



**CITY OF CAMPBELL**  
**Community Development Department**

May 31, 2019

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 11, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Jeffrey Eaton for a Conditional Use Permit (PLN2018-295) with Site and Architectural Review to allow for the conversion of a residence into an office building, a 117 square-foot addition to the converted office building, construction of a new 2,417 square-foot storage building, increase in fence height, changes to site circulation and onsite parking, and a Variance (PLN2019-297) to allow for a reduction in landscaping requirements and driveway width onsite on property located at **920 S. McGlincy Lane**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

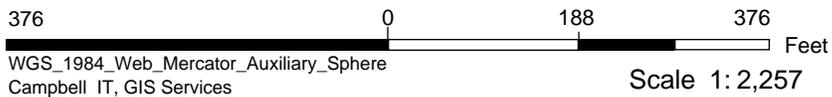
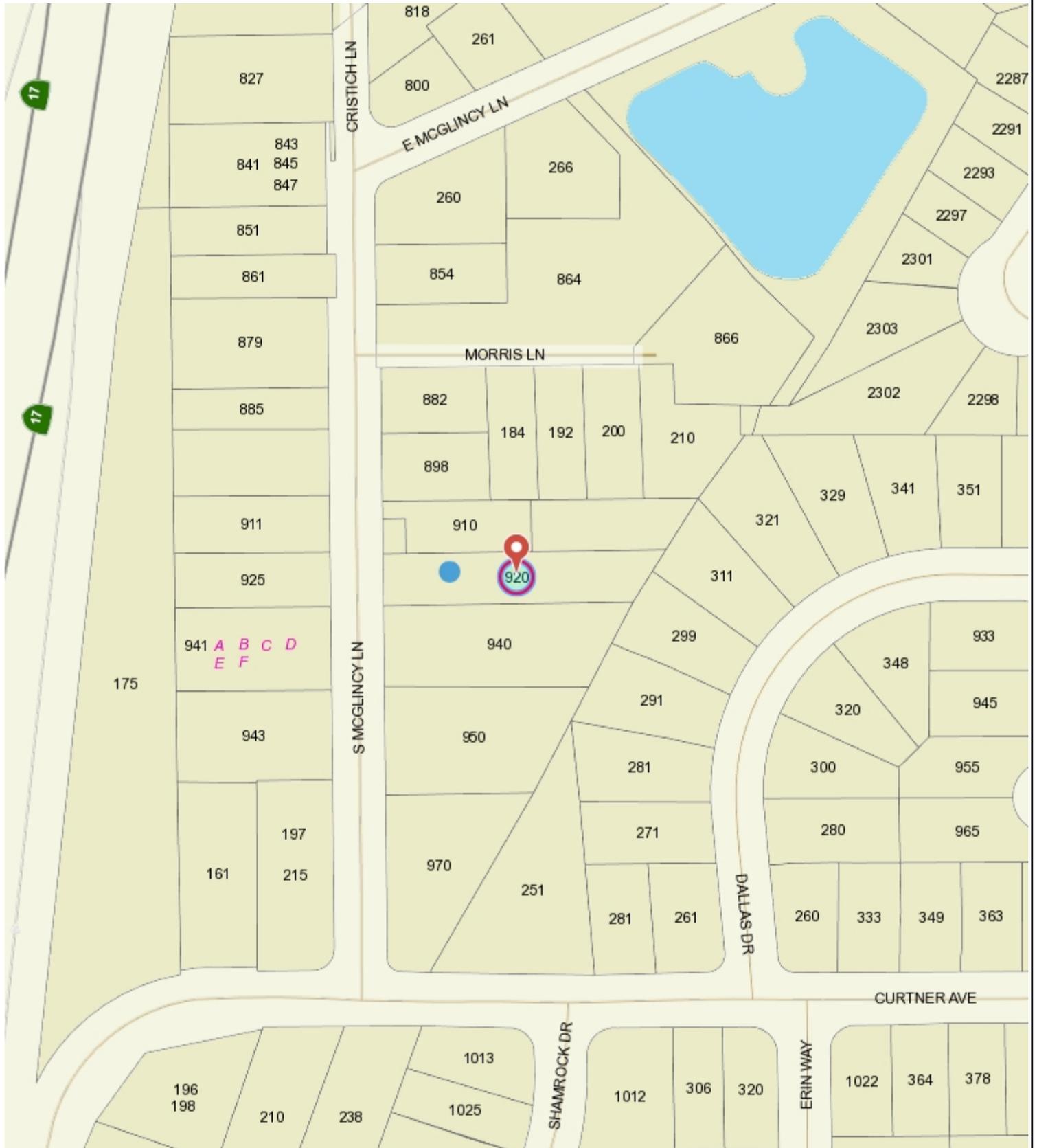
In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **920 S. McGlincy Lane**



# City of Campbell



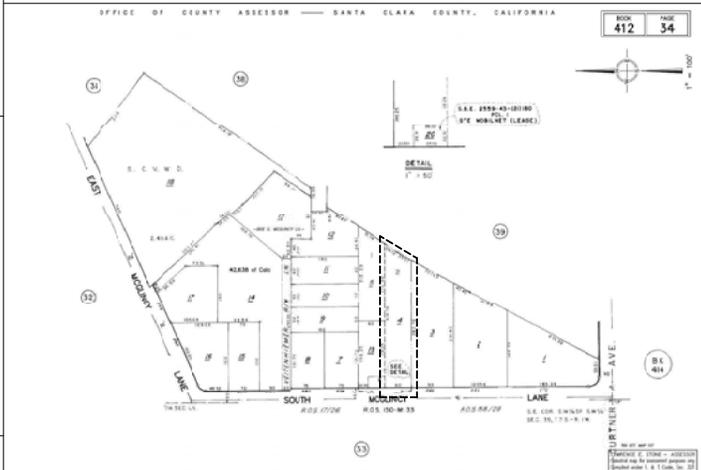
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

# BLUE ARC ELECTRIC

920 S. McGLINCY LANE  
CAMPBELL, CA 95008

## CONDITIONAL USE PERMIT APPLICATION

### ASSESSOR'S PARCEL MAP



### SCOPE OF WORK

**PHASE 1**  
1. BRING THE EXISTING NON-CONFORMING OFFICE BUILDING INTO COMPLIANCE WITH COMMERCIAL STANDARDS BY PROVIDING AN ACCESSIBLE ENTRY, NEW ACCESSIBLE RESTROOM AND NEW ACCESSIBLE KITCHEN.  
2. PROVIDE SITE IMPROVEMENTS TO BRING THE PROPERTY TO THE M1 ZONING STANDARDS BY PROVIDING ACCESSIBLE PARKING, AN ACCESSIBLE STREET ACCESS, ACCESSIBLE STORAGE, A 10' LANDSCAPE STRIP AT THE PROPERTY FRONTAGE, NEW TUBE STEEL FENCING AND HOLOG GATE AT PROPERTY FRONTAGE, REMOVAL OF BARBED WIRE ABOVE THE REMAINDER OF THE PERIMETER CHAIN LINK FENCE, MODIFICATION OR REPLACEMENT OF THE REAR PROPERTY FENCE (EAST PROJECT PROPERTY LINE) TO 6 MAX. HEIGHT, ADDITION OF LANDSCAPE PLANTING AREAS TO ACHIEVE A MINIMUM OF 8% (ACTUAL WILL BE 10.7%) ADDITION OF STORMWATER CONTROL.

**PHASE 2**  
1. CONSTRUCT A 2,417 SF STORAGE BUILDING TO PROTECT VALUABLE CONSTRUCTION MATERIALS.

### GENERAL INFORMATION

|                      |   |
|----------------------|---|
| OCCUPANCY            | B / S-2   |
| TYPE OF CONSTRUCTION | V-B   |
| SPRINKLERED          | YES   |
| LOT SIZE             | 17,880 NET SF<br>19,640 GROSS SF  |
| BUILDING AREA        | (E) BUILDING 1,190 SF<br>(E) STORAGE BLD. 400 SF<br>(P) BUILDING ADDITION: 117 SF<br>(P) STORAGE BLD. (PHASE 2) 2,417 SF<br><b>TOTAL BUILDING AREA 4,124 SF</b> |
| ZONING               | M-1 (LIGHT INDUSTRIAL)  |
| APN                  | 413-34-004  |

### DEVELOPMENT DATA

| SITE AREA          | SQUARE FEET |           | PERCENTAGE OF SITE |          |
|--------------------|-------------|-----------|--------------------|----------|
|                    | EXISTING    | PROPOSED  | EXISTING           | PROPOSED |
| BUILDING COVERAGE  | 1,590 SF    | 4,124 SF  | 8.9 %              | 23 %     |
| LANDSCAPE COVERAGE | 650 SF      | 3,287 SF  | 3.6 %              | 18.4 %   |
| PAVING COVERAGE    | 15,620 SF   | 10,449 SF | 87.5 %             | 58.6 %   |
| FLOOR AREA RATIO   | 8.9 %       | 23 %      |                    |          |

### ADJACENT LAND USES

|       |                                  |
|-------|----------------------------------|
| NORTH | M-1 (LIGHT INDUSTRIAL)           |
| SOUTH | M-1 (LIGHT INDUSTRIAL)           |
| EAST  | R-18 (SINGLE FAMILY RESIDENTIAL) |
| WEST  | M-1 (LIGHT INDUSTRIAL)           |

### PARKING TABULATION

| AREA                      | LOAD FACTOR | PARKING REQ'D | PARKING PROVIDED |           | VAN ACCESSIBLE (E) VAN / CLEAN AIR / SUBSIDIARY |
|---------------------------|-------------|---------------|------------------|-----------|---|
|                           |             |               | REQ'D            | PROVD     |   |
| (P) BUILDING              | 1,307 SF    | 225           | 6                | 13        | 1   |
| STORAGES (EXISTING / NEW) | 2,817 SF    | 400           | 7                | 13        | 1   |
| <b>TOTAL</b>              |             | <b>13</b>     | <b>13</b>        | <b>13</b> | <b>1</b>  |

### CODE ANALYSIS

| BUILDING                         | EXISTING        | PROPOSED        | TOTAL           |
|----------------------------------|-----------------|-----------------|-----------------|
| B OCCUPANCY (EXISTING BUILDING)  | 1,190 SF        | 117 SF          | 1,307 SF        |
| S-2 OCCUPANCY (EXISTING STORAGE) | 400 SF          | 400 SF          | 800 SF          |
| S-2 OCCUPANCY (PROPOSED STORAGE) | -               | 2,417 SF        | 2,417 SF        |
| <b>TOTAL</b>                     | <b>1,590 SF</b> | <b>4,124 SF</b> | <b>4,124 SF</b> |

