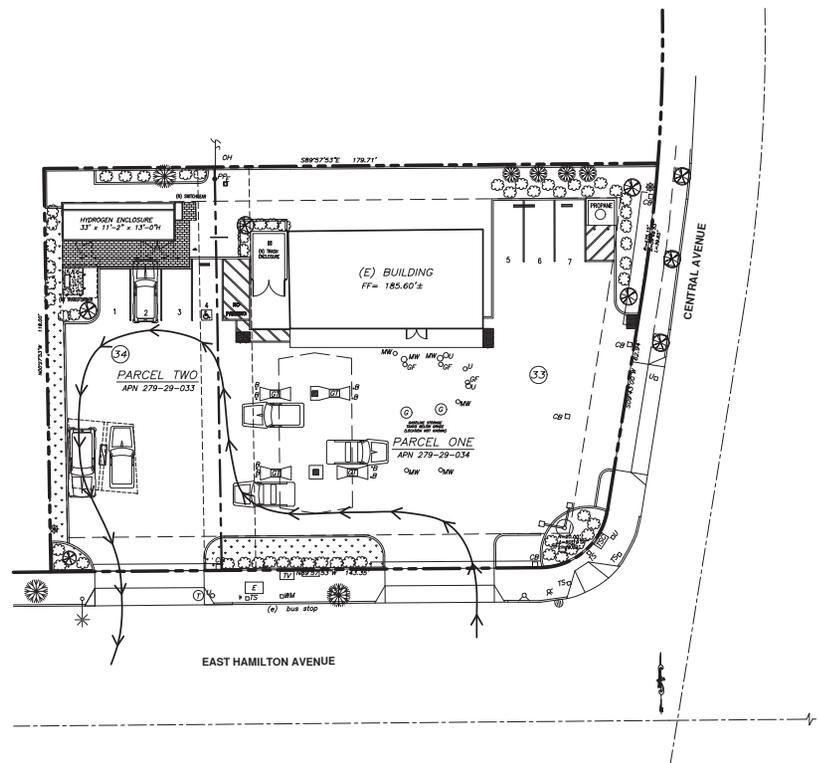
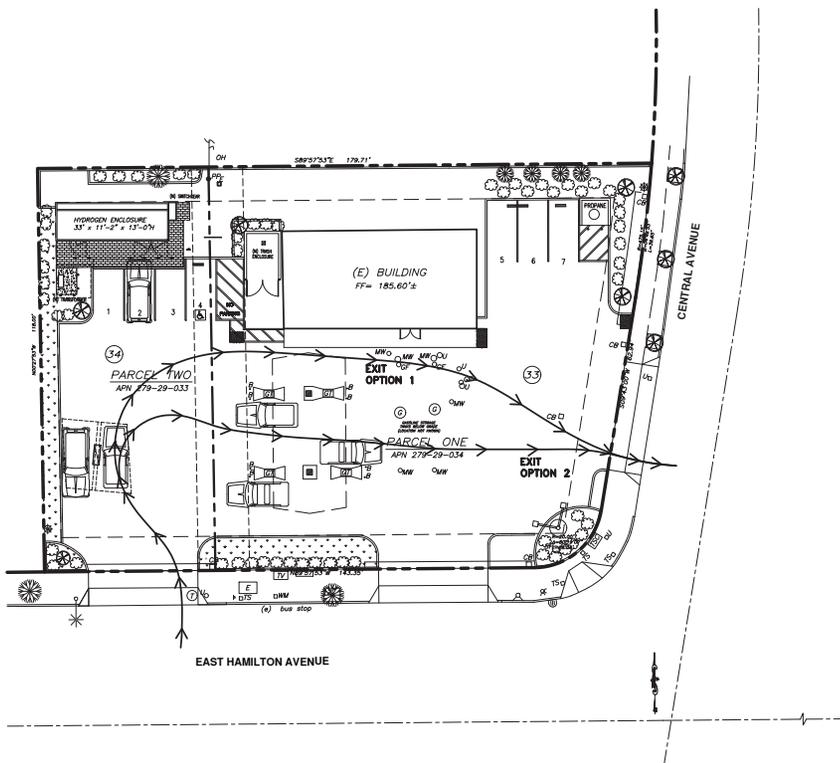
Issue Date **03/15/18**

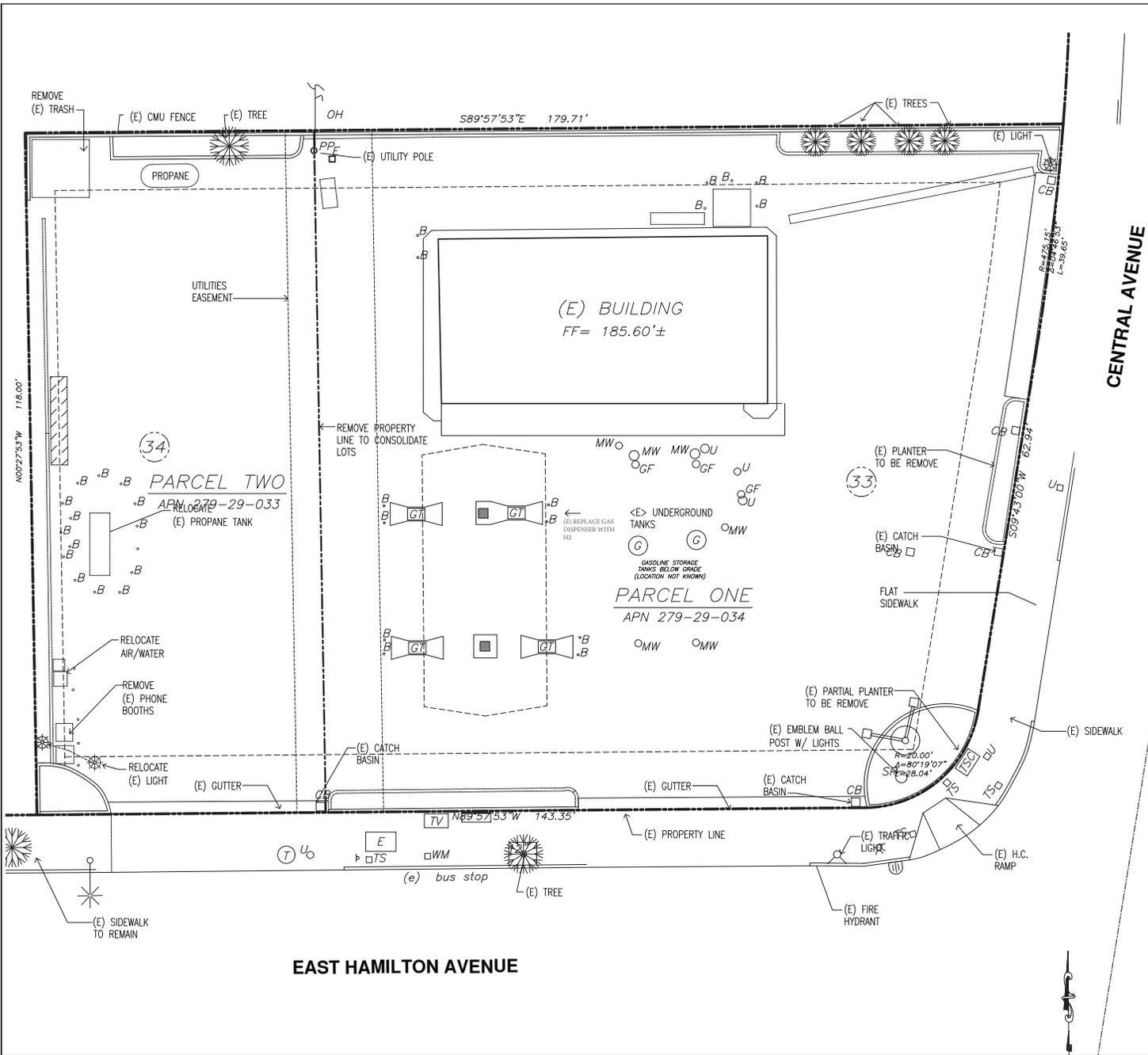
Drawn By **RW**

Project Number **1019**

Sheet Title
**SCHEMATIC
 CIRCULATION
 PLAN**

Sheet Number **C2**





CENTRAL AVENUE

EAST HAMILTON AVENUE

DJE Planning
Architecture
Interiors
17800 Cunha Lane
Salinas, CA 93907
Tel. 831-663-1418
Fax. 831-663-6395
david@djelliott.net

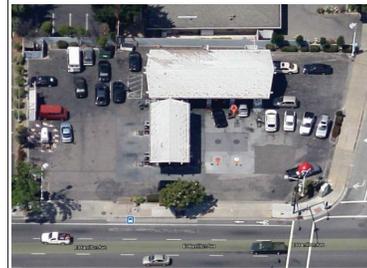
**David J. Elliott
& Associates**

**USE PERMIT
& HYDROGEN
FUELING STATION**

**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

Use of these plans and specifications is restricted to the original site for which they were prepared and publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Date
△ PLANNING RESPONSE	1/30/18
△ PLANNING RESPONSE	3/14/18
△ ACCESSIBILITY REVISION PER PLANNER	3/9/18



Issue Date **10/19/17**

Drawn By **DJE**

Project Number **1019**

Sheet Title

EXISTING SITE PLAN

EXISTING SITE PLAN 1/8" = 1'-0" 5

AERIAL SITE N.T.S. 1

Sheet Number **A1.1**

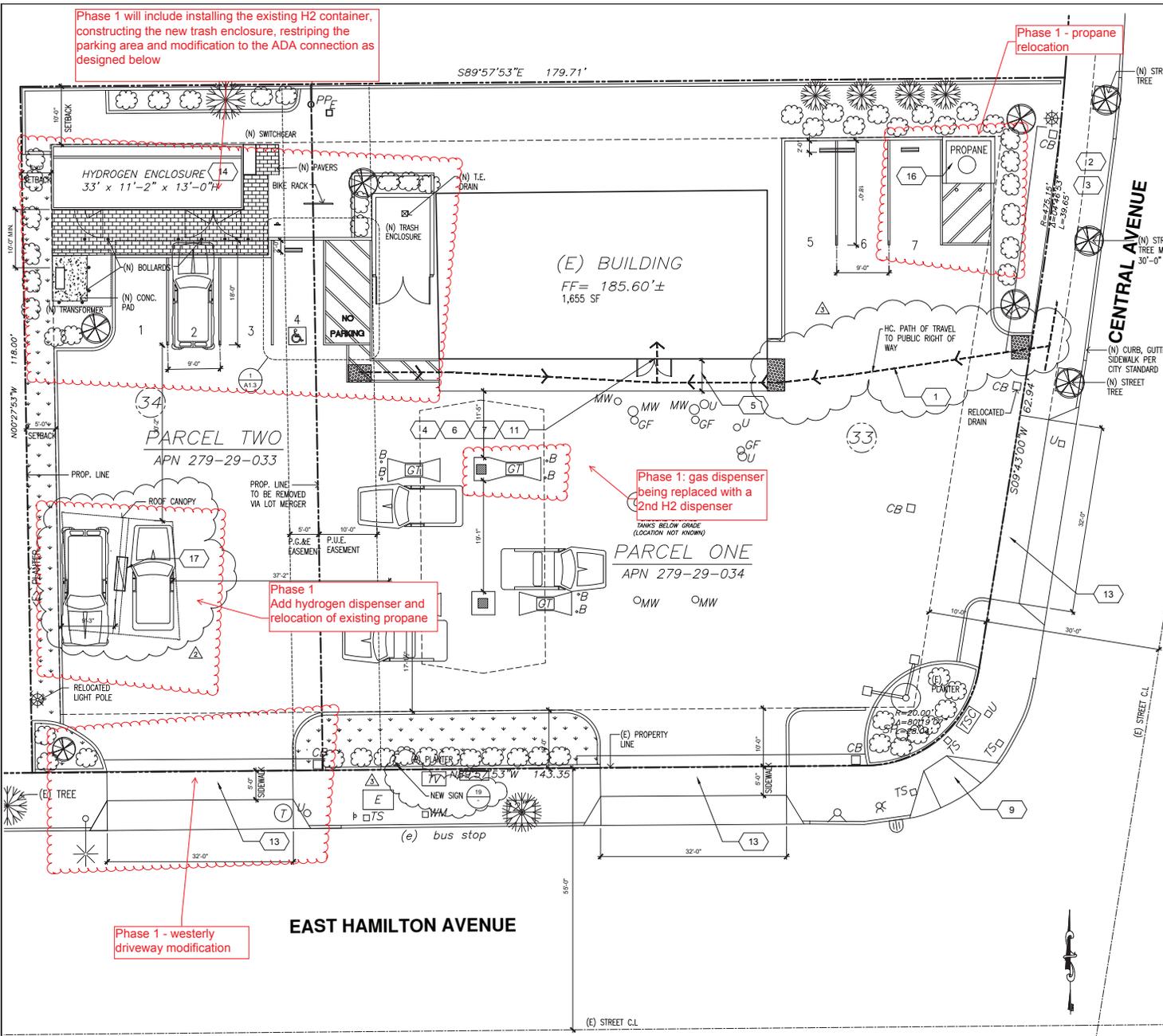
Phase 1 will include installing the existing H2 container, constructing the new trash enclosure, restriping the parking area and modification to the ADA connection as designed below