### ALLOWABLE HEIGHT (TABLE 904.3) ACTUAL ALLOWABLE

| BUILDING               | EXISTING | PROPOSED |
|------------------------|----------|----------|
| B (EXISTING BUILDING)  | 13'-0"   | 65'-0"   |
| S-2 (EXISTING STORAGE) | 11'-0"   | 65'-0"   |
| S-2 (PROPOSED STORAGE) | 15'-0"   | 65'-0"   |

### ALLOWABLE AREA (TABLE 905.2)

| EXISTING BUILDING STORAGE | B         | S2        |
|---------------------------|-----------|-----------|
| OCCUPANCY GROUP           | B         | S2        |
| BASIC ALLOWABLE           | 36,000 SF | 54,000 SF |

|                       |                        |        |                                  |           |
|-----------------------|------------------------|--------|----------------------------------|-----------|
| ACTUAL AREA ALLOWABLE | 3,307 SF               | 400 SF | 36,000 SF                        | 54,000 SF |
| RATIO                 | .04 +                  | .007   | <.05                             |           |
| PROPOSED STORAGE      | 0.5 x 1.0 THEREFORE OK |        |                                  |           |
| ACTUAL AREA ALLOWABLE | 2,417 SF               | 400 SF | 2,417 SF + 54,000 SF THEREFOR OK |           |

### STREETSCAPE



### FIRE PROTECTION NOTES

1. Fire Sprinklers Required: existing buildings and structures shall be provided in the locations described in this section or in Sections 903.2.1 through 903.2.18 whichever is the more restrictive. For the purposes of this section, firewalls used to separate building areas that be constructed in accordance with the California Building Code and shall be without openings or penetrations. NOTE: The applicant, except upon any contractor or subcontractor is responsible for obtaining all the necessary permits and approvals to determine if any modification or upgrade of the existing water service is required. All work at California houses (C-30) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to the department for review and approval prior to beginning their work. CFC Sec. 903.2 is adopted and amended by C.E.M.A.:

1. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by the protection water supply. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor in supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water based fire protection systems, and, no fire suppression water supply systems or storage containers that may be physically connected in any manner to an applicant's capabilities of obtaining maintenance of the potable water supply of the purveyor of record. (Final approval of the system) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record and compliance with that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.2.5 and Health and Safety Code 131147

2. Timing of installations: When fire apparatus accessories or a water supply for fire protection is required to be installed, such protection shall be installed and made available prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary safety signs shall be installed at each street intersection when construction near roadways allows passage by vehicles in accordance with Section 905.2.2 CFC Sec. 904.4

3. The proposed installation shall comply with: 904.4.2.2 CFC Sec. 904.4.2

### PROJECT DIRECTORY

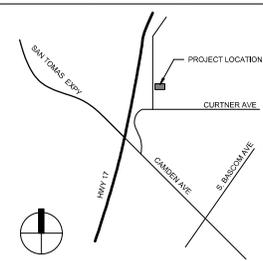
CLIENT: BLUE ARC ELECTRIC  
920 S. McGLINCY LANE  
CAMPBELL, CA 95008  
CHET BARRACLOUGH  
P (408) 285-5099  
E chet@bluearcelectric.com

ARCHITECT: EATON HALL ARCHITECTURE INC.  
1501 THE ALAMEDA, STE. 105  
SAN JOSE, CA 95125  
JEFFREY EATON, AIA  
P (408) 285-5095  
F (408) 285-8155  
E jef@ehaia.com

CIVIL ENGINEER: HMM ENGINEERS  
1520 DAVENANT RD.  
SAN JOSE, CA 95131  
BRENDRON CHRISTENSEN  
P (408) 487-2200  
E bchristens@hmm.com

LANDSCAPE ARCHITECT: GREGORY LEWIS LANDSCAPE ARCHITECT  
736 PARK WAY  
SANTA CRUZ, CA 95068  
GREG LEWIS  
P (831) 425-4747  
E lewis@greglewislandscape.com

### VICINITY MAP



### SHEET INDEX

| GENERAL INFORMATION                      | ARCHITECTURAL   |
|--|---|
| PA0.1 GENERAL INFORMATION                | PA1.0 EXISTING / PROPOSED SITE PLANS                        |
| PA0.2 BUILDING ACCESSIBILITY             | PA1.1 PROPOSED FIRE ACCESS PLAN                             |
| PA0.4 ACCESSIBILITY PLAN                 | PA1.2 ENLARGED SITE PLAN AND DETAILS                        |
|  | PA1.3 ENLARGED SITE PLAN, ELEVATIONS, AND DETAILS           |
| CML - ON SITE                            | PA2.1a EXISTING / PROPOSED FLOOR PLANS - OFFICE BUILDING    |
| C1.1 TITLE SHEET                         | PA2.1b PROPOSED FLOOR PLAN - (N) STORAGE BUILDING           |
| C1.2 NOTES AND DETAILS                   | PA2.2 EXISTING / PROPOSED ROOF PLAN - OFFICE BUILDING       |
| C1.3 SECTIONS                            | PA2.2a PROPOSED ROOF PLAN - (N) STORAGE BUILDING - PHASE 2  |
| C2.1 DEMOLITION PLAN                     | PA3.0a EXISTING / PROPOSED ELEVATIONS - OFFICE BUILDING     |
| C3.1 GRADING, DRAINAGE, AND UTILITY PLAN | PA3.0b PROPOSED ELEVATIONS - (N) STORAGE BUILDING - PHASE 2 |
| CA.1 BLUEPRINT FOR A CLEAN BAY           | PA3.0c FLOOR PLAN & ELEVATIONS OF (E) SITO, AND FENCE       |
|  | PA3.5 BUILDING SECTIONS                                     |
| CML - OFF SITE                           | LANDSCAPE   |
| C1.1 TITLE SHEET                         | L0 LANDSCAPE DOCUMENTATION                                  |
| C2 CITY STANDING DETAILS                 | L1 PLANTING PLAN  |
| C3 DEMOLITION & STREET PLAN VIEW         | L2 IRRIGATION PLAN  |
| 4 BLUEPRINT FOR A CLEAN BAY              | L3 LANDSCAPE DETAILS  |
|  | L4 LANDSCAPE SPECIFICATIONS                                 |



EATON HALL ARCHITECTURE

1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.255.6355  
A CALIFORNIA CORPORATION

1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.255.6355  
A CALIFORNIA CORPORATION

BLUE ARC ELECTRIC  
920 S. McGLINCY LN.  
CAMPBELL, CA 95008

| NO. | DESCRIPTION       | DATE |
|-----|-------------------|------|
| 1   | ISSUED FOR PERMIT |      |
| 2   | ISSUED FOR PERMIT |      |
| 3   | ISSUED FOR PERMIT |      |
| 4   | ISSUED FOR PERMIT |      |
| 5   | ISSUED FOR PERMIT |      |
| 6   | ISSUED FOR PERMIT |      |
| 7   | ISSUED FOR PERMIT |      |
| 8   | ISSUED FOR PERMIT |      |
| 9   | ISSUED FOR PERMIT |      |
| 10  | ISSUED FOR PERMIT |      |

Project Number: 17.079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

Sheet Title:  
GENERAL INFORMATION

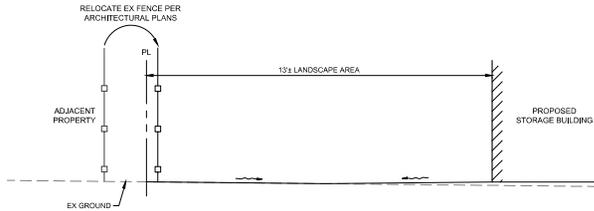
PA0.1



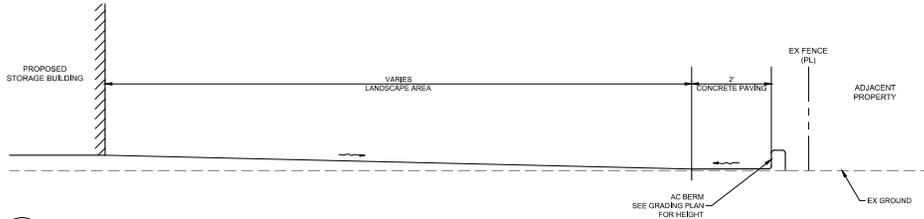




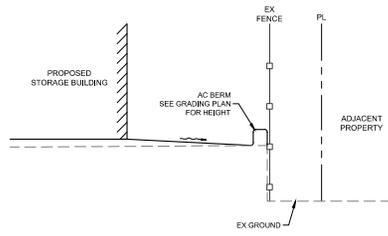




**C SECTION**  
NTS



**B SECTION**  
NTS



**A SECTION**  
NTS

|   |                    |                    |                    |
|---|--------------------|--------------------|--------------------|
| DATE: 03/07/2019  | DATE: 03/07/2019   | DATE: 03/07/2019   | DATE: 03/07/2019   |
| DRAWN BY: JAPRH   | DESIGNED BY: JAPRH | REVIEWED BY: JAPRH | REVIEWED BY: JAPRH |
| DATE: 03/07/2019  | DATE: 03/07/2019   | DATE: 03/07/2019   | DATE: 03/07/2019   |
| USE PERMIT COMMENTS   | COMMENT REVISIONS  | COMMENT REVISIONS  | COMMENT REVISIONS  |
| NO.   | REVISION           | DATE               | BY                 |
| <b>FOR REVIEW ONLY</b>  |                    |                    |                    |
| <br>1570 Oakland Road<br>San Jose, CA 95131<br>(408) 484-2700<br>hmh.com |                    |                    |                    |
| <br>PROFESSIONAL ENGINEER - CIVIL<br>No. 8893<br>State of California     |                    |                    |                    |
| <b>SECTIONS</b><br>ON-SITE IMPROVEMENT PLANS<br>920 SOUTH MCGLINCY LANE<br>BUILDING PERMIT NO. _____  |                    |                    |                    |
| <br>CITY OF CAMPBELL, CALIFORNIA                                       |                    |                    |                    |
| SCALE: NOT TO SCALE   |                    |                    |                    |
| SHEET: C.1.3  |                    |                    |                    |







**GENERAL NOTES**

- 1. ENCROACHMENT PERMIT**  
OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT BEFORE PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. MAINTAIN A COPY OF THE PERMIT ON THE JOB SITE AT ALL TIMES.
- 2. WORK CONFORMANCE REQUIREMENTS**  
THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CAMPBELL STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (CSCS) DATED JULY 1996, AND IN ACCORDANCE WITH THE PROJECT PLANS. ATTENTION IS ALSO DIRECTED TO THE CITY OF SAN JOSE STANDARD SPECIFICATIONS (SSS) AND STANDARD DETAILS (STD) DATED JULY 1992, THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS (SS) AND STANDARD PLANS (SP) DATED MAY 2008, PORTIONS OF WHICH ARE INCORPORATED INTO THE CDS BY REFERENCE.
- 3. WORK IN PUBLIC RIGHT-OF-WAY**  
THESE PLANS ONLY APPROVE WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND PUBLIC EASEMENTS. SEPARATE PLAN APPROVALS AND PERMITS ARE REQUIRED FOR INSTALLATION OF ANY PUBLIC UTILITY FACILITY, AND ANY WORK ON PRIVATE PROPERTY.