Phase 1 - propane relocation

Phase 1: gas dispenser being replaced with a 2nd H2 dispenser

Phase 1 Add hydrogen dispenser and relocation of existing propane

Phase 1 - westerly driveway modification



GENERAL NOTES

- 1 PATH OF TRAVEL
- 2 Walkways and sidewalks along accessible routes of travel (1) are continuously accessible. (2) have Maximum 1/2" changes in elevation, or provide curb ramps complying with CBC 112TB.5; (3) are min. 48" in width, and (4) where necessary to change elevation at a slope exceeding 5% (i.e., 1:20) shall have pedestrian ramps complying with CBC 1133B.5. CBC 1133B.7
- 3 The contractor using the city sidewalk to work on an adjacent private building must do so in a manner that is safe for pedestrians using the sidewalk. The work area must be coned or taped off while still leaving at least 4 feet of sidewalk for pedestrians use. If less than 4 feet of sidewalk is available for pedestrians, the contractor must obtain an encroachment permit from public works to close the sidewalk.
- 4 Exit doors are to be operable from inside without use of a key, special knowledge or effort. However, key-locking hardware may be used on the main exit when the main exit door has a durable sign on or adjacent to the door stating THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. The sign shall be in letters not less than one inch high on a contrasting background. When unlocked, the door must be free to swing operation of any latching device.
- 5 44" min. clear Path of Travel
- 6 PROVIDE A TACTILE EXIT SIGN AT GRADE LEVEL EXIT DOORS
- 7 ALL NEW AND EXISTING HAND ACTIVATED DOOR OPENINGS HARDWARE SHALL BE CENTERED AND EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE (i.e., LEVER ENTENDED BETWEEN 30" (2'-6") AND 44" (3'-8") ABOVE THE FLOOR.
- 8 LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PUSH-BARS, BY PUSH-PULL ACTUATING BARS, OR BY OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- 9 (E) ADA CURB RAMP
- 10 SPECIFY 1/2" MAXIMUM HIGH THRESHOLD
- 11 LANDING AT DOORS SHALL BE LEVEL EXCEPT THAT EXTERIOR DOOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4" PER FOOT (2% SLOPE)
- 12 MANUALLY OPERATED EDGE-OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS OR ANY OTHER TYPE OF DEVICE THAT MAY BE USED TO CLOSE OR RESTRAIN THE DOOR OTHER THAN OPERATION OTHER THAN LOCKING DEVICE SHALL NOT BE USED
- 13 NEW COMMERCIAL DRIVEWAY PER CITY STANDARDS DETAIL D-18
- 14 NEW HYDROGEN ENCLOSURE
- 15 REPAIR ANY DAMAGED/LIFTED SIDEWALK IN THE PUBLIC ROW.
- 16 NEW PROPANE TANKS ENCLOSURE
- 17 NEW CANOPY 1/ A3.4

DJE Planning Architecture Interiors
 17800 Cunha Lane Salinas, CA 93907
 Tel. 831-663-1418 Fax. 831-663-4395 david@djelliott.net

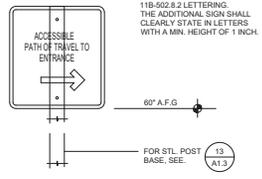
David J. Elliott & Associates

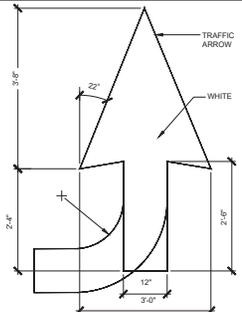
USE PERMIT & HYDROGEN FUELING STATION

HAMILTON MARKET PLACE
 337 E. Hamilton Ave. Campbell, CA 95008

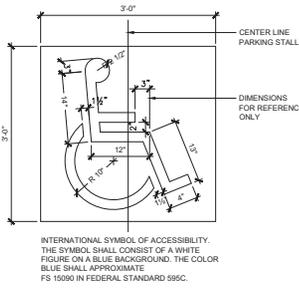
Use of these plans and specifications is restricted to the original site for which they were prepared and publication by any method is expressly limited to such use. Reuse, reproduction or publication is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Date
1	1/30/18
2	3/14/18
3	3/9/18





PAINTED TRAFFIC ARROW DETAIL 16

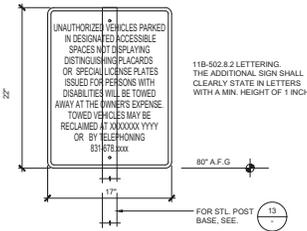


PAINTED I.S.A. SIGN DETAIL 12



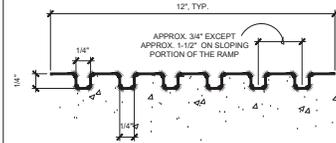
PERMANENT DECAL SIGN, MIN. 4"x3". TO BE POSTED ADJACENT TO THE LATCH SIDE OF THE SINGLE AND RIGHT SIDE OF THE DOUBLE DOOR -60" A.F.F.

I.S.A. DECAL DETAIL 8



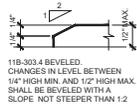
SITE SIGN DETAIL 15

Phase 1



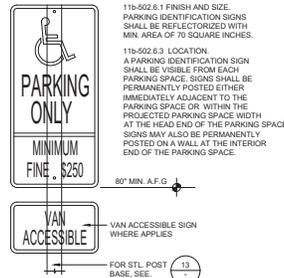
GROOVING DETAIL 3" = 1'-0" 5

GENERAL NOTES 3

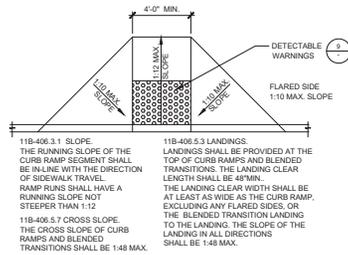


11B-303.4 BEVELED CHANGES IN LEVEL BETWEEN 1/4" HIGH MIN. AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2

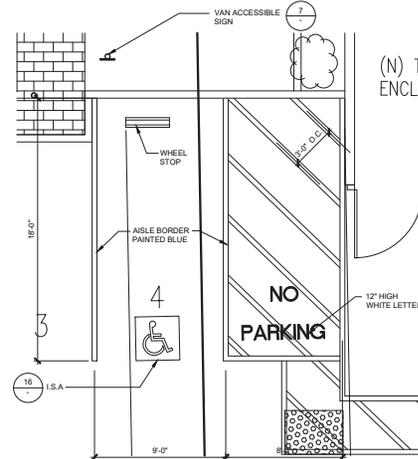
BEVELED DETAIL 18



SIGN DETAIL 14



RAMP DETAIL 1/4" = 1'-0" 10

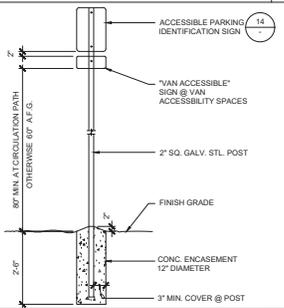


ACCESSIBLE PARKING STALL DETAIL 1/4" = 1'-0" 1

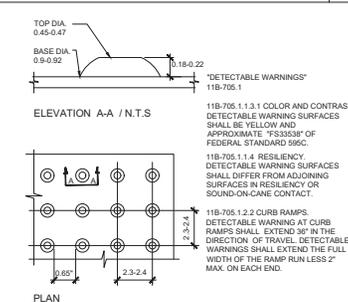
TABLE A	
TOTAL NUMBER OF PARKING SPACES OR STALLS	MINIMUM NUMBER OF DISABLED ACCESSIBLE PARKING SPACES OR STALLS
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2 PERCENT OF TOTAL
GREATER THAN 1001	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1001

OFF-STREET PARKING

PARKING CHART 17



SIGN POST DETAIL 1/2" = 1'-0" 13



TRUNCATED DOMES DETAILS 3" = 1'-0" 9

USE PERMIT & HYDROGEN FUELING STATION

HAMILTON MARKET PLACE
337 E. Hamilton Ave. Campbell, CA 95008

Use of these signs and specifications is restricted to the original site for which they were prepared and publication by any method in whole or in part is prohibited. Title to signs and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions		
No.	Description	Date
1	PLANNING RESPONSE	1/30/18
2	PLANNING RESPONSE	3/14/18
3	ACCESSIBILITY REVISION PER PLANNER	3/9/18



Issue Date **10/19/17**

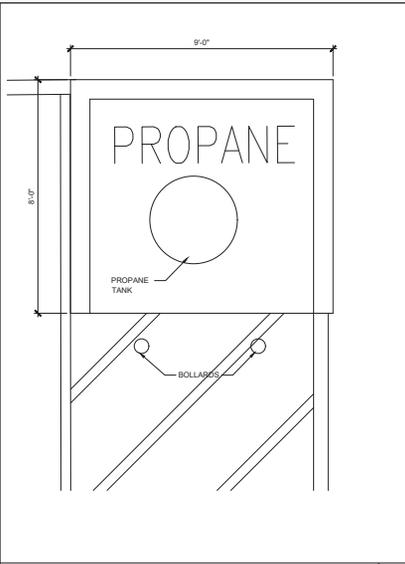
Drawn By **DJE**

Project Number **1019**

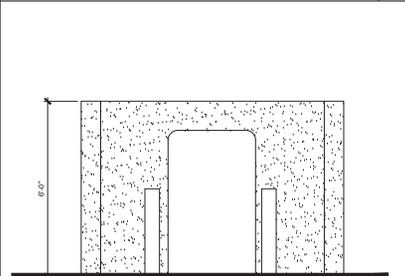
Sheet Title

NEW SITE PLAN

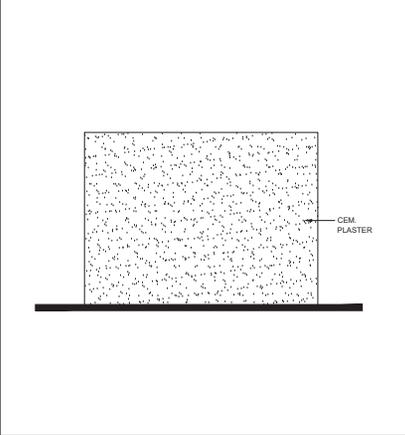
Sheet Number **A1.3**



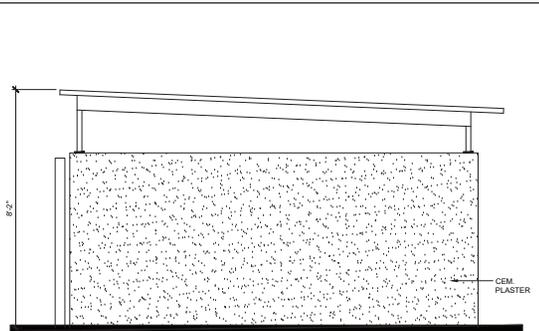
PROPANE TANK ENCLOSURE PLAN 1/2" = 1'-0" 20