**4. CONTRACTOR RESPONSIBILITIES**  
THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE AND HOLD THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF THE WORK, EXCEPTING LIABILITY ARISING FROM THE NEGLIGENCE OF THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS.

**5. GEOGRAPHICAL CONDITIONS IDENTIFIED IN A REPORT ENTITLED "A PREPARED GEOGRAPHICAL CONDITIONS REPORT DATED 11/11/2010" BY THE REPORT PREPARED BY [REDACTED]**

**6. PROJECT SCHEDULE**  
PRIOR TO CONSTRUCTION, SUBMIT TO THE CITY ENGINEER A DETAILED PROJECT SCHEDULE SHOWING PRIMARY COMPONENTS OF WORK.

**7. UNDERGROUND SERVICE ALERT**  
CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT 800-227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY EXCAVATIONS. CONTRACTOR SHALL HAND DIG TO EXPOSE EXISTING UTILITIES. FAILURE TO COMPLY MAY RESULT IN SUBSTANTIAL PENALTIES IN ACCORDANCE WITH GOVERNMENT CODE SECTION 42.16.

**8. UNDERGROUND STRUCTURES**  
THE EXISTENCE AND LOCATIONS OF UNDERGROUND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING FACILITIES EXCEPT AS SHOWN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL SUBSTRUCTURES, WHETHER SHOWN ON THE PLANS OR NOT. MAKE EXPLORATORY EXCAVATIONS, AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THESE PLANS WHEN NECESSARY. THE CITY OF CAMPBELL MAKES NO GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.

**9. TRAFFIC CONTROL PLAN**  
PREPARE, SUBMIT TO THE CITY ENGINEER FOR REVIEW, AND IMPLEMENT TRAFFIC CONTROL PLANS AS REQUIRED IN THE STANDARD SPECIFICATIONS, PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES TO ENSURE SAFE PEDESTRIAN AND VEHICULAR ACCESS THROUGH AND AROUND THE JOB SITE. NOTIFY THE POLICE DEPARTMENT DAILY OF LANE CLOSURES OR DETOURS WITHIN ROADWAYS. PROVIDE A 24-HOUR EMERGENCY RESPONSE TELEPHONE NUMBER TO THE CITY ENGINEER.

**10. EROSION, DUST, AND DRAINAGE CONTROL**  
PROVIDE TEMPORARY EROSION, DUST AND DRAINAGE CONTROL MEASURES DURING CONSTRUCTION. FOLLOW BEST MANAGEMENT PRACTICES AS RECOMMENDED BY SANTA CLARA COUNTY NONPOINT SOURCE POLLUTION CONTROL PROGRAM. PRIOR TO CONCRETE SAWCUTTING OR WELDING, PLACE FILTER FABRIC MATERIAL IN THE FLOW LINE OF CUTTERS TO RETAIN DEBRIS AND TO PREVENT DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. PICK UP, SWEEP OR VACUUM, AND DISPOSE OF EXCESS SOIL AND DEBRIS FROM THE SITE. OBTAIN PERMITS AND PAY FEES REQUIRED TO DISPOSE OF EXCESS MATERIALS.

**11. PROTECTION AND REPAIR OF IMPROVEMENTS AND UTILITIES**  
TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS AND UTILITIES WHICH ARE TO REMAIN IN PLACE. EXPEDITIOUSLY REPAIR IN KIND IMPROVEMENTS AND UTILITIES REMOVED OR DAMAGED BY THE CONTRACTOR'S OPERATIONS.

**12. INCONSISTENCIES BETWEEN PLANS AND FIELD CONDITIONS**  
NOTIFY THE CITY ENGINEER IMMEDIATELY OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS. NO DEVIATION FROM THESE PLANS IS PERMITTED WITHOUT APPROVAL OF THE CITY ENGINEER.

**13. CONSTRUCTION STAKING**  
SUBMIT TWO SETS OF CONSTRUCTION STAKING CUT SHEETS TO THE CITY PRIOR TO INSPECTION OF WORK REQUIRING STAKING.

**14. INSTALLATION OF UNDERGROUND UTILITIES**  
INSTALL ALL UNDERGROUND UTILITIES IN PAVED AREAS PRIOR TO STARTING WORK ON NEW STREET STRUCTURAL SECTIONS OR OVERLAYS.

**15. IRRIGATION LINES IN PUBLIC RIGHT-OF-WAY**  
REMOVE, PLUG OR RELOCATE EXISTING IRRIGATION LINES WITHIN THE PUBLIC RIGHT-OF-WAY AS DIRECTED BY THE CITY ENGINEER. REMOVE ABANDONED IRRIGATION LINES WITHIN 12 INCHES OF THE GRADINGS PLANE.

**16. UNPAVED IMPROVED AREAS TO CONFORM**  
GRADE IMPROVED AREAS ADJACENT TO NEW CURBS, CUTTERS SIDEWALKS AND PAVEMENT TO CONFORM TO NEW IMPROVEMENTS AND TO PROVIDE FOR SAFETY AND DRAINAGE.

**17. STREET LIGHTS**  
NEW STREET LIGHTS SHALL BE 340 VOLT, P.O.A.E. REQUIRED FEES, PERMITS, INSTALLATIONS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER. PROVIDE A COPY OF P.O.A.E. RECEIPTS TO THE CITY ENGINEER.

**18. SURVEY REFERENCE POINTS**  
PROTECT OR RESTORE BY A LICENSED SURVEYOR CIVIL ENGINEER, SURVEY MONUMENTS AND BENCHMARKS DAMAGED OR DESTROYED DURING CONSTRUCTION. FILE CORNER RECORD OR RECORD OF SURVEY AS REQUIRED.

**19. AS BUILT PLANS**  
SUBMIT AS BUILT PLANS ON MYLARS, SIGNED BY THE ENGINEER OF WORK AND ACCEPTABLE TO THE CITY ENGINEER, PRIOR TO FINAL ACCEPTANCE.

**20. TRUCK ROUTE**  
THE TRUCK ROUTE SHALL BE \_\_\_\_\_

**21. UTILITY ENCROACHMENT PERMIT**  
OBTAIN SEPARATE PERMITS WITH EACH UTILITY COMPANY FOR THE INSTALLATION OF ALL UTILITIES THAT WILL SERVE THE ENCROACHMENT INCLUDING WATER, SEWER, GAS, ELECTRIC, ETC.). APPLICANT SHALL APPLY FOR AND PAY ALL NECESSARY FEES FOR UTILITY PERMITS FOR EACH UTILITY. SEWER, GAS, WATER, ELECTRIC AND ALL OTHER UTILITY WORK. THE PLAN SHALL CLEARLY SHOW THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND THE LOCATIONS OF NEW UTILITIES. INDICATE WHICH UTILITIES AND SERVICES ARE TO REMAIN, WHICH UTILITIES AND SERVICES ARE TO BE ABANDONED, AND WHERE NEW UTILITIES AND SERVICES WILL BE INSTALLED. JUMP TRENCHES FOR NEW UTILITIES SHALL BE USED WHENEVER POSSIBLE. THE LOCATIONS OF THE UTILITIES SHALL NOT DEVIATE FROM THE PROPOSED LOCATIONS ON THE OFF-SITE STREET IMPROVEMENT PLANS.

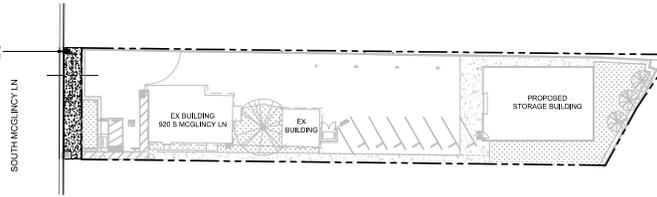
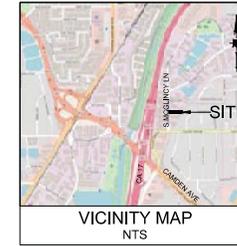
**22. STORM SEWER SYSTEM REQUIREMENTS**

- ALL STORM DRAIN LATERALS ARE TO BE 12" RCP UNLESS NOTED OTHERWISE.
- BOLT-DOWN MANHOLE COVERS SHALL BE USED WHEN MANHOLES ARE NOT LOCATED IN THE ROADWAY.
- CONTRACTOR SHALL PROVIDE VIDEO INSPECTION OF ALL NEWLY CONSTRUCTED STORM MAINS PRIOR TO PROJECT ACCEPTANCE.
- CONTRACTOR SHALL INSTALL NO DUMPING - FLOWS TO BAY" MEDALLIONS OR STENCILS AT ALL INLETS AND CATCH BASINS WITHIN THE PROJECT LIMITS.

# STREET IMPROVEMENT PLANS - OFF-SITE 920 SOUTH MCGLINCY LANE ENCROACHMENT PERMIT NO. \_\_\_\_\_



## CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS



**SITE MAP**  
SCALE: 1" = 30'

**INDEX OF DRAWINGS**

| TITLE                         | SHEET |
|-------------------------------|-------|
| TITLE SHEET                   | 1     |
| CITY STANDARD DETAILS         | 2     |
| DEMOLITION & STREET PLAN VIEW | 3     |
| BLUEPRINT FOR A CLEAN BAY     | 4     |

**AGENCY INDEX**

|   |                |
|---|----------------|
| SANTA CLARA COUNTY FIRE DEPARTMENT            | (408) 378-0101 |
| CITY OF CAMPBELL - PUBLIC WORKS               | (408) 866-2150 |
| CITY OF CAMPBELL - POLICE                     | (408) 866-2121 |
| AT&T  | (408) 989-2061 |
| PACIFIC GAS & ELECTRIC                        | (408) 743-5000 |
| SAN JOSE WATER COMPANY                        | (408) 278-7900 |
| SANTA CLARA VALLEY WATER DISTRICT             | (408) 285-2000 |
| COMCAST (BETWEEN 7:00AM AND 3:00PM)           | (408) 918-3245 |
| CONCAST (AFTER NORMAL WORKING HOURS)          | (408) 945-2288 |
| WEST VALLEY SANITATION DISTRICT               | (408) 376-2407 |
| UNITED STATES POSTAL SERVICE                  | (408) 378-8780 |
| WEST VALLEY COLLECTION & RECYCLING            | (408) 288-8500 |
| VALLEY TRANSPORTATION AUTHORITY - BUS SERVICE | (408) 321-5073 |