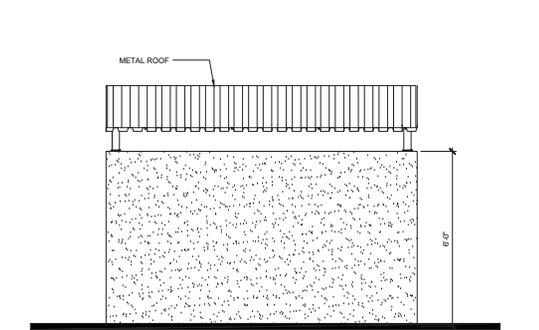
PROPANE TANK ENCLOSURE ELEV. 1/2" = 1'-0" 17



CMU WALL DETAIL 1/2" = 1'-0" 11



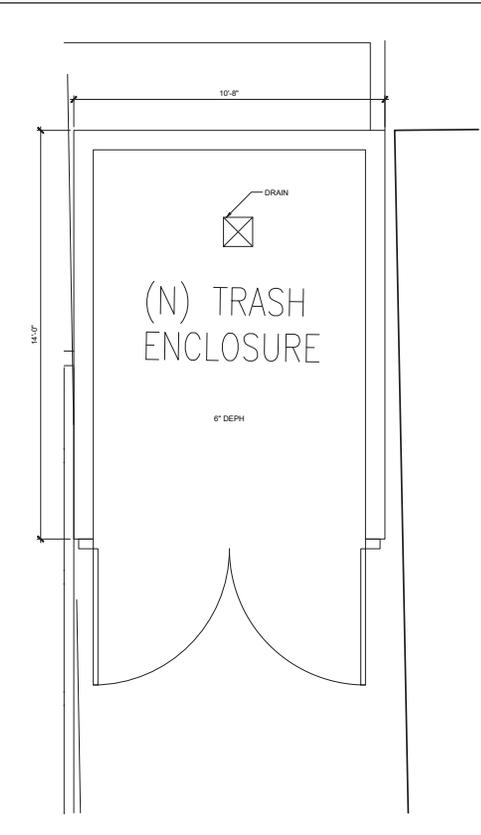
RIGHT ELEVATION



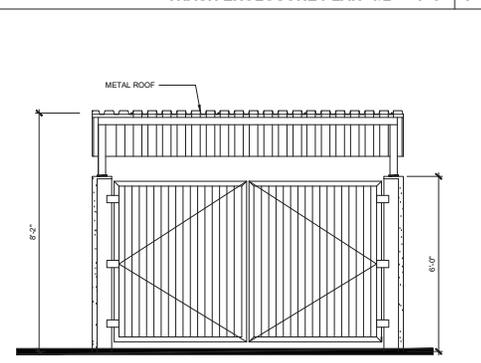
BACK ELEVATION



TRASH ENCLOSURE ELEVATION 1/2" = 1'-0" 11



TRASH ENCLOSURE PLAN 1/2" = 1'-0" 7



FRONT ELEVATION

TRASH ENCLOSURE ELEVATION 1/2" = 1'-0" 5

Phase 1

DJE Planning
Architecture
Interiors
17800 Cunha Lane
Salinas, CA 93907
Tel. 831-663-1418
Fax. 831-663-6395
david@djelliott.net

**David J. Elliott
& Associates**

USE PERMIT
& HYDROGEN
FUELING STATION

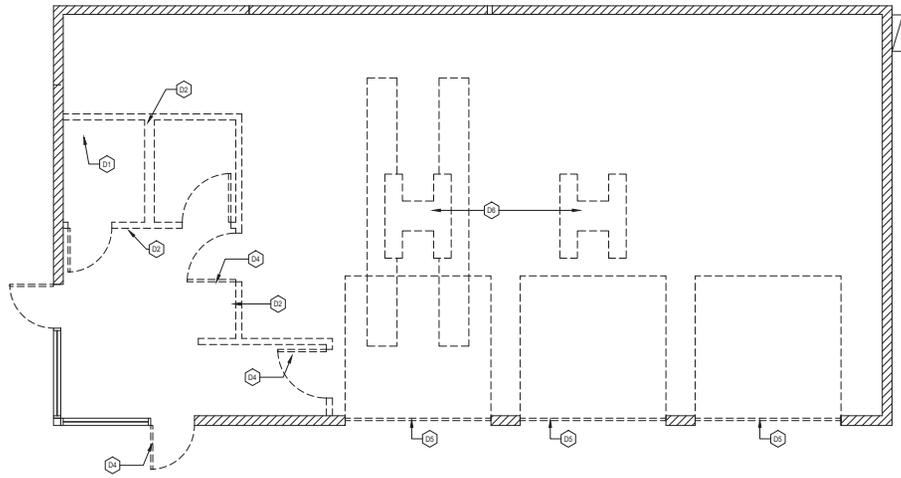
**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions		
No.	Description	Date
1	PLANNING RESPONSE	1/30/18
2	PLANNING RESPONSE	3/14/18
3	ACCESSIBILITY REVISION PER PLANNER	3/9/18

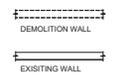


Issue Date 10/19/17
 Drawn By DJE
 Project Number 1019
 Sheet Title
**TRASH ENCLOSURE
PLAN AND DETAILS**
 Sheet Number **A1.4**



DEMOLITION NOTES:

- D1 DEMOLISH (E) PLUMBING FIXTURES
- D2 DEMOLISH EXISTING WALLS
- D3 .
- D4 DEMOLISH EXISTING DOOR AND DOOR FRAME-TYP.
- D5 DEMOLISH EXISTING ROLL UP DOOR
- D6 DEMOLISH EXISTING GARAGE EQUIPMENT



DJE Planning
Architecture
Interiors
17800 Cunha Lane
Salinas, CA 93907
Tel. 831/663-1418
Fax. 831/663-6395
david@djelliott.net

**David J. Elliott
& Associates**

**USE PERMIT
& HYDROGEN
FUELING STATION**

**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

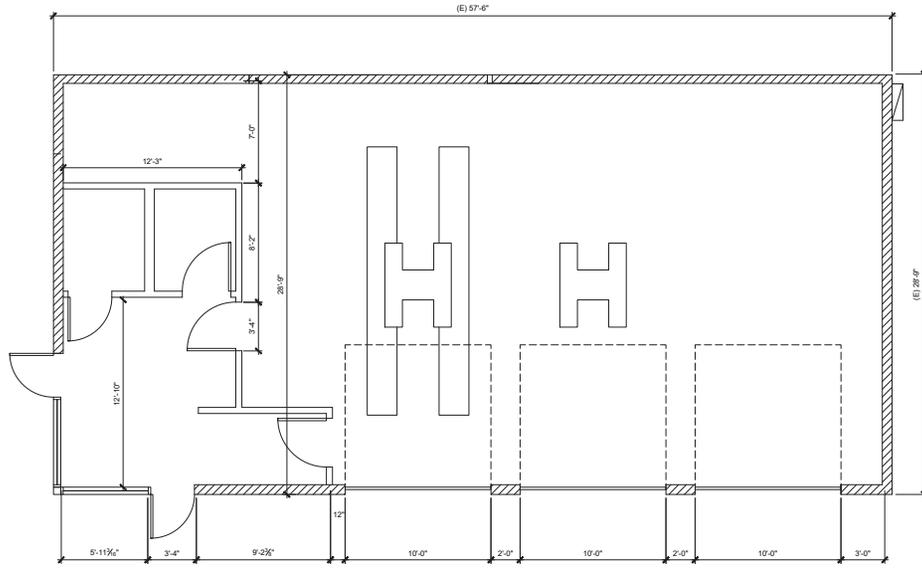
Phase 2

DEMOLITION PLAN 1/4" = 1'-0" 7

Wall Legend:

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions		
No.	Description	Date
1	PLANNING RESPONSE	1/30/18
2	PLANNING RESPONSE	3/14/18
3	ACCESSIBILITY REVISION PER PLANNER	3/9/18



EXISTING FLOOR PLAN 1/4" = 1'-0" 5



Issue Date **10/19/17**
 Drawn By **DJE**
 Project Number **1019**
 Sheet Title
**(E) FLOOR PLAN &
DEMOLITION FLR. PLAN**

Sheet Number **A2.0**

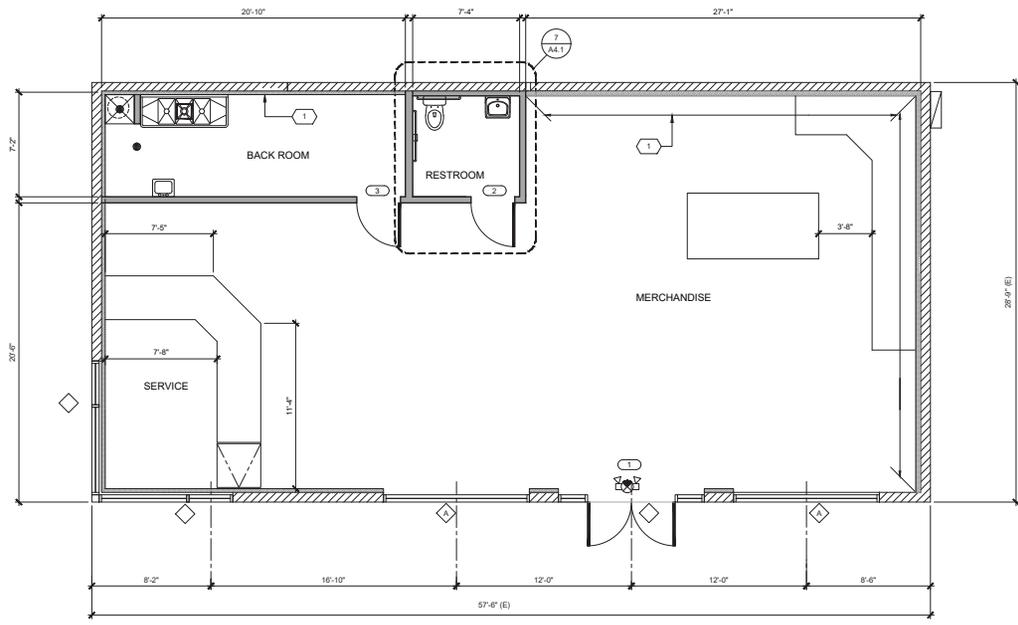
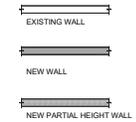
Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Date
1	1/30/18
2	3/14/18
3	3/9/18

Notes

- POS COUNTER TO BE 28"-34" AFF, WITH A MINIMUM WIDTH OF 36".
- NEW 600A PANEL LOCATION

Wall Legend



Phase 2

<N> Floor Plan 1/4" = 1'-0" 7

KEY NOTES

- 1 PLUMBING FURRED WALL
- 2 ELECTRICAL PANEL
- 3 (E) WALL
- 4 (N) F.R.P. 8" HIGH MINIMUM

Room Finish Schedule

ROOM NAME	FLOOR	BASE	WALLS	WAINSCOAT	CEILING	CEILING HT.	REMARKS
CONVENIENCE STORE							
SERVICE	C	1	B	-	E	10'-0"	-
MERCHANDISE	C	1	B	-	E	9'-0"	-
BACKROOM	D	4	D	-	E	9'-0"	
RESTROOM	C	3	B	1	B	8'-0"	

NOTE: ALL WALLS AND CEILINGS GYP. BD. TAPE AND TEXTURED, PAINT FINISH.

Room Finish Material Code List

- FLOOR:**
- A. SMOOTH SEALED EXPOSED CONCRETE
 - B. SHEET VINYL
 - C. CERAMIC TILE
 - D. QUARRY TILE
- CEILING:**
- A. GYP. BD. (MOISTURE RESISTANT) PAINT FINISH
 - B. GYP. BD. SMOOTH ENAMEL PAINT FINISH WASHABLE
 - C. ACOUSTICAL SUSPENDED CEILING
 - D. CEMENT PLASTER FINISH
 - E. SMOOTH, DURABLE AND CLEANABLE CEILING PANELS
 - F. CORRUGATED METAL ROOFING (SMOOTH, WASHABLE PAINT)
- BASE:**
- 1. 4" RUBBER TOP SET BASE
 - 2. 5" VINYL COVERED BASE
 - 3. CERAMIC TILE WITH 3/8" COVERED BASE
 - 4. QUARRY TILE WITH 3/8" COVERED BASE
- WAINSCOAT:**
- 1. 48" HIGH F.R.P.
- WALL:**
- A. GYP. BD. (MOISTURE RESISTANT) PAINT FINISH
 - B. GYP. BD. SMOOTH ENAMEL PAINT FINISH WASHABLE
 - C. CEMENT PLASTER FINISH
 - D. F.R.P.



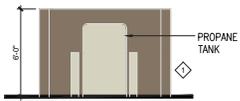
Issue Date **10/19/17**

Drawn By **DJE**

Project Number **1019**

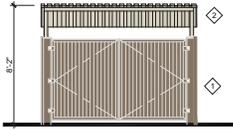
Sheet Title
NEW FLOOR PLAN

Sheet Number **A2.1**



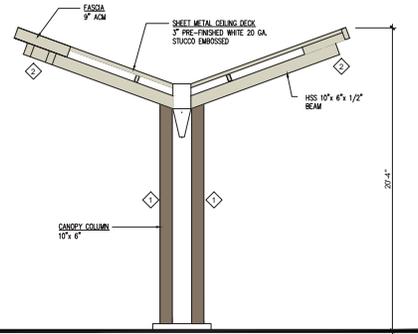
PROPANE TANK ENCLOSURE FRONT ELEVATION

1/4" = 1'-0"



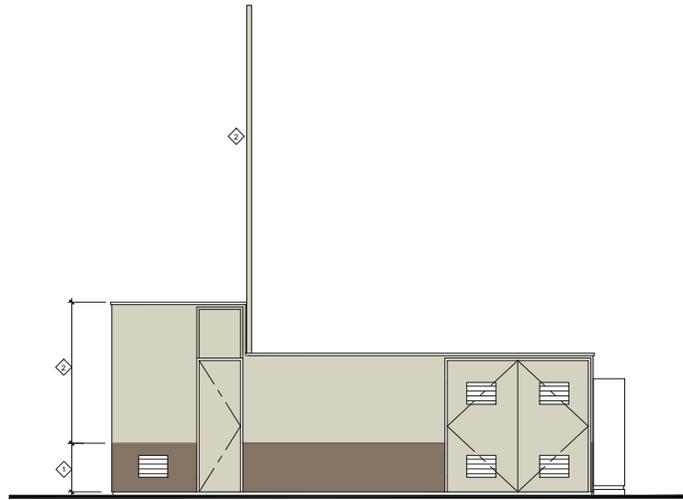
TRASH ENCLOSURE FRONT ELEVATION

1/4" = 1'-0"



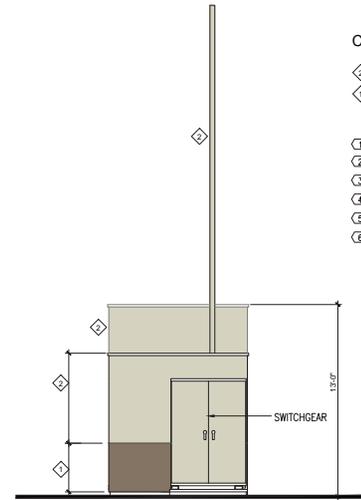
HYDROGEN DISPENSER CANOPY FRONT ELEVATION

1/4" = 1'-0"



HYDROGEN ENCLOSURE SOUTH ELEVATION

1/4" = 1'-0"



HYDROGEN ENCLOSURE EAST ELEVATION

1/4" = 1'-0"

COLOR LEGEND

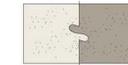
- ◇ STONE GRAY
- ◇ SOUTHERN BREEZE
- ① NEW DOORS
- ② NEW STOREFRONT WINDOWS
- ③ BRICK WALL
- ④ FASCIA
- ⑤ WINDOW
- ⑥ ROOF

Primary Paint Colors



Southern Breeze Stone Gray

Siding Material



Stucco Dash Texture (walls, wainscot, fascia)

Phase 1

Planning
Architecture
Interiors
DJE
17800 Cunha Lane
Salinas, CA 93907
Tel. 831-663-1418
Fax. 831-663-4395
david@djelliott.net

**David J. Elliott
& Associates**

USE PERMIT
& HYDROGEN
FUELING STATION

**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions		
No.	Description	Date
△		



Issue Date 10/19/17

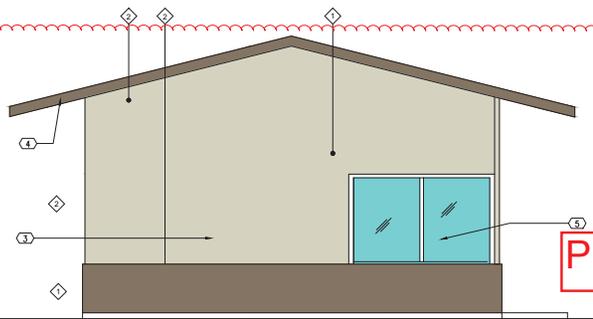
Drawn By DJE

Project Number 1019

Sheet Title

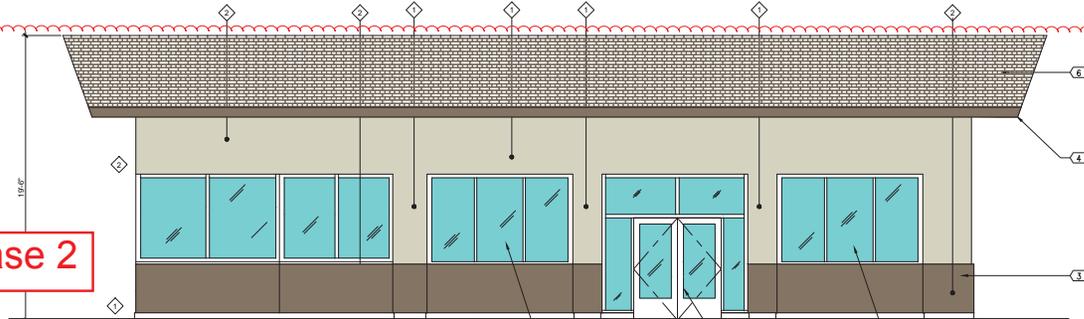
**COLOR
EXTERIOR ELEV.**

Sheet Number **A3.0**



MAIN BUILDING EAST ELEVATION

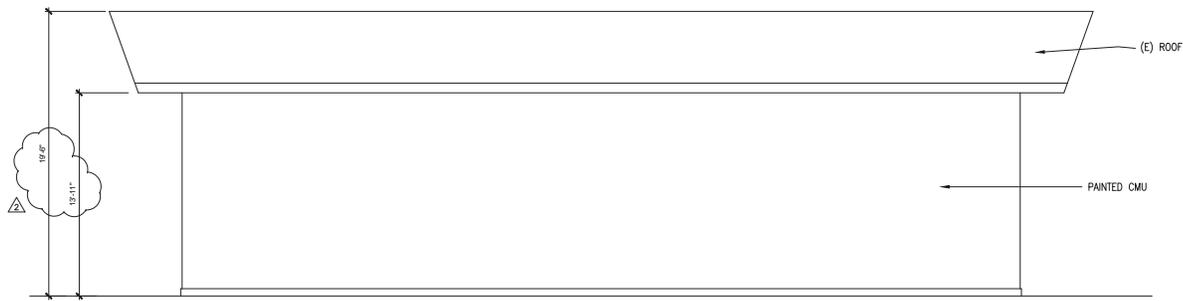
1/4" = 1'-0"



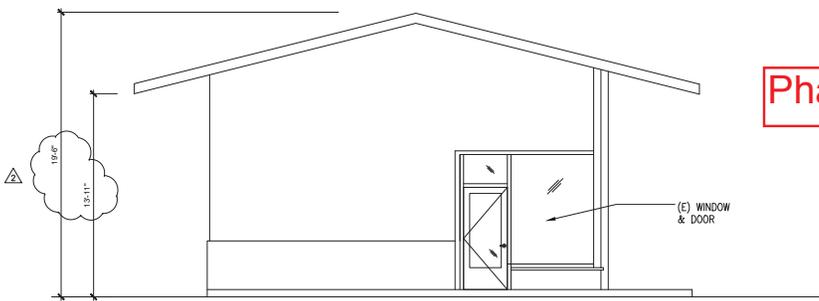
MAIN BUILDING SOUTH ELEVATION

1/4" = 1'-0"

Phase 2

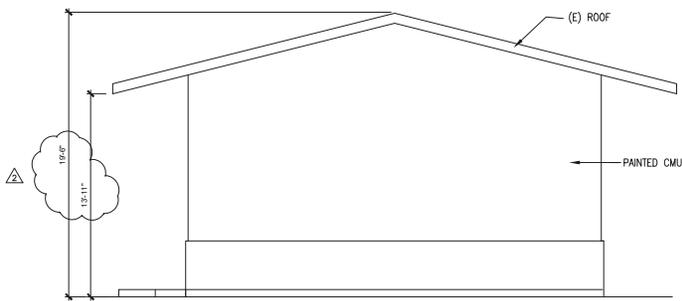


North Elevation 1/4" = 1'-0" 3

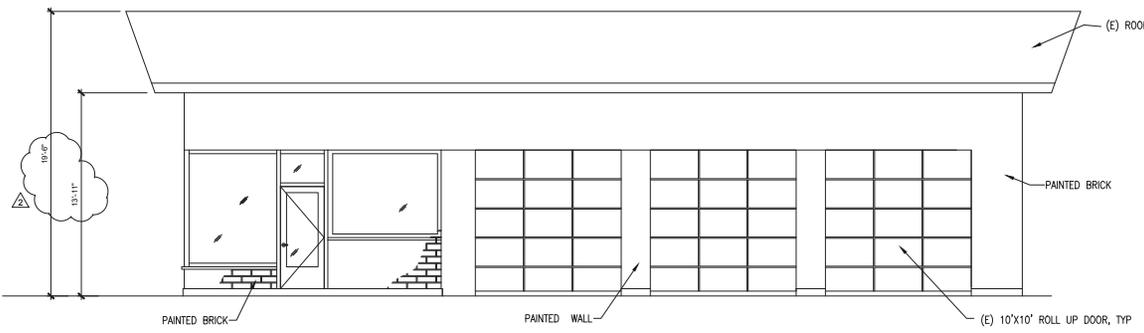


West Elevation 1/4" = 1'-0" 4

Phase 2



East Elevation 1/4" = 1'-0" 2



South Elevation 1/4" = 1'-0" 1

DJE Planning
Architecture
Interiors
17800 Cunha Lane
Salinas, CA 93907
Tel. 831-663-1418
Fax 831-663-6385
david@djelliott.net
**David J. Elliott
& Associates**