**ABBREVIATIONS**

|        |                             |      |                                   |
|--------|-----------------------------|------|-----------------------------------|
| AB     | AGGREGATE BASE              | PKE  | PUBLIC INGRESS EGRESS EASEMENT    |
| AC     | ASPHALT CONCRETE            | PL   | PROPERTY LINE                     |
| AG     | AGGREGATE BASE              | POC  | POINT ON CURVE                    |
| BC     | BEGIN CURVE                 | PRC  | POINT OF REVERSE CURVATURE        |
| BCR    | BEGIN CURB RETURN           | PSE  | PRIVATE STORM DRAIN EASEMENT      |
| BOW    | BACK OF WALK                | PSE  | PUBLIC SERVICE EASEMENT           |
| BWC    | BEGIN VERTICAL CURVE        | PUE  | PUBLIC UTILITY EASEMENT           |
| BW     | BOTTOM OF WALL              | PV   | POLYVINYL CHLORIDE                |
| CL     | CENTERLINE                  | PI   | POINT OF VERTICAL INTERSECTION    |
| CMU    | CONCRETE MASONRY UNIT       | R    | RADIUS                            |
| DA     | DRAINAGE                    | RCP  | REINFORCED CONCRETE PIPE          |
| DWV    | DRYWELL                     | RG   | ROUGH GRADE                       |
| ED     | EDGE CURVE                  | RSL  | ROCK SLOPE PROTECTION             |
| EGR    | EDGE CURB RETURN            | RW   | RIGHT OF WAY                      |
| EG     | EDGE DRAIN                  | RL   | RAIN WATER LEADER                 |
| EGG    | EXISTING GROUND             | SEW  | SEWER CLEAN OUT                   |
| EP     | EDGE OF PAVEMENT            | SD   | STORM DRAIN                       |
| EVC    | END VERTICAL CURVE          | SDCI | STORM DRAIN CURB INLET            |
| EX     | EXISTING                    | SOE  | STORM DRAIN EASEMENT              |
| FC     | FACE OF CURB                | SDFI | STORM DRAIN FIELD INLET           |
| FF     | FINISHED FLOOR              | SDJB | STORM DRAIN JUNCTION BOX          |
| FG     | FINISHED GRADE              | SDM  | STORM DRAIN MANHOLE               |
| FL     | FIRE HYDRANT                | SDNU | STORM DRAIN NONURBAN              |
| FL     | FLOW LINE                   | SRE  | STORM DRAIN RELEASE EASEMENT      |
| GB     | GRADE BREAK                 | SO   | SIDE OPENING                      |
| HP     | HIGH POINT                  | STA  | STATION                           |
| INV    | INVERT                      | SW   | SIDEWALK                          |
| IRR    | IRRIGATION                  | TC   | TOP OF CURB                       |
| LOL    | LAYOUT LINE                 | TC   | THEORETICAL TOP OF CURB           |
| LP     | LOW POINT                   | TD   | TOP OF DEPRESSIONED CURB          |
| MAX    | MAXIMUM                     | TDVC | TOP OF DEPRESSIONED VERTICAL CURB |
| MN     | MANHOLE                     | TEMP | TEMPORARY                         |
| MIR    | MIRRORED                    | TD   | TOP OF GRATE                      |
| NTS    | NOT TO SCALE                | TVC  | TOP OF VERTICAL CURB              |
| PA     | PLANTING AREA               | TP   | TOP OF WALL                       |
| PB     | PULL BOX                    | TV   | TYPICAL                           |
| PCC    | POINT OF COMPOUND CURVATURE | WM   | WATER METER                       |
| P.C.C. | PORTLAND CEMENT CONCRETE    |      |                                   |

**LEGEND**

| PROPOSED                      | EXISTING |
|-------------------------------|----------|
| ROOF DOWNSPOUT                |          |
| DIRECTION OF SURFACE DRAINAGE |          |
| SAW-CUT LINE                  |          |
| WATER LINE                    |          |
| SANITARY SEWER PIPE           |          |
| PROPERTY LINE                 |          |
| ROADWAY CENTERLINE            |          |
| FENCE                         |          |
| FIRE HYDRANT                  |          |

**BENCHMARK**

ELEVATION BY GPS (NAVD83)  
PT 700, SET CUT X, ELEV + 115.76', HELD ELEVATION FROM GPS  
SEE SITE MAP

**BASIS OF BEARINGS**

ASSUMED

**GENERAL APPROVAL NOTE:**

APPROVAL OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER/PRIORITIES OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION, PUBLIC UTILITIES REQUIRES A MODIFICATION OF THESE PLANS, OR THE STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF CAMPBELL, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE CONSTRUCTED, AT NO COST TO THE CITY.

**SEAL OF ENGINEER OF WORK:**

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8103 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR DESIGN OF THE PROJECT.

SIGNATURE \_\_\_\_\_ P.E. \_\_\_\_\_



MARTIN DEFORGE  
1670 OAKLAND RD, SAN JOSE, CA 95131  
TELEPHONE: 408-487-0200

AMY OLAY, P.E.  
CITY ENGINEER  
CITY OF CAMPBELL

Date \_\_\_\_\_

| NO. | DATE SUBMITTED | REVISION | BY | DATE       |
|-----|----------------|----------|----|------------|
| 1   | 10/06/2018     |          |    | 10/06/2018 |
| 2   | 10/11/2019     |          |    | 10/11/2019 |

DATE: 10/11/2019  
DRAWN BY: JPH  
DESIGNED BY: JPH  
REVIEWED BY: PUBLIC

**FOR REVIEW ONLY**

**TITLE SHEET**  
OFF-SITE IMPROVEMENT PLANS  
920 SOUTH MCGLINCY LANE  
ENCROACHMENT PERMIT NO. \_\_\_\_\_

CAMPBELL, CALIFORNIA

SCALE:  
AS SHOWN

SHEET:  
1

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS, ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

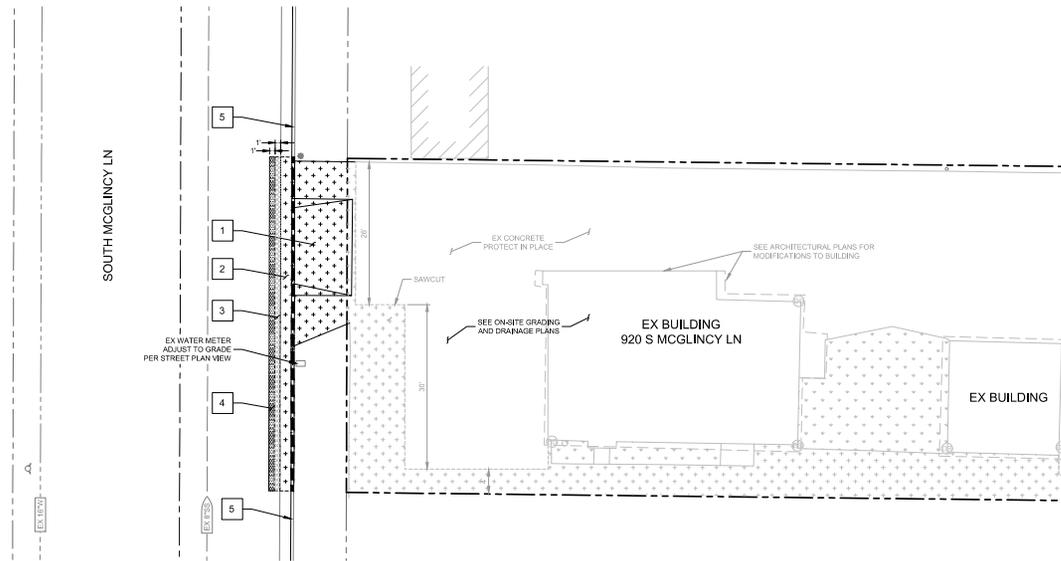




## DEMOLITION NOTES

- 1 REMOVE EX CONCRETE DRIVEWAY
- 2 REMOVE EX CONCRETE CURB AND GUTTER
- 3 REMOVE EX AC AND BASE (1 1/2" MIN) PER DETAIL A-3 ON SHEET 2
- 4 GRIND PAVEMENT PER DETAIL A-3 ON SHEET 2
- 5 EX CONCRETE CURB AND GUTTER TO REMAIN

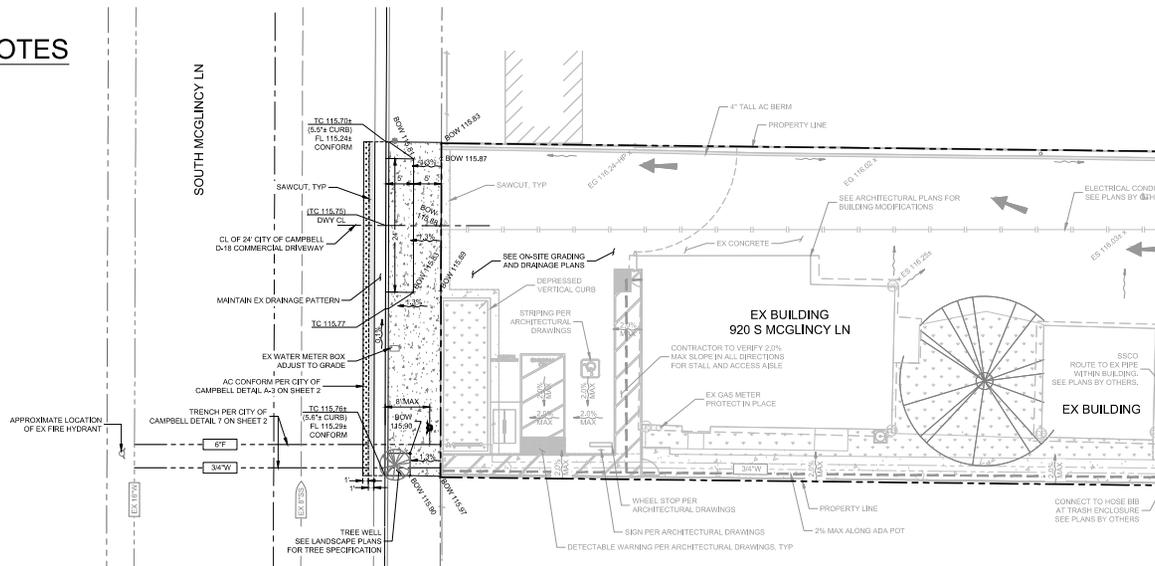
-  REMOVE CONCRETE
-  REMOVE AC PER DETAIL A-3 ON SHEET 2
-  GRIND AC PER DETAIL A-3 ON SHEET 2
-  REMOVE EX CURB



## STREET PLAN VIEW NOTES

1. SEE SHEET 2 FOR CITY OF CAMPBELL D-18 COMMERCIAL DRIVEWAY DETAIL

-  CONCRETE PAVING
-  REPLACE AC PER DETAIL A-3 ON SHEET 2
-  AC OVERLAY PER DETAIL A-3 ON SHEET 2



### PAVEMENT RESTORATION NOTE:

THE CITY ENGINEER RESERVES THE RIGHT TO AMEND OR CHANGE THE PAVEMENT RESTORATION AREA SHOULD ANY UTILITY TRENCHES, CONNECTIONS, FACILITIES, ETC. CHANGE IN LOCATION FROM WHAT ARE SHOWN ON THESE PLANS. OR FOR PAVEMENT DAMAGE CAUSED BY THE CONTRACTOR'S CONSTRUCTION EQUIPMENT. ANY CHANGES THE CITY ENGINEER REQUIRES CAN INCLUDE BUT ARE NOT LIMITED TO: FULL REMOVAL OF EXISTING PAVEMENT STRUCTURAL SECTION, INSTALLATION OF PAVEMENT STRUCTURAL SECTION, GRINDING AND INSTALLATION OF PAVEMENT, OVERLAY OF PAVEMENT.

|                         |                         |                         |                         |
|-------------------------|-------------------------|-------------------------|-------------------------|
| DATE                    | DATE                    | DATE                    | DATE                    |
| 06/06/2018              | 06/06/2018              | 06/06/2018              | 06/06/2018              |
| BY                      | BY                      | BY                      | BY                      |
|                         |                         |                         |                         |
| REVISION                | REVISION                | REVISION                | REVISION                |
| USE EXISTING SUBMITTALS | USE EXISTING SUBMITTALS | USE EXISTING SUBMITTALS | USE EXISTING SUBMITTALS |
| COMMENT REVISIONS       | COMMENT REVISIONS       | COMMENT REVISIONS       | COMMENT REVISIONS       |
| DATE: 01/14/2019        | DATE: 01/14/2019        | DATE: 01/14/2019        | DATE: 01/14/2019        |
| DRAWN BY: JPH/PH        | DRAWN BY: JPH/PH        | DRAWN BY: JPH/PH        | DRAWN BY: JPH/PH        |
| DESIGNED BY: JPH/PH     | DESIGNED BY: JPH/PH     | DESIGNED BY: JPH/PH     | DESIGNED BY: JPH/PH     |
| REVIEWED BY: JPH/PH     | REVIEWED BY: JPH/PH     | REVIEWED BY: JPH/PH     | REVIEWED BY: JPH/PH     |
| <b>FOR REVIEW ONLY</b>  |                         |                         |                         |



**FHMT**  
 (408) 882-9700  
 1570 Oakland Road  
 San Jose, CA 95131



**DEMOLITION & STREET PLAN VIEW**  
 OFF-SITE IMPROVEMENT PLANS  
 920 SOUTH MCGLINCY LANE  
 ENCROACHMENT PERMIT NO. \_\_\_\_\_



**CAMPBELL CALIFORNIA**

|          |
|----------|
| SCALE:   |
| 1" = 10' |
| SHEET:   |
| 3        |

**FRESH CONCRETE AND MORTAR APPLICATION**

**BEST MANAGEMENT PRACTICES FOR:**

- Sidewalk and bricklays
- Masonry construction crews
- Palm construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff.
- Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, roadways, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drains.
- Place hay bales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drains.
- When breaking up paving, be sure to pick up all the pieces and dispose properly.
- Recycle large chunks of broken concrete at a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.

**STORM DRAIN POLLUTION FROM MASONRY AND PAVING**

Fresh concrete and cement-related mortars that wash into lakes, streams, or otherwise enter to fish and the aquatic environment. Depositing of these materials to the storm drains or cracks causes serious problems and is prohibited by law.

**DURING CONSTRUCTION**

- Don't mix up most fresh concrete or cement from you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

**LANDSCAPING, GARDENING, AND POOL MAINTENANCE**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

**POOL/FOUNTAIN/SPA MAINTENANCE**

- Never discharge pool or spa water to a street or storm drain.
- OR
- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.
- Contact the local sewerage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sewer or sewer pipe cleanout junction.
- Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

**LANDSCAPING/GARDEN MAINTENANCE**

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.
- Dispose of unused pesticides as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave electronics and routine waste for pickup in approved bags or containers. Or, take to a landfill that accepts yard waste.
- Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

**STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE**

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

**HEAVY EQUIPMENT OPERATION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

**SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE**

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drip cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

**STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE**

Poorly maintained vehicles and heavy equipment leak fuel, oil, antifreeze or other fluids and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.

**PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES**

**BEST MANAGEMENT PRACTICES FOR THE: PAINTING/CLEANUP**

- Painters
- Paperhangers
- Plumbers
- Electricians
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

**WHAT CAN YOU DO?**

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Rinse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

**STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES**

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important to clean brushes in one area where possible can flow to a gutter, street, or storm drain.

**ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL**

**A. Criminal Penalties.** Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.

**B. Civil Penalties.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.

**C. Civil Liability.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.

**D. Remedies Cumulative.** The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

|     |            |    |     |
|-----|------------|----|-----|
| NO. | DATE       | BY | CHD |
| 1   | 01/11/2011 |    |     |
| 2   | 01/11/2011 |    |     |
| 3   | 01/11/2011 |    |     |
| 4   | 01/11/2011 |    |     |
| 5   | 01/11/2011 |    |     |
| 6   | 01/11/2011 |    |     |
| 7   | 01/11/2011 |    |     |
| 8   | 01/11/2011 |    |     |
| 9   | 01/11/2011 |    |     |
| 10  | 01/11/2011 |    |     |
| 11  | 01/11/2011 |    |     |
| 12  | 01/11/2011 |    |     |
| 13  | 01/11/2011 |    |     |
| 14  | 01/11/2011 |    |     |
| 15  | 01/11/2011 |    |     |
| 16  | 01/11/2011 |    |     |
| 17  | 01/11/2011 |    |     |
| 18  | 01/11/2011 |    |     |
| 19  | 01/11/2011 |    |     |
| 20  | 01/11/2011 |    |     |
| 21  | 01/11/2011 |    |     |
| 22  | 01/11/2011 |    |     |
| 23  | 01/11/2011 |    |     |
| 24  | 01/11/2011 |    |     |
| 25  | 01/11/2011 |    |     |
| 26  | 01/11/2011 |    |     |
| 27  | 01/11/2011 |    |     |
| 28  | 01/11/2011 |    |     |
| 29  | 01/11/2011 |    |     |
| 30  | 01/11/2011 |    |     |
| 31  | 01/11/2011 |    |     |
| 32  | 01/11/2011 |    |     |
| 33  | 01/11/2011 |    |     |
| 34  | 01/11/2011 |    |     |
| 35  | 01/11/2011 |    |     |
| 36  | 01/11/2011 |    |     |
| 37  | 01/11/2011 |    |     |
| 38  | 01/11/2011 |    |     |
| 39  | 01/11/2011 |    |     |
| 40  | 01/11/2011 |    |     |
| 41  | 01/11/2011 |    |     |
| 42  | 01/11/2011 |    |     |
| 43  | 01/11/2011 |    |     |
| 44  | 01/11/2011 |    |     |
| 45  | 01/11/2011 |    |     |
| 46  | 01/11/2011 |    |     |
| 47  | 01/11/2011 |    |     |
| 48  | 01/11/2011 |    |     |
| 49  | 01/11/2011 |    |     |
| 50  | 01/11/2011 |    |     |
| 51  | 01/11/2011 |    |     |
| 52  | 01/11/2011 |    |     |
| 53  | 01/11/2011 |    |     |
| 54  | 01/11/2011 |    |     |
| 55  | 01/11/2011 |    |     |
| 56  | 01/11/2011 |    |     |
| 57  | 01/11/2011 |    |     |
| 58  | 01/11/2011 |    |     |
| 59  | 01/11/2011 |    |     |
| 60  | 01/11/2011 |    |     |
| 61  | 01/11/2011 |    |     |
| 62  | 01/11/2011 |    |     |
| 63  | 01/11/2011 |    |     |
| 64  | 01/11/2011 |    |     |
| 65  | 01/11/2011 |    |     |
| 66  | 01/11/2011 |    |     |
| 67  | 01/11/2011 |    |     |
| 68  | 01/11/2011 |    |     |
| 69  | 01/11/2011 |    |     |
| 70  | 01/11/2011 |    |     |
| 71  | 01/11/2011 |    |     |
| 72  | 01/11/2011 |    |     |
| 73  | 01/11/2011 |    |     |
| 74  | 01/11/2011 |    |     |
| 75  | 01/11/2011 |    |     |
| 76  | 01/11/2011 |    |     |
| 77  | 01/11/2011 |    |     |
| 78  | 01/11/2011 |    |     |
| 79  | 01/11/2011 |    |     |
| 80  | 01/11/2011 |    |     |
| 81  | 01/11/2011 |    |     |
| 82  | 01/11/2011 |    |     |
| 83  | 01/11/2011 |    |     |
| 84  | 01/11/2011 |    |     |
| 85  | 01/11/2011 |    |     |
| 86  | 01/11/2011 |    |     |
| 87  | 01/11/2011 |    |     |
| 88  | 01/11/2011 |    |     |
| 89  | 01/11/2011 |    |     |
| 90  | 01/11/2011 |    |     |
| 91  | 01/11/2011 |    |     |
| 92  | 01/11/2011 |    |     |
| 93  | 01/11/2011 |    |     |
| 94  | 01/11/2011 |    |     |
| 95  | 01/11/2011 |    |     |
| 96  | 01/11/2011 |    |     |
| 97  | 01/11/2011 |    |     |
| 98  | 01/11/2011 |    |     |
| 99  | 01/11/2011 |    |     |
| 100 | 01/11/2011 |    |     |

# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

**EARTH MOVING ACTIVITIES**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Bulldozers, backhoes, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

**DURING CONSTRUCTION**

- Remove existing vegetation only when absolutely necessary.
- Consider planning temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect down-slope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

**GENERAL BUSINESS PRACTICES**

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

**DETECTING CONTAMINATED SOIL OR GROUNDWATER**

As you know, contamination of the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

**WATCH FOR ANY OF THESE CONDITIONS:**

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

**STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES**

Soil excavation and grading operations know large amounts of soil are often or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff eroding a site and slow the flow with check dams on roughened ground surfaces.