USE PERMIT
& HYDROGEN
FUELING STATION

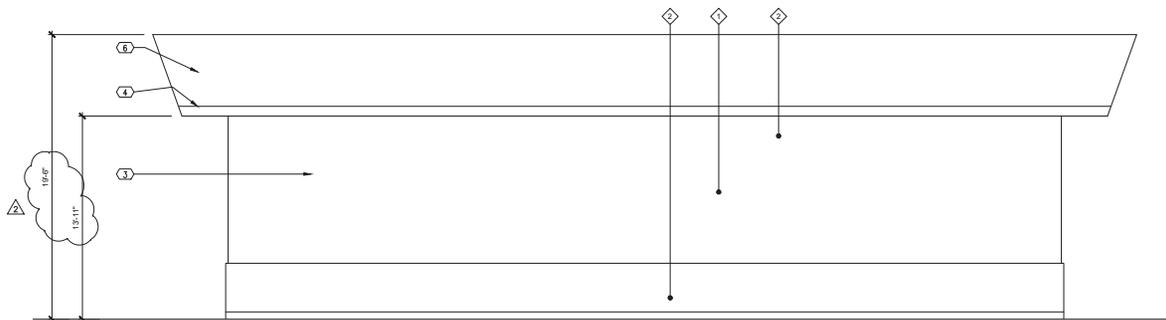
**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Date
△ PLANNING RESPONSE	1/30/18
△ PLANNING RESPONSE	3/14/18
△ ACCESSIBILITY REVISION PER PLANNER	3/9/18



Issue Date **10/19/17**
Drawn By **DJE**
Project Number **1019**
Sheet Title
**EXISTING
EXTERIOR ELEVATIONS**
Sheet Number **A3.1**



- ① NEW DOORS
- ② NEW STOREFRONT WINDOWS
- ③ (E) BRICK WALL
- ④ (E) FASCIA
- ⑤ (E) WINDOW
- ⑥ (E) ROOF

DJE Planning
Architecture
Interiors
17800 Cunha Lane
Salinas, CA 93907
Tel. 831-663-1418
Fax. 831-663-4395
david@djelliott.net

**David J. Elliott
& Associates**

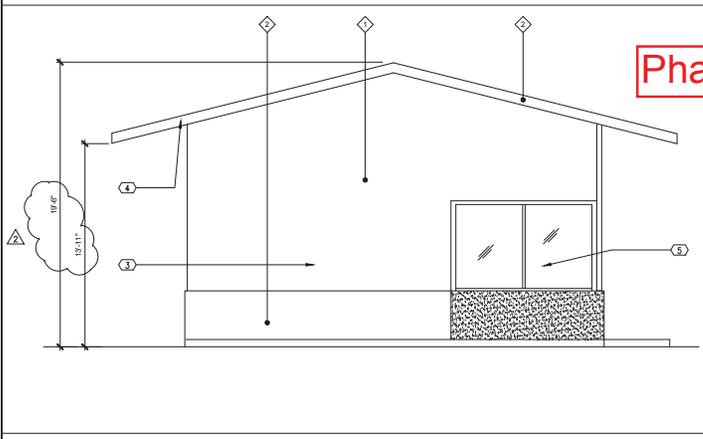
**USE PERMIT
& HYDROGEN
FUELING STATION**

**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

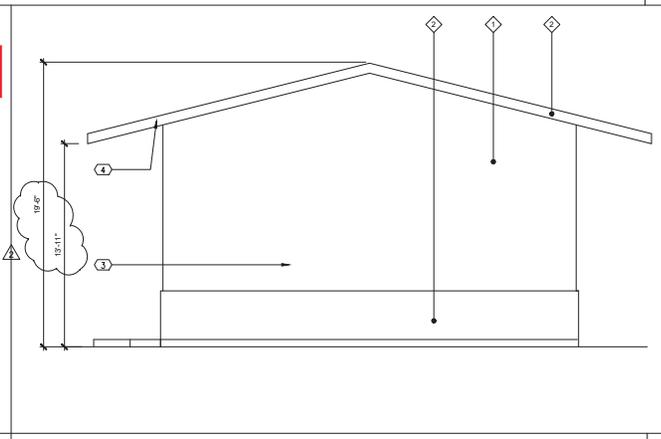
- ◇ SOUTHERN BREEZE
- ◇ STONE GRAY

North Elevation 1/4" = 1'-0" 7

COLOR LEGEND



Phase 2

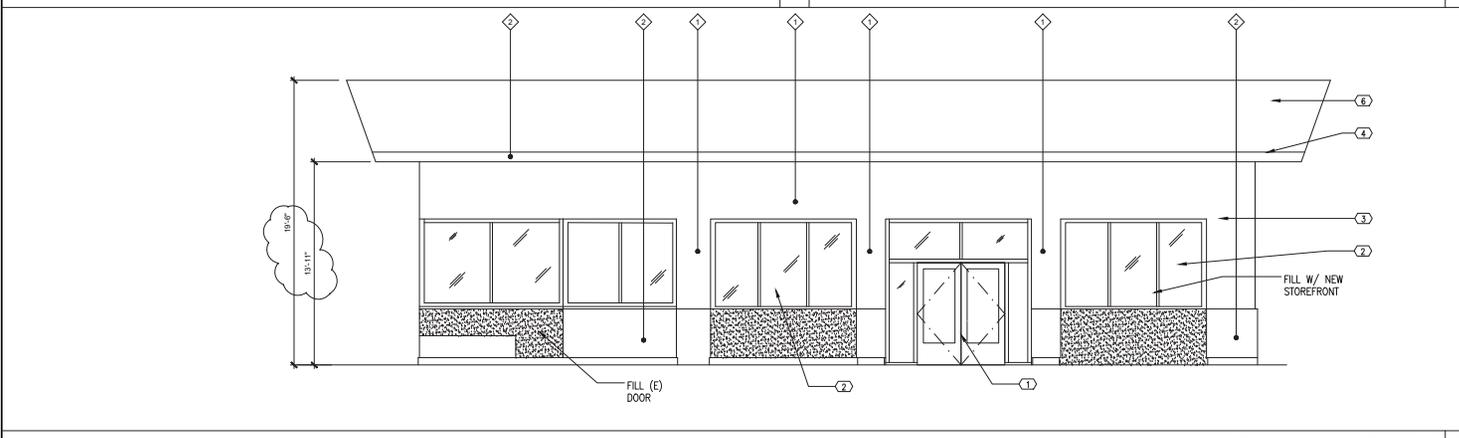


West Elevation 1/4" = 1'-0" 14

East Elevation 1/4" = 1'-0" 6

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

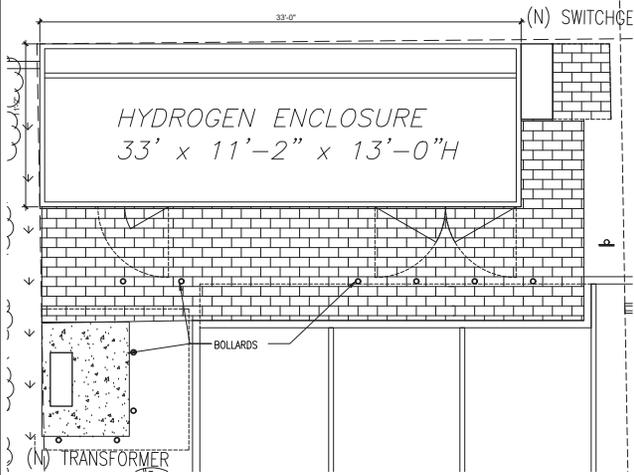
Revisions		
No.	Description	Date
△	PLANNING RESPONSE	1/30/18
△	PLANNING RESPONSE	3/14/18
△	ACCESSIBILITY REVISION PER PLANNER	3/9/18



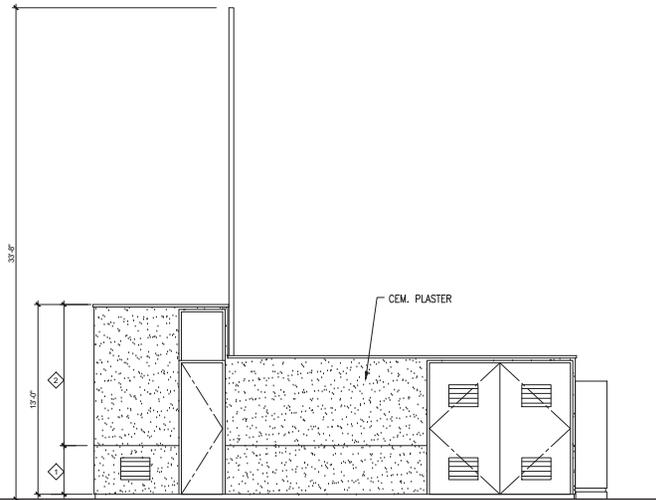
South Elevation 1/4" = 1'-0" 5



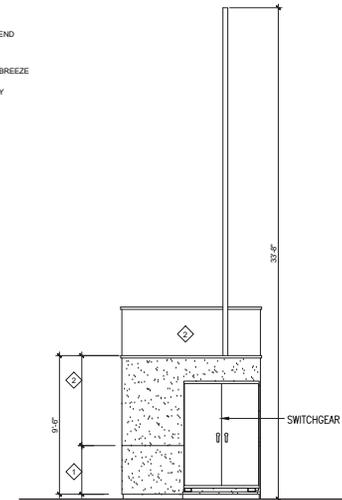
Issue Date	10/19/17
Drawn By	DJE
Project Number	1019
Sheet Title	NEW EXTERIOR ELEVATIONS
Sheet Number	A3.2



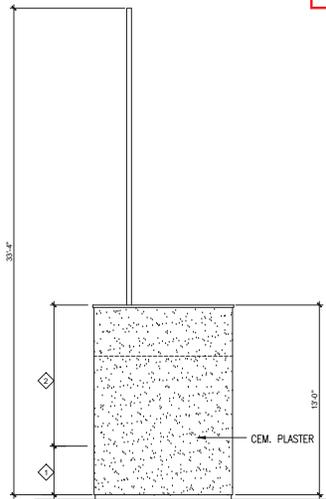
HYDROGEN ENCLOSURE FLOOR PLAN
1/4" = 1'-0"



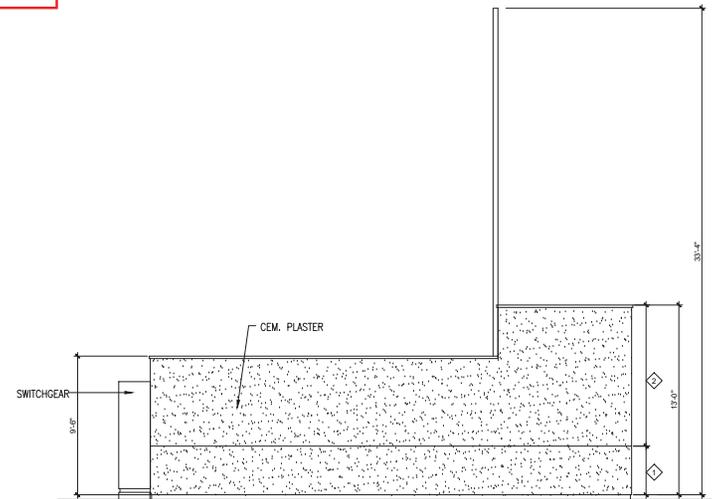
SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

- COLOR LEGEND
- ◊ SOUTHERN BREEZE
 - ◊ STONE GRAY

Phase 1

DJE Planning
Architecture
Interiors
17800 Cunha Lane
Salinas, CA 93907
Tel. 831-663-1418
Fax. 831-663-4395
david@djelliott.net