**ROADWORK AND PAVING**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Road Crews
- Heavy/industry/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment during paving
- Concrete mixers
- Construction inspectors
- General contractors
- Developers

**WHAT CAN YOU DO?**

- Develop and implement erosion/sediment control plans for earthwork.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

**DURING CONSTRUCTION**

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

**ROADWORK AND PAVING**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose at dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary rock or plastic sheets and berms.
- Catch debris from power with drip pans or absorbent material (cloth, rags, etc.) placed under machines when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over application of water tracks for dust control.
- Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
- Never hose down "dry" pavement or surfaces when materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain stampers. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting second around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
- Make sure portable toilets are in good working order. Check frequently for leaks.

**ASPHALT/CONCRETE REMOVAL**

- Avoid eroding excess dust when breaking asphalt or concrete.
- After breaking old pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Skewed or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drains during sweeping if necessary.
- Never hose down streets to clean up tracked dirt.

**STORM DRAIN POLLUTION FROM ROADWORK**

Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

**GENERAL CONSTRUCTION AND SITE SUPERVISION**

**BEST MANAGEMENT PRACTICES FOR THE:**

- Construction industry
  - Home builders
  - Developers
- WHAT CAN YOU DO?**
- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and be free of runoff.
  - Make major repairs off site.
  - Keep materials out of the rain-protected runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to street drains, creeks, or channels.
  - Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
  - Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
  - Never hose down "dry" pavement or surfaces when materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
  - Cover and maintain stampers. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting second around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
  - Make sure portable toilets are in good working order. Check frequently for leaks.

**STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES**

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

**BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION**

**Local Pollution Control Agencies**

- 1. Dial 911
- 2. Santa Clara Valley Water District Environmental Compliance Division (409) 927-0710
- 3. Governor's Office of Emergency Services Warning Center (800) 852-7350 (24 hours)
- Local Pollution Control Agencies
- Santa Clara County Office of Toxic and Solid Waste Management (408) 441-1195
- Santa Clara Valley Water District (408) 927-0710
- San Jose/Santa Clara Water Pollution Control Plant (408) 943-5300
- Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga
- San Jose/Santa Clara Water Pollution Control Plant (408) 736-7270
- Palo Alto Regional Water Quality Control Plant (415) 325-2598
- Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

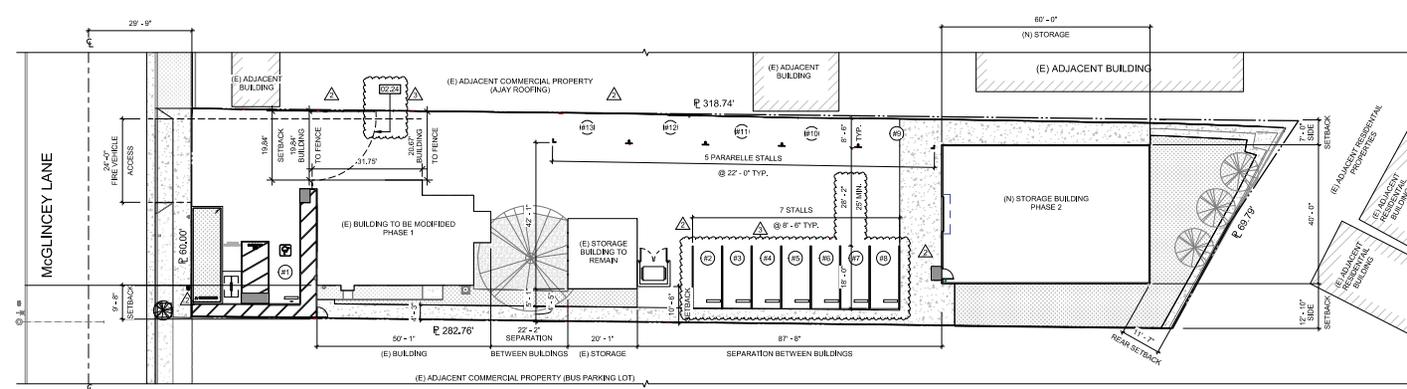
Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

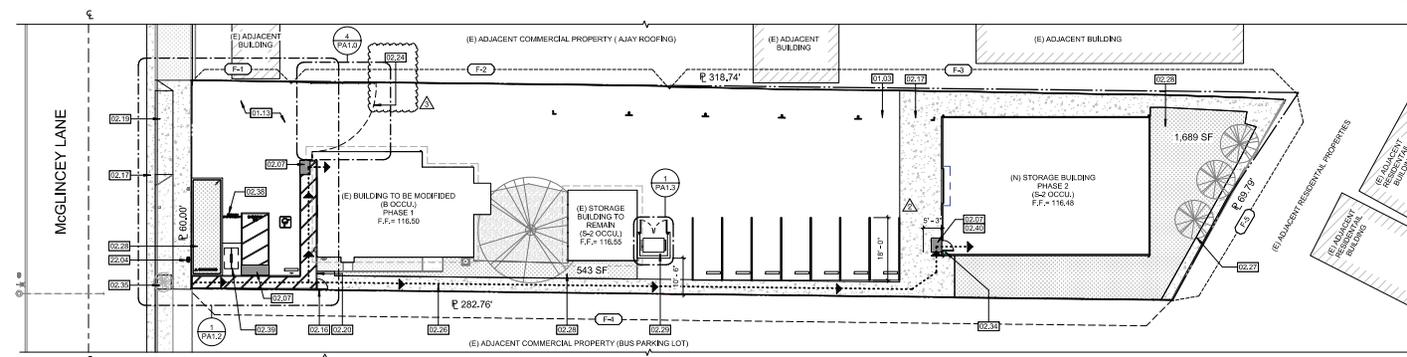
**BLUEPRINT FOR A CLEAN BAY**  
**OFF-SITE IMPROVEMENT PLANS**  
**920 SOUTH MCGLINCY LANE**  
**ENCROACHMENT PERMIT NO.**

SCALE:  
 NOT TO SCALE

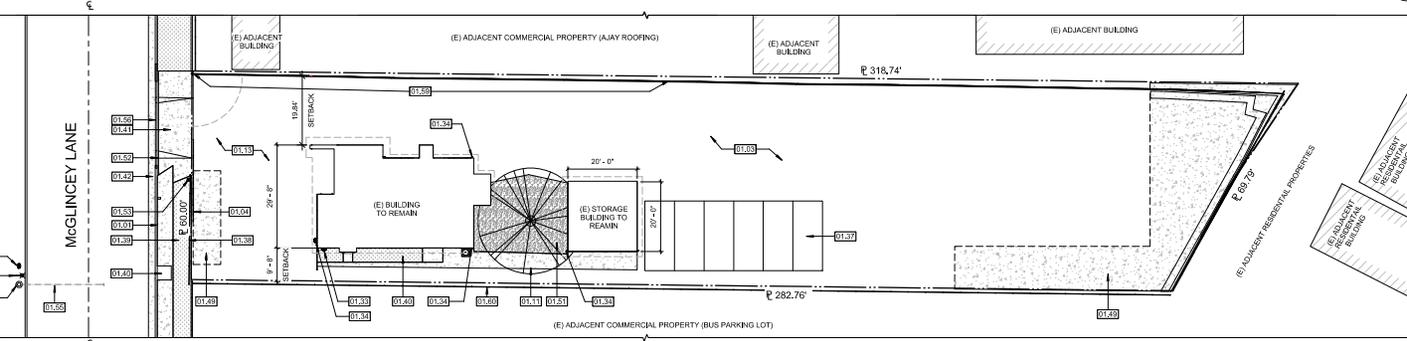
SHEET:  
 4



PROPOSED DIMENSION PLAN 3  
1/16" = 1'-0"



PROPOSED SITE PLAN 2  
1/16" = 1'-0"



EXISTING / DEMO SITE PLAN 1  
1/8" = 1'-0"

### LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- PARKING COUNT

### FENCE TYPE LEGEND

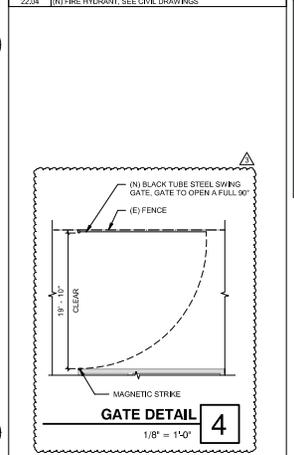
- F-1 8' BARBED WIRE FENCE TO BE REPLACED WITH 6' CHAIN LINK FENCE W/ GREEN VINYL SLATS, RELOCATED TO PROPERTY LINE
- F-2 6' CHAIN LINK ROLLING GATE TO BE REMOVED
- F-3 6' CHAIN LINK FENCE W/ BARBED WIRE TO BE REPLACED WITH 6' CHAIN LINK FENCE W/ GREEN VINYL SLATS
- F-4 6' CHAIN LINK FENCE TO BE REPLACED ON PROPERTY LINE
- F-5 6' PTF FENCE

### KEY NOTES

- 01.01 (E) CURB TO REMAIN
- 01.03 (E) CONCRETE PAVING TO REMAIN
- 01.04 (E) CHAIN LINK ROLLING GATE TO BE REMOVED
- 01.11 (E) TREE TO REMAIN
- 01.13 (E) CONCRETE DRIVEWAY
- 01.33 (E) GAS METER TO REMAIN
- 01.34 (E) DOWNSPOUT TO REMAIN
- 01.37 (E) SHIPRING CONTAINERS (TEMPORARY)
- 01.38 (E) CHAIN LINK FENCE TO BE REMOVED
- 01.39 (E) LANDSCAPE AREA TO BE REMOVED
- 01.40 (E) LANDSCAPE AREA TO REMAIN
- 01.41 (E) CONCRETE DRIVEWAY TO BE REMOVED
- 01.42 (E) CONCRETE CURB AND GRITTER TO BE REMOVED
- 01.46 (E) CONCRETE PAVING TO BE REMOVED FOR (N) LANDSCAPE
- 01.51 (E) GRAVEL AREA
- 01.52 (E) WATER METER
- 01.53 (E) IRRIGATION VALVES STUBS
- 01.54 (E) POWER POLE
- 01.55 (E) OVERHEAD POWER FEED
- 01.56 (E) CURB TO BE DEMOLISHED
- 01.57 (E) STREET LIGHT
- 01.58 (E) FIRE HYDRANT
- 01.59 PARTIAL (E) FENCE TO BE RELOCATED TO PROPERTY LINE. SEE 20A1 FOR FENCE SPECIFICATION
- 01.60 (E) CHAIN LINK FENCE TO BE REPLACED ON PROPERTY LINE
- 02.07 (N) 8' TRUNCATED DOME BORDER, PER 118 705, REFER TO 20A1
- 02.16 (N) ACCESSIBLE MAN GATE
- 02.17 (N) CONCRETE PAVING, SEE CIVIL DRAWINGS
- 02.19 (N) CONCRETE DRIVEWAY
- 02.20 (N) 6" TUBE STEEL FENCE BLANK WITH ACCESSIBLE MAN GATE OPEN TO A FULL 90°. SEE DETAIL BELOW
- 02.21 (N) UNDERGROUND UNDERGROUND FIRE LINE, REPLACE THE CONCRETE ALONG SOUTH PROPERTY LINE AND REPLACE WITH SLOPE "AWAY" 2% MAX SLOPE, FROM PROPERTY LINE (NO VERTICAL CURB)
- 02.26 (N) UNDERGROUND UNDERGROUND FIRE LINE, REPLACE THE CONCRETE ALONG SOUTH PROPERTY LINE AND REPLACE WITH SLOPE "AWAY" 2% MAX SLOPE, FROM PROPERTY LINE (NO VERTICAL CURB)
- 02.27 (N) TREES, SEE LANDSCAPE DRAWINGS
- 02.28 (N) LANDSCAPE
- 02.29 (N) TRASH ENCLOSURE FIRE BRINKS (INCLUDE)
- 02.34 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.35 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.38 (N) MOTORCYCLE PARKING
- 02.39 (N) BICYCLE PARKING
- 02.40 LAMEN AT FOUR SHALL BE AT THE SAME ELEVATION AT BOTH SIDES OF THE DOOR AND LEVEL. EXTERIOR LAMENGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2% SLOPE, PER CBC 1010.15
- 22.04 (N) FIRE HYDRANT, SEE CIVIL DRAWINGS