**David J. Elliott
& Associates**

USE PERMIT
& HYDROGEN
FUELING STATION

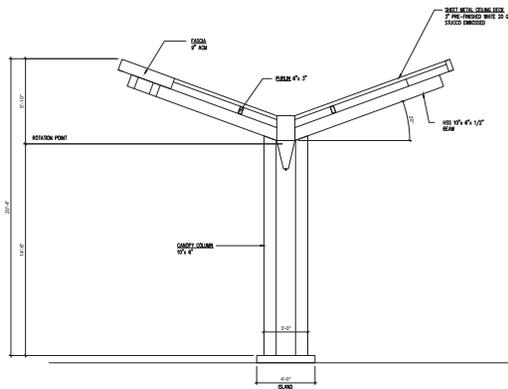
**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

Use of these plans and specifications is restricted to the original site for which they were prepared and publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

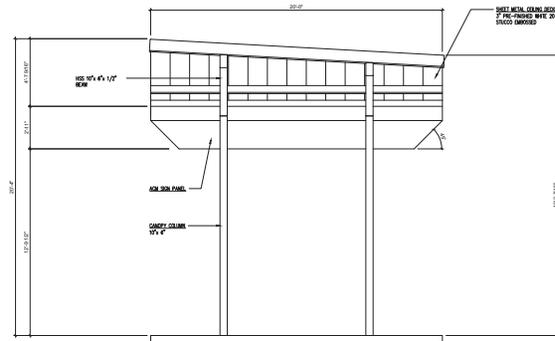
Revisions		
No.	Description	Date
1	PLANNING RESPONSE	1/30/18
2	PLANNING RESPONSE	3/14/18
3	ACCESSIBILITY REVISION PER PLANNER	3/9/18



Issue Date **10/19/17**
 Drawn By **DJE**
 Project Number **1019**
 Sheet Title
**HYDROGEN ENCLOSURE
EXTERIOR ELEVATIONS**
 Sheet Number **A3.3**

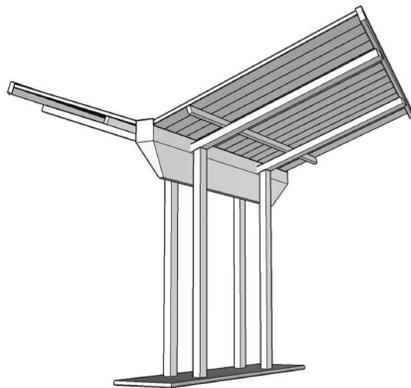


ELEVATION
SCALE: 1/4" = 1'-0" (A)

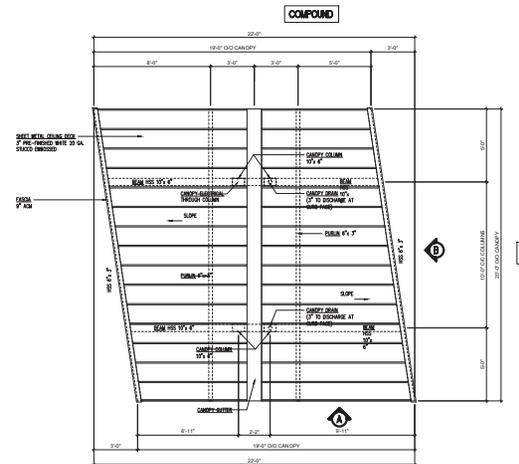


ELEVATION
SCALE: 1/4" = 1'-0" (B)

Phase 1



ISOMETRIC VIEW
SCALE: N.T.S.



CANOPY PLAN VIEW
SCALE: 1/4" = 1'-0"

DJE Planning
Architecture
Interiors
17800 Cunha Lane
Salinas, CA 93907
Tel. 831/663-1418
Fax. 831/663-6395
david@djelliott.net
**David J. Elliott
& Associates**

USE PERMIT
& HYDROGEN
FUELING STATION

**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Description
1	PLANNING RESPONSE
2	PLANNING RESPONSE
3	ACCESSIBILITY REVISION PER PLANNER



Issue Date **10/19/17**
 Drawn By **DJE**
 Project Number **1019**
 Sheet Title
**CANOPY PLANS
AND ELEVATIONS**
 Sheet Number **A3.4**

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions		
No.	Description	Date
1	PLANNING RESPONSE	1/30/18
2	PLANNING RESPONSE	3/14/18
3	ACCESSIBILITY REVISION PER PLANNER	3/9/18



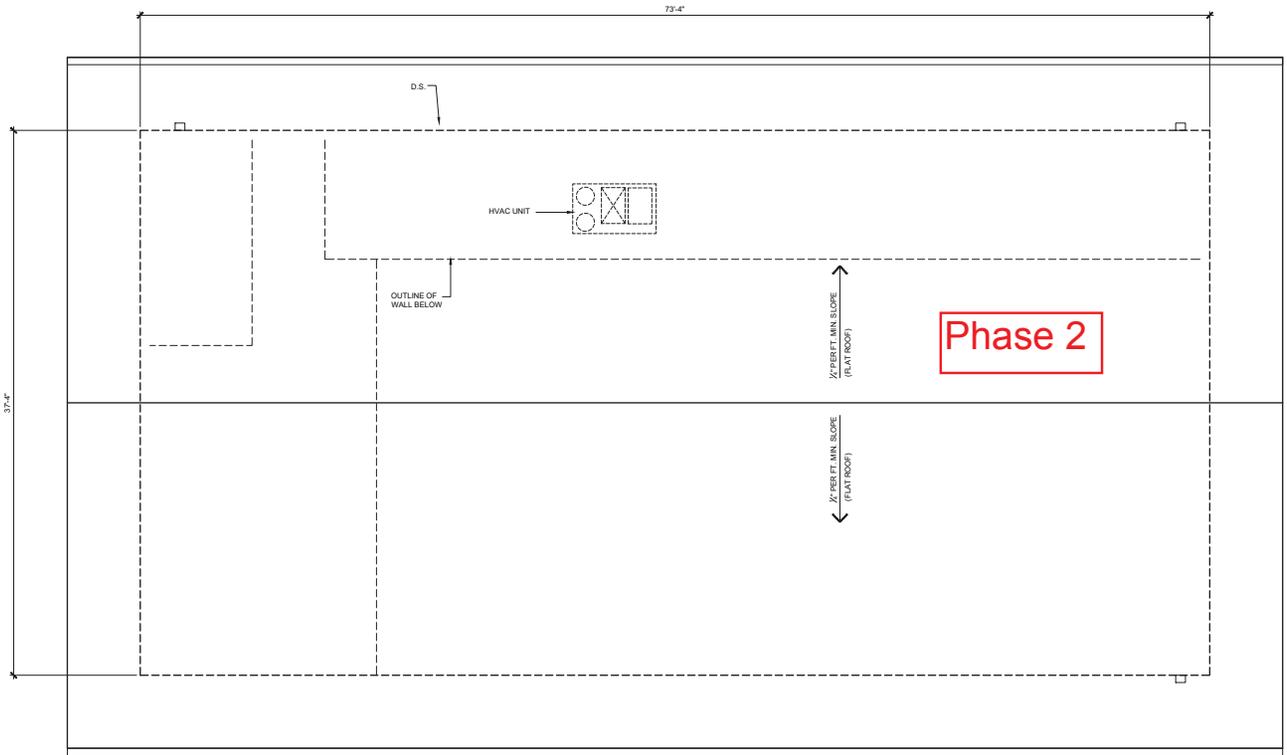
Issue Date **10/19/17**

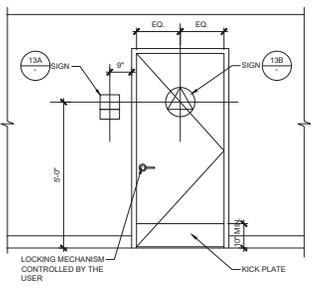
Drawn By **DJE**

Project Number **1019**

Sheet Title
ROOF PLAN

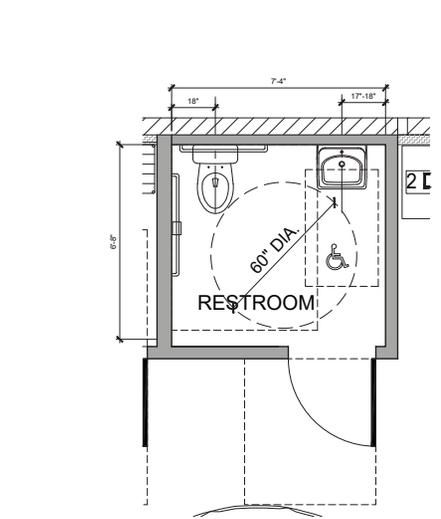
Sheet Number **A3.5**





SIGN LOCATION DETAIL 1/2" = 1'-0" 20

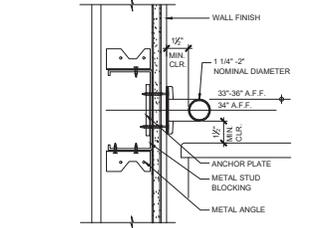
- 1 SIGNS SHALL COMPLY WITH SECTION 11B-703 WHERE BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED. EITHER ONE SIGN WITH BOTH VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS, ONE WITH VISUAL, AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED.
- 2 RAISED CHARACTERS SHALL BE 1/32" MIN. ABOVE THEIR BACKGROUND AND MIN. 5/8" AND MAX. 2" IN HEIGHT
- 3 11B-703.3.3 BRAILLE: BRAILLE SHALL CONTRACTED (GRADE 2) AND SHALL COMPLY WITH SECTION 11B-703.3 & 11B-703.4
- 4 11B-703.6.2 FINISH AND CONTRAST PICTOGRAMS AND THEIR FIELD SHALL HAVE A NONGLARE FINISH. PICTOGRAM SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD.



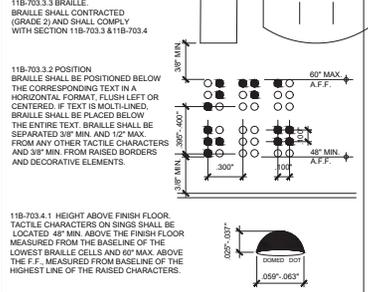
Phase 2

ENLARGED RESTROOM FLOOR PLAN 1/2" = 1'-0" 7

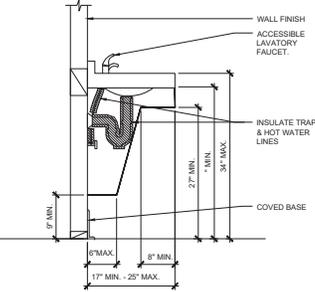
- NOTES:** E
1. FLOOR MOUNTED WATER CLOSET
 2. WALL HUNG LAVATORY
 3. TOILET PAPER DISPENSER
 4. TOILET SEAT COVER DISPENSER
 5. PAPER TOWEL DISPENSER
 6. GRAB BAR
 7. MIRROR
 8. SOAP DISPENSER
 9. DOOR, PAINTED FIN. WITH LEVER HANDLE, LOCKSET AND KICKPLATE
 10. FLOOR TO BE SHEET VINYL W/6" COVERED BASE W/3/8" RADIUS
 11. FRP AT 48" HIGH
 12. WALL TO HAVE ENAMEL PAINT FINISH
 13. GYP. BD. CEILING TO HAVE ENAMEL PAINT FINISH
 14. _NOT USED_
 15. 1 1/2" NOMINAL DIAMETER
 16. WALL



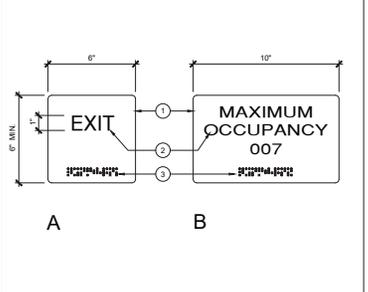
GRAB BAR DETAIL 3" = 1'-0" 19



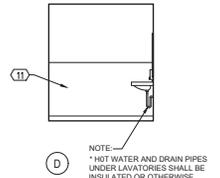
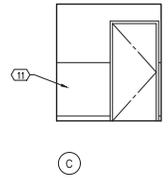
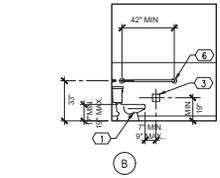
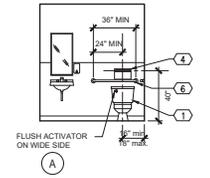
BRAILLE DETAIL n.t.s. 15



ACCESSIBLE SINK DETAIL 1" = 1'-0" 18



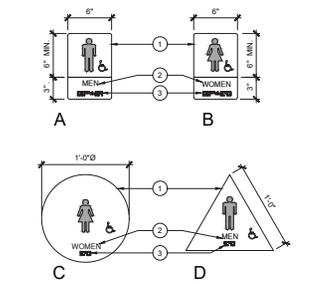
WALL SIGN DETAIL 3" = 1'-0" 14



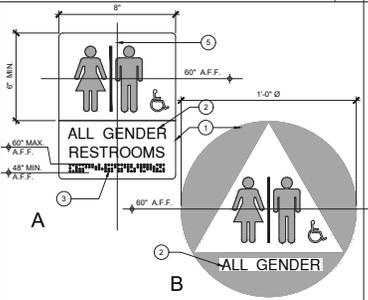
RESTROOM INTERIOR ELEVATIONS 2

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

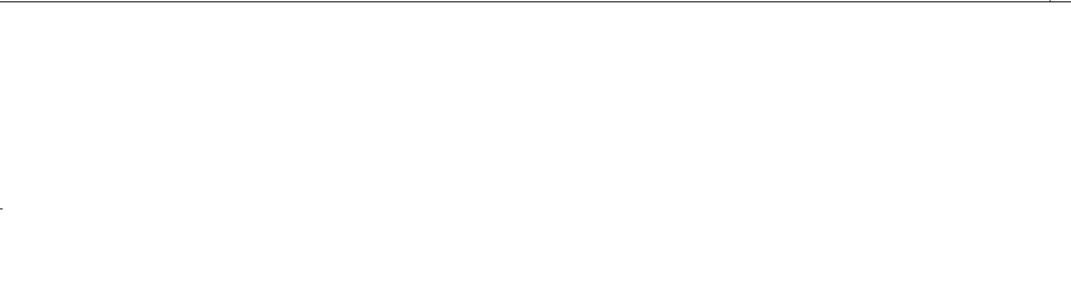
Revisions		
No.	Description	Date
1	PLANNING RESPONSE	1/30/18
2	PLANNING RESPONSE	3/14/18
3	ACCESSIBILITY REVISION PER PLANNER	3/9/18



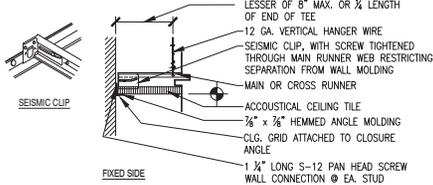
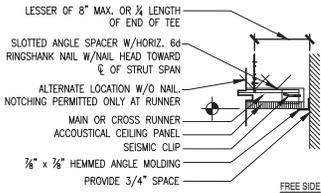
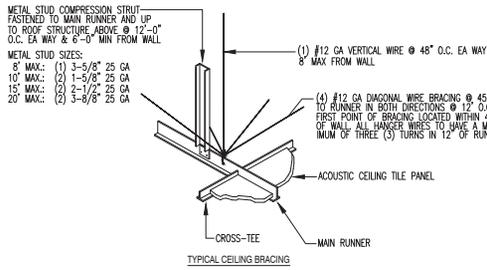
DOOR SIGN DETAIL 1 1/2" = 1'-0" 17



WALL SIGN DETAIL 3" = 1'-0" 13

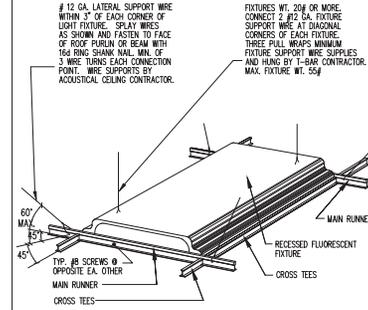


Issue Date	10/19/17
Drawn By	DJE
Project Number	1019
Sheet Title	ACCESSIBLE RESTROOM & DETAILS
Sheet Number	A4.1



SUSPENDED CEILING NOTES

- A HEAVY TYPE OF T-BAR CEILING SHALL BE USED.
 - THE WIDTH OF PERIMETER CLOSURE ANGLE SHALL BE 2" MINIMUM IN WIDTH, IN EACH ORTHOGONAL HORIZONTAL DIRECTION, ONE END OF CEILING GRID SHALL BE ATTACHED TO THE CLOSURE ANGLE. THE OTHER END IN EACH HORIZONTAL DIRECTION SHALL HAVE A MINIMUM 0.75" CLEARANCE FROM THE WALL AND SHALL REST UPON AND BE FREE TO SLIDE ON A CLOSURE ANGLE.
 - FOR CEILING AREA EXCEEDING 1,000 SF, HORIZONTAL RESTRAINT OF THE CEILING TO THE STRUCTURAL SYSTEM SHALL BE PROVIDED. THE TRIBUTARY AREAS OF THE HORIZONTAL RESTRAINTS SHALL BE APPROXIMATELY EQUAL.
 - FOR CEILING AREA EXCEEDING 2,500 SF, A SEISMIC SEPARATION JOINT OR FULL HEIGHT PARTITION THAT BREAKS THE CEILING UP INTO AREAS NOT EXCEEDING 2,500 SF SHALL BE PROVIDED UNLESS STRUCTURAL ANALYSES ARE PERFORMED OF THE CEILING BRACING SYSTEM FOR THE PRESCRIBED SEISMIC FORCES THAT DEMONSTRATE CEILING SYSTEM PENETRATIONS AND CLOSURE ANGLES PROVIDE SUFFICIENT CLEARANCE TO ACCOMMODATE THE ANTICIPATED LATERAL DISPLACEMENT. EACH AREA SHALL BE PROVIDED WITH CLOSURE ANGLES IN ACCORDANCE WITH ITEM "B" AND HORIZONTAL RESTRAINTS OR BRACING IN ACCORDANCE WITH ITEM "C".
 - EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS, PENETRATIONS SHALL HAVE A 2" OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS IS PERMITTED.
 - CHANGES IN CEILING PLAN ELEVATION SHALL BE PROVIDED WITH POSITIVE BRACING.
 - CABLE TRAYS AND ELECTRICAL CONDUITS SHALL BE EXCEPT SUPPORTED INDEPENDENTLY OF THE CEILING.
1. RECESSED LIGHTING FIXTURES NOT OVER 56 LBS. IN WEIGHT, AND SUSPENDED AND PENDANT HUNG FIXTURES NOT OVER 20 LBS. IN WEIGHT, MAY BE SUPPORTED AND ATTACHED DIRECTLY TO THE CEILING SYSTEM RUNNERS BY A POSITIVE ATTACHMENT SUCH AS SCREWS OR BOLTS.
 2. AIR DIFFUSERS NOT OVER 20 LBS. IN WEIGHT, AND WHICH RECEIVE NO TRIBUTARY LOADING FROM DUCT WORK MAY BE POSITIVELY ATTACHED AND SUPPORTED BY THE CEILING RUNNERS.



Recessed Fluorescent Light 12

Notes

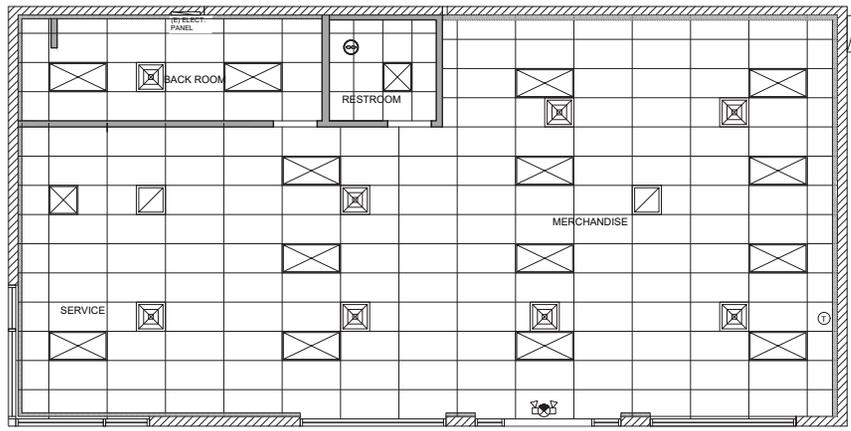
1. -

General Notes

1. -

T-Bar Ceiling 11

Phase 2



Ceiling Legend

- 2x4 RECESS MOUNT FLUORESCENT LIGHT FIXTURE
- 2x2 SURFACE MOUNT FLUORESCENT LIGHT FIXTURE
- EXIT LIGHT
- EXHAUST FAN
- AIR SUPPLY CEILING REGISTER
- GYP. BOARD



Reflected Ceiling Plan 1/4"=1'-0" 5

DAVID J. ELLIOTT & ASSOCIATES
 Planning Architecture Interiors
 17800 Cunha Lane
 Salinas, CA 93907
 Tel. 831-663-1418
 Fax. 831-663-6395
 david@djelliott.net

USE PERMIT & HYDROGEN FUELING STATION

HAMILTON MARKET PLACE
 337 E. Hamilton Ave.
 Campbell, CA 95008

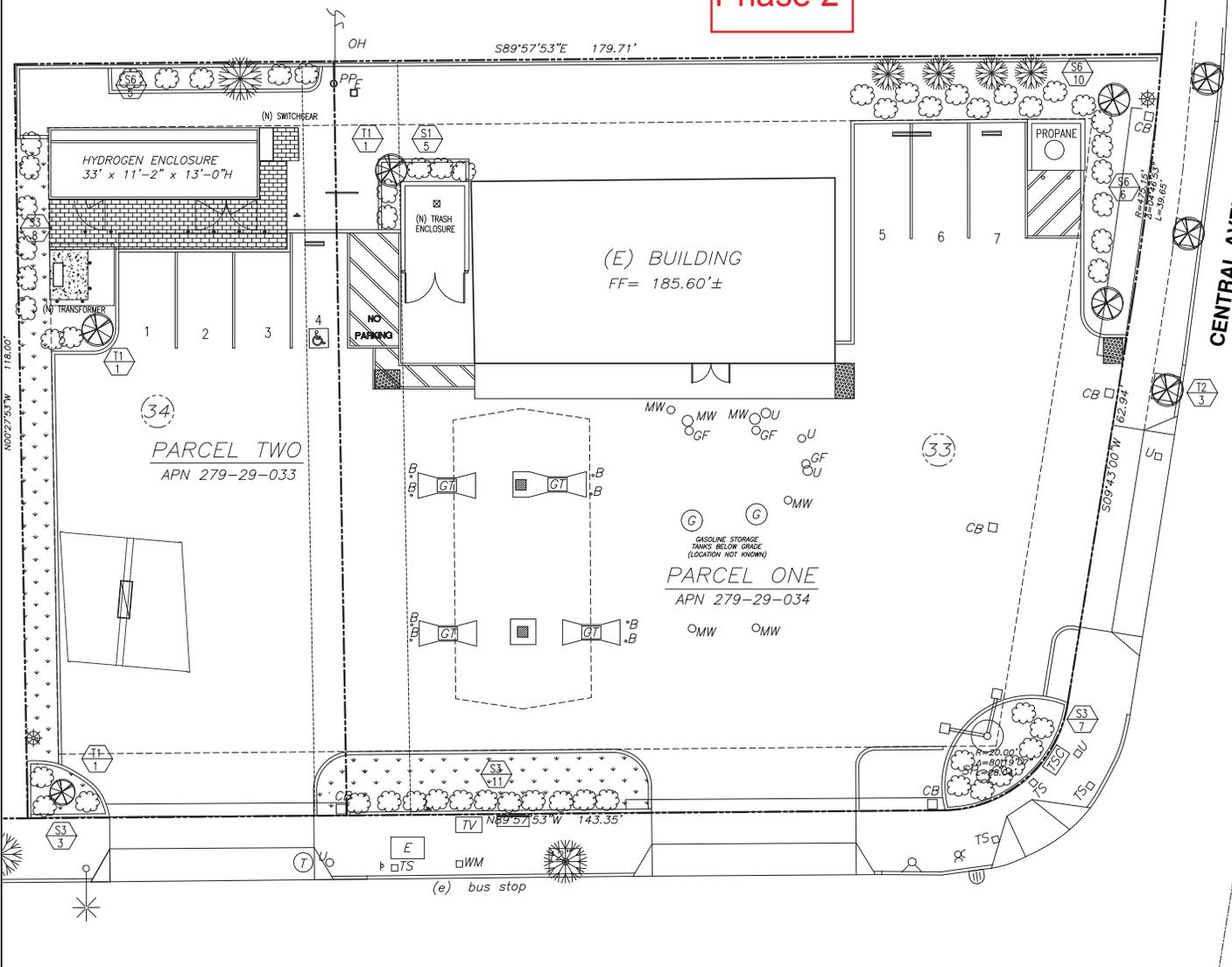
Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Date
	1/30/18
	3/14/18
	3/9/18