### KEY NOTES

- 01.01 (E) CURB TO REMAIN
- 01.03 (E) CONCRETE PAVING TO REMAIN
- 01.04 (E) CHAIN LINK ROLLING GATE TO BE REMOVED
- 01.11 (E) TREE TO REMAIN
- 01.13 (E) CONCRETE DRIVEWAY
- 01.33 (E) GAS METER TO REMAIN
- 01.34 (E) DOWNSPOUT TO REMAIN
- 01.37 (E) SHIPRING CONTAINERS (TEMPORARY)
- 01.38 (E) CHAIN LINK FENCE TO BE REMOVED
- 01.39 (E) LANDSCAPE AREA TO BE REMOVED
- 01.40 (E) LANDSCAPE AREA TO REMAIN
- 01.41 (E) CONCRETE DRIVEWAY TO BE REMOVED
- 01.42 (E) CONCRETE CURB AND GRITTER TO BE REMOVED
- 01.46 (E) CONCRETE PAVING TO BE REMOVED FOR (N) LANDSCAPE
- 01.51 (E) GRAVEL AREA
- 01.52 (E) WATER METER
- 01.53 (E) IRRIGATION VALVES STUBS
- 01.54 (E) POWER POLE
- 01.55 (E) OVERHEAD POWER FEED
- 01.56 (E) CURB TO BE DEMOLISHED
- 01.57 (E) STREET LIGHT
- 01.58 (E) FIRE HYDRANT
- 01.59 PARTIAL (E) FENCE TO BE RELOCATED TO PROPERTY LINE. SEE 20A1 FOR FENCE SPECIFICATION
- 01.60 (E) CHAIN LINK FENCE TO BE REPLACED ON PROPERTY LINE
- 02.07 (N) 8' TRUNCATED DOME BORDER, PER 118 705, REFER TO 20A1
- 02.16 (N) ACCESSIBLE MAN GATE
- 02.17 (N) CONCRETE PAVING, SEE CIVIL DRAWINGS
- 02.19 (N) CONCRETE DRIVEWAY
- 02.20 (N) 6" TUBE STEEL FENCE BLANK WITH ACCESSIBLE MAN GATE OPEN TO A FULL 90°. SEE DETAIL BELOW
- 02.21 (N) UNDERGROUND UNDERGROUND FIRE LINE, REPLACE THE CONCRETE ALONG SOUTH PROPERTY LINE AND REPLACE WITH SLOPE "AWAY" 2% MAX SLOPE, FROM PROPERTY LINE (NO VERTICAL CURB)
- 02.26 (N) UNDERGROUND UNDERGROUND FIRE LINE, REPLACE THE CONCRETE ALONG SOUTH PROPERTY LINE AND REPLACE WITH SLOPE "AWAY" 2% MAX SLOPE, FROM PROPERTY LINE (NO VERTICAL CURB)
- 02.27 (N) TREES, SEE LANDSCAPE DRAWINGS
- 02.28 (N) LANDSCAPE
- 02.29 (N) TRASH ENCLOSURE FIRE BRINKS (INCLUDE)
- 02.34 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.35 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.38 (N) MOTORCYCLE PARKING
- 02.39 (N) BICYCLE PARKING
- 02.40 LAMEN AT FOUR SHALL BE AT THE SAME ELEVATION AT BOTH SIDES OF THE DOOR AND LEVEL. EXTERIOR LAMENGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2% SLOPE, PER CBC 1010.15
- 22.04 (N) FIRE HYDRANT, SEE CIVIL DRAWINGS



1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.265.6155  
A CALIFORNIA CORPORATION

BLUE ARC ELECTRIC  
920 S. MCGLINCEY LN.  
CAMPBELL, CA 95008  
CLIENT: BLUE ARC ELECTRIC  
CONDITIONAL USE PERMIT APPLICATION

| REV.# | DESCRIPTION      | DATE |
|-------|------------------|------|
| 1     | ISSUE FOR PERMIT |      |
| 2     | ISSUE FOR PERMIT |      |
| 3     | ISSUE FOR PERMIT |      |
| 4     | ISSUE FOR PERMIT |      |

Project Number: 17.079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

Sheet Title:  
EXISTING /  
PROPOSED  
SITE PLANS

PA1.0



**LEGEND**

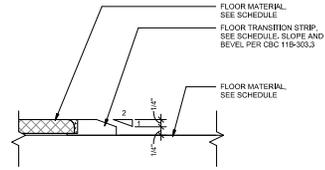


**KEY NOTES**

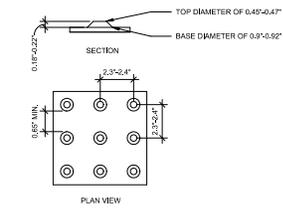
|       |   |
|-------|---|
| 01.52 | (E) WATER METER   |
| 01.53 | (E) IRRIGATION VALVES/STUBS                                 |
| 02.01 | (N) LANDSCAPE AREA, SEE CIVIL DRAWINGS                      |
| 02.04 | (N) 6" CONC. CURB   |
| 02.05 | (N) ACCESSIBLE SYMBOL                                       |
| 02.06 | (N) CONCRETE WHEEL STOP TYP.                                |
| 02.07 | (N) 30" TRUNCATED DOME BORDER, PER 11B 705, REFER TO APP1.2 |
| 02.08 | (N) ACCESSIBLE PARKING SIGNAGE                              |
| 02.22 | (N) FIRE DEPARTMENT EQUIPMENT (DOCV, FDC & PVI/F REQUIRED)  |
| 02.31 | (N) DRIVEWAY  |
| 02.32 | (N) TYPICAL STEEL BLACK FENCE                               |
| 02.33 | (N) TREE WELL, SEE LANDSCAPE DRAWINGS                       |
| 02.37 | ACCESSIBLE PATH OF TRAVEL, 2% MAX. CROSS SLOPE, TYP.        |
| 02.38 | (N) MOTORCYCLE PARKING                                      |
| 02.39 | (N) BICYCLE PARKING   |

**KEY NOTES**

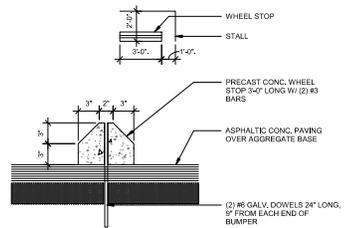
|       |   |
|-------|---|
| 02.40 | LANDING AT DOOR SHALL BE AT THE SAME ELEVATION AT BOTH SIDES OF THE DOOR AND LEVEL. EXTERIOR LANDING SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2% SLOPE, PER CBC 101.13. |
| 08.12 | (N) ACCESSIBLE ENTRY DOOR, 14" MAXIMUM VERTICAL CHANGE IN LEVEL SHALL BE PERMITTED WITHOUT EDGE TREATMENT PER BOB11000.2 REFER TO APP1.2  |
| 08.13 | (N) ACCESSIBLE GATE, 36" WIDTH, PER CBC 11B-406.  |
| 22.01 | (N) FIRE HYDRANT, SEE CIVIL DRAWINGS  |



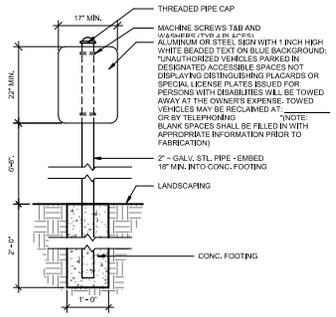
**BEVELED FLOOR TRANSITION** 5  
12" = 1'-0"



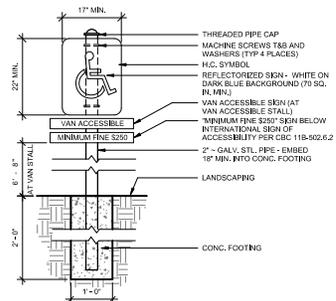
**TRUNCATED DOME DETAIL** 4  
3" = 1'-0"



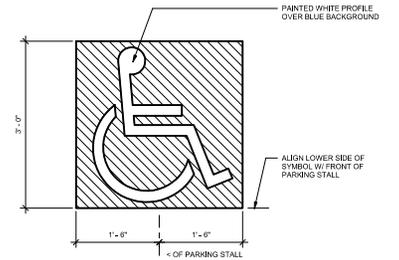
**WHEEL STOP DETAIL** 3  
1 1/2" = 1'-0"