Issue Date	10/19/17
Drawn By	DJE
Project Number	1019
Sheet Title	REFLECTED CEILING PLAN
Sheet Number	A6.1

Phase 2



LANDSCAPE LEGEND

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
TREES					
T1	QUERCUS COCCINEA	SCARLET OAK	-	15GAL	STANDARD
T2	TRISTANIA LAURINA ELEGANT	NON	-	15GAL	STANDARD
T3	PLATANUS A. BLOODGOOD	LONDON PLANE TREE	-	15GAL	STANDARD
SHRUBS					
S1	AGAPANTHUS PETER PAN	DWARF LILY OF THE NILE	-	5GAL	
S2	RAPHIDOLEPS PINKY	INDIA HAWTHORN	-	5GAL	
S3	PHORNIKUM T. SUPER	HYBRID NEW ZEALAND FLAX	-	5GAL	
S4	NADINA D. COMPACTA	HEAVENLY BAMBOO	-	5GAL	
S5	TEUODIA SELLOWIANA	PINEAPPLE GUAVA	-	5GAL	
S6	PHYTOSPORUM T. AREGATA	ARCADIAN TOE RA	-	5GAL	
S7	DIETES / EGETA	AFRICAN IRIS	-	5GAL	
GROUND COVERS					
G1	ANNUAL COLOGS	SEASONAL	-	4"PTS	
G2	TRACHELOSPERMUM JASMINGOES	STAR JASMINE	-	16GAL	
G3	POLYGONUM CAPITATUM	NON	-	FLATS	

- COORDINATE ALL PLANT LOCATION WITH LANDSCAPE ARCHITECT BEFORE PLANTING
- NOTIFY LANDSCAPE ARCHITECT IMMEDIATE IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE AND CONDITIONS AND PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED USE TRIANGULAR SPACING
- | | |
|--|-------------------------|
| | INDICATE PLANT KEY |
| | INDICATE PLANT QUANTITY |
- SEE DETAIL AND SPECIFICATION SHEET FOR ADDITIONAL INFORMATION
- SOD LAWN TO BE DOUBLE DWARF CHAMEON HYBRID RESCUE OR EQUAL

- EXISTING TREE
- NEW TREE
- NEW SHRUB

DJE Planning Architecture Interiors
 17800 Cunha Lane
 Salinas, CA 93907
 Tel. 831-663-1418
 Fax. 831-663-6395
 david@djelliott.net

David J. Elliott & Associates

USE PERMIT & HYDROGEN FUELING STATION

HAMILTON MARKET PLACE
 337 E. Hamilton Ave.
 Campbell, CA 95008

Use of these plans and specifications is restricted to the ground site for which they were prepared and publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Date
	1/30/18
	3/14/18
	3/9/18



Issue Date **10/19/17**

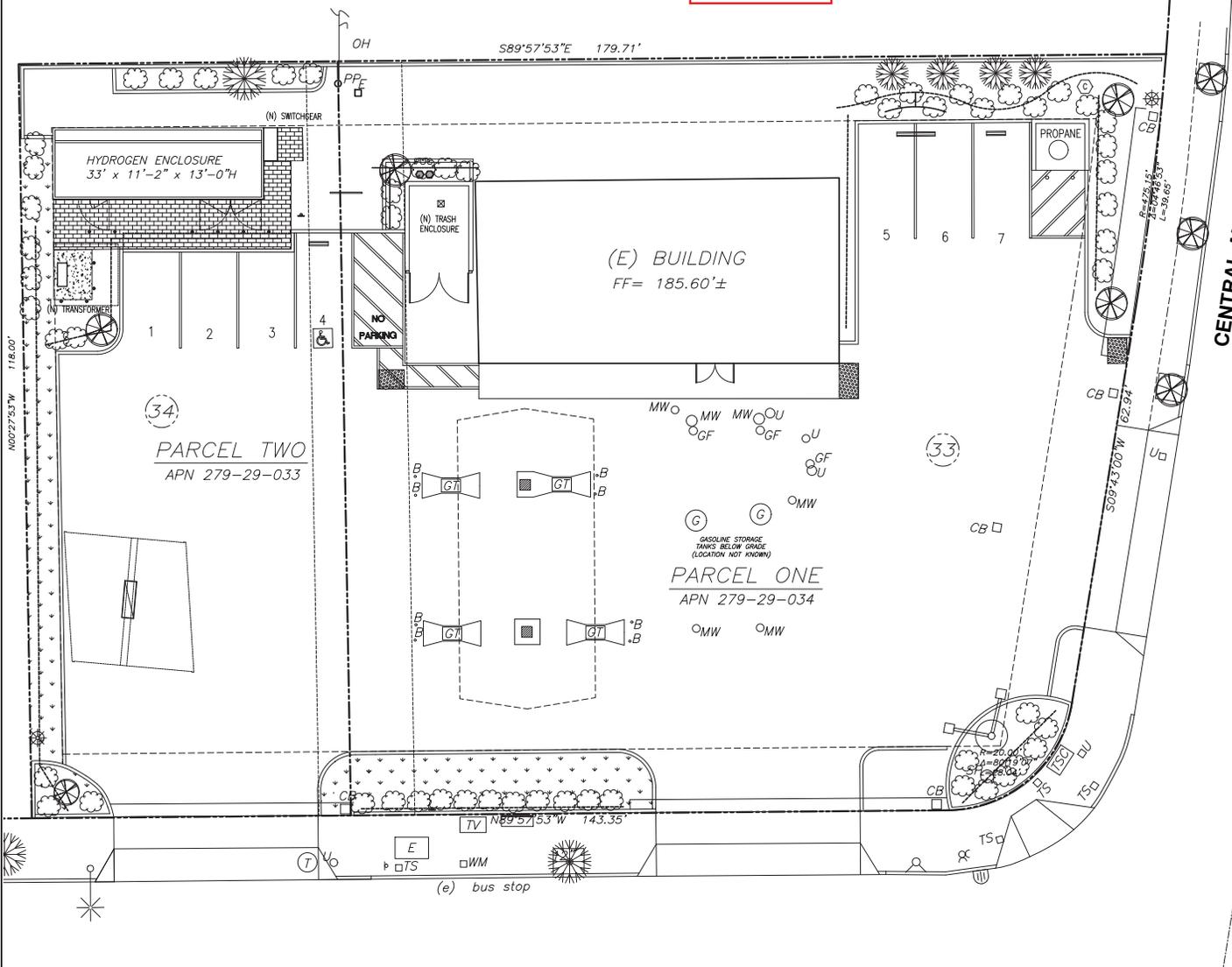
Drawn By **DJE**

Project Number **1019**

Sheet Title
PLANTING PLAN

Sheet Number **L1**

Phase 2



IRRIGATION LEGEND

KEY	DESCRIPTION
POC	POINT OF CONNECTION (TIE-OFF WATER SERVICE LINE, VERIFY LOCATION IN FIELD)
—	SCHEDULE 40 PVC PRESSURE MAIN LINE (SIZE AS NOTED)
—	SCHEDULE 40 PVC NON-PRESSURE SLEEVE UNDER PAVEMENT (2x SIZE INSIDE PIPE)
—	SCHEDULE 200 PSY NON-PRESSURE LATERAL LINE (SIZE AS NOTED)
⊕	INDICATES CONTROLLER STATION #
⊕	INDICATES VALVE SIZE
⊕	IRRIGATION MC-4 PLUS AUTOMATIC CONTROLLER
⊗	BUCKNER 13LT 3/4" QUICK-COUPLING VALVE W/ LOCKING CAP (PROVIDED 2 KEYS)
⊕	HARDIE 700 SERIES ULTRA-FLOW ELECTRIC VALVE (SIZE AS NOTED)
⊗	FIBCO 825V REDUCED PRESSURE BACKFLOW ASSEMBLY 1-1/2"

KEY	DESCRIPTION
○	TORO 570Z-4P-15-F-PC (0.3 GPM) 4" LAWN POP-UP
▽	TORO 570Z-4P-15-CH-PC (1.65 GPM) 4" LAWN POP-UP
▽	TORO 570Z-4P-15-TIT-PC (1.2 GPM) 4" LAWN POP-UP
▽	TORO 570Z-4P-15-Q-PC (81 GPM) 4" LAWN POP-UP
○	TORO 570Z-6P-12-Q-PC (05 GPM) 6" SHRUB POP-UP
○	TORO 570Z-6P-18-25-PC (25) 6" POP-UP FLOOD BLUBBER
⊕	TORO 570Z-6P-8-T-PC (10 GPM) 6" SHRUB POP-UP
▽	TORO 570Z-6P-8-TH-PC (0.5 GPM) 6" SHRUB POP-UP
▽	TORO 570Z-6P-8-TIT-PC (0.3/6 GPM) 6" SHRUB POP-UP
▽	TORO 570Z-6P-8-Q-PC (0.25 GPM) 6" SHRUB POP-UP
⊕	TORO 570Z-6P-4-EST-PC (0.43 GPM) 6" POP-UP END STRIP SPRAY
⊕	TORO 570Z-6P-4-SST-PC (10 GPM) 6" POP-UP SIDE STRIP SPRAY
⊕	TORO 570Z-6P-4-SST-PC (01 GPM) 6" POP-UP SIDE STRIP SPRAY

Planning
Architecture
Interiors
DJE
17800 Cunha Lane
Salinas, CA 93907
Tel. 831-663-1418
Fax 831-663-6395
david@djeiloft.com

**David J. Elliott
& Associates**

USE PERMIT
& HYDROGEN
FUELING STATION

**HAMILTON
MARKET PLACE**
337 E. Hamilton Ave.
Campbell, CA 95008

Use of these plans and specifications is restricted to the original site for which they were prepared and publication by any method, in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions	
No.	Date
⚠	PLANNING RESPONSE 1/30/18
⚠	PLANNING RESPONSE 3/14/18
⚠	ACCESSIBILITY REVISION PER PLANNER 3/9/18



Issue Date **10/19/17**

Drawn By **DJE**

Project Number **1019**

Sheet Title
IRRIGATION PLAN

Sheet Number **L2**