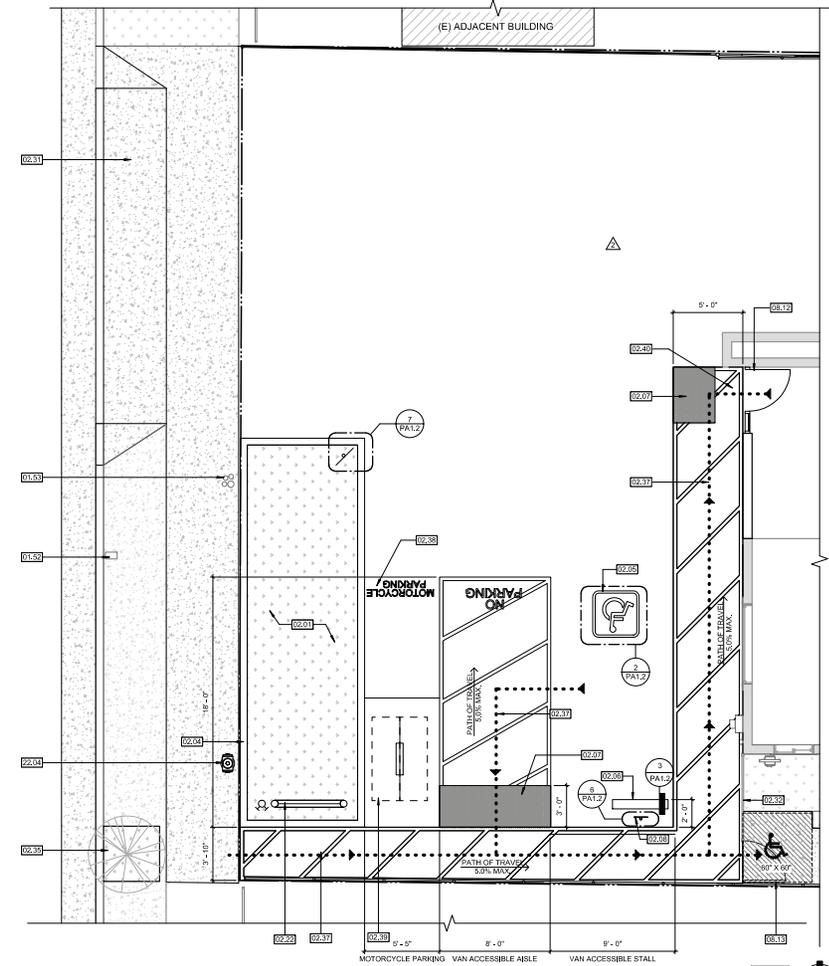
**ENTRANCE ACCESSIBLE SIGNAGE** 7  
3/4" = 1'-0"



**ACCESSIBLE PARKING SIGNAGE** 6  
3/4" = 1'-0"



**ACCESSIBLE SYMBOL** 2  
1" = 1'-0"



**ENLARGED PLAN** 1  
1/4" = 1'-0"



1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.265.6355  
A CALIFORNIA CORPORATION

**BLUE ARC ELECTRIC**  
920 S. McGLINCY LN.  
CAMPBELL, CA 95008  
CLIENT: BLUE ARC ELECTRIC

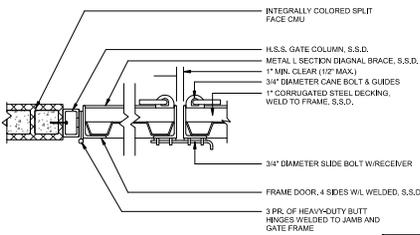
| REV.# | DESCRIPTION    | DATE |
|-------|----------------|------|
| 1     | CONTRACT MARKS |      |
| 2     | CONTRACT MARKS |      |
| 3     | CONTRACT MARKS |      |

Project Number: 17.079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

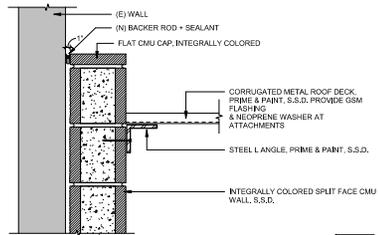
Sheet Title:  
**ENLARGED SITE PLAN AND DETAILS**

**PA1.2**

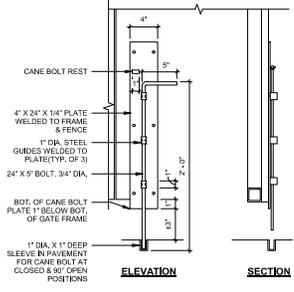
| KEY NOTES |   |
|-----------|---|
| 04.01     | CEMENT PLASTER O' CMU TYP.  |
| 05.04     | CORRUGATED METAL ROOF WITH G.S.M. FLASHING WITH FASTENER AND NIPERINE WASHER, PRIME & PAINT |
| 21.01     | 3/4" DIA. CANE BOLT TYP.  |
| 21.02     | 3/4" DIA. DROP BOLT TYP. SEE DETAIL 8/PA1.3   |



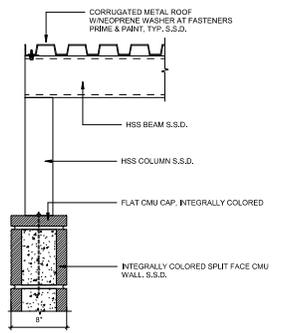
**TRASH ENCLOSURE GATE JAMB**  
1" = 1'-0" **10**



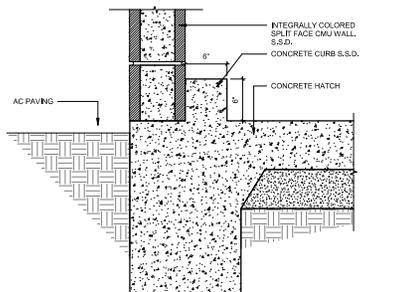
**DETAIL @ CMU PARAPET**  
1 1/2" = 1'-0" **9**



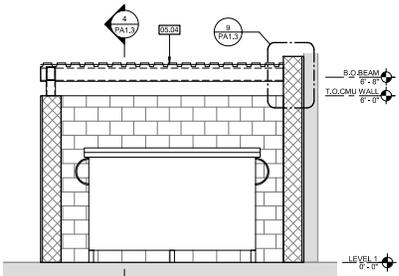
**CANE BOLT DETAIL**  
1 1/2" = 1'-0" **8**



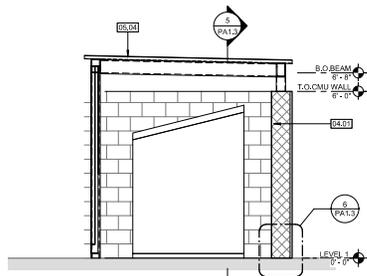
**WALL SECTION - TRASH ENCLOSURE TOP**  
1 1/2" = 1'-0" **7**



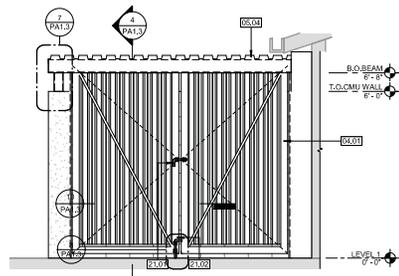
**WALL SECTION - TRASH ENCLOSURE BASE**  
1 1/2" = 1'-0" **6**



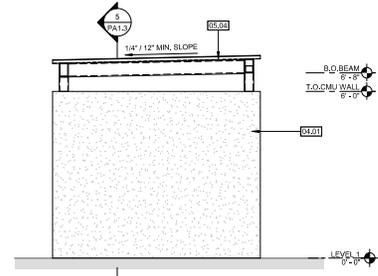
**SECTION 2 - TRASH ENCLOSURE**  
1/2" = 1'-0" **5**



**SECTION 1 - TRASH ENCLOSURE**  
1/2" = 1'-0" **4**

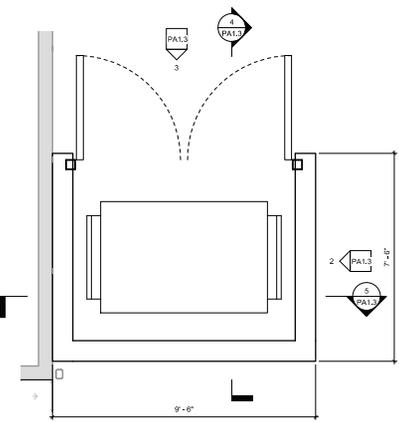


**NORTH ELEVATION - TRASH ENCLOSURE**  
1/2" = 1'-0" **3**



**EAST ELEVATION - TRASH ENCLOSURE**  
1/2" = 1'-0" **2**

**NOTE:**  
**TRASH ENCLOSURE**  
**SHALL BE FIRE**  
**SPRINKLERED**



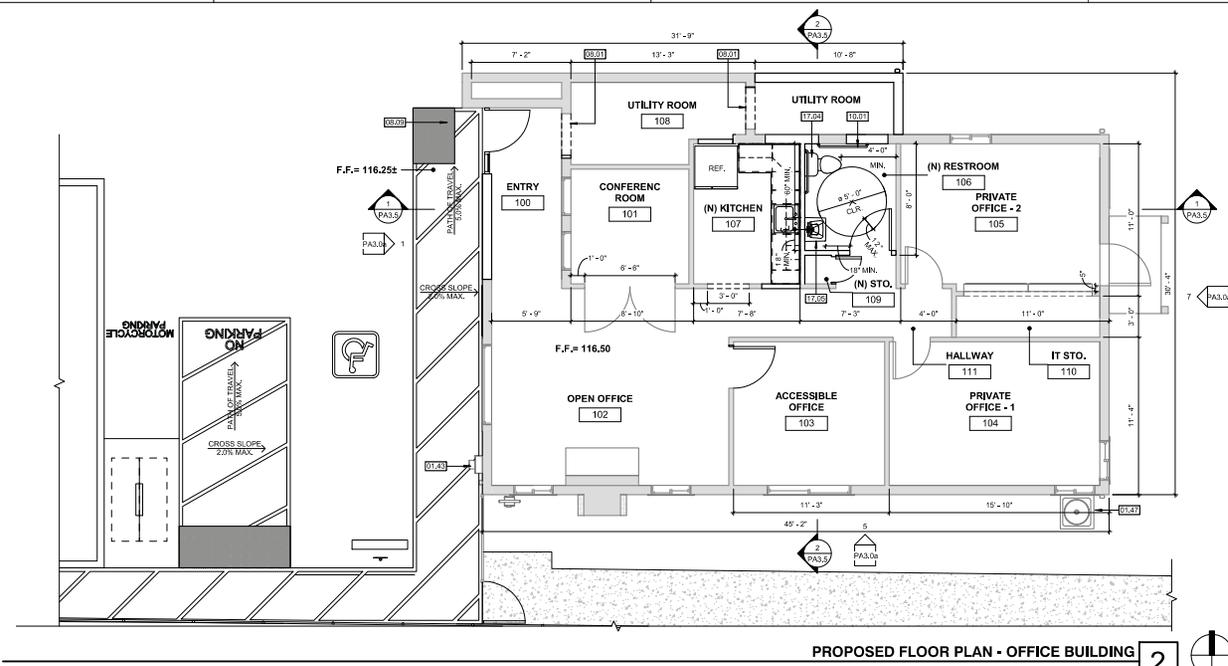
**ENLARGED PLAN - TRASH ENCLOSURE**  
1/2" = 1'-0" **1**

| REV.# | DESCRIPTION        | DATE |
|-------|--------------------|------|
| 1     | ISSUED FOR PERMITS |      |
| 2     | ISSUED FOR PERMITS |      |
| 3     | ISSUED FOR PERMITS |      |
| 4     | ISSUED FOR PERMITS |      |
| 5     | ISSUED FOR PERMITS |      |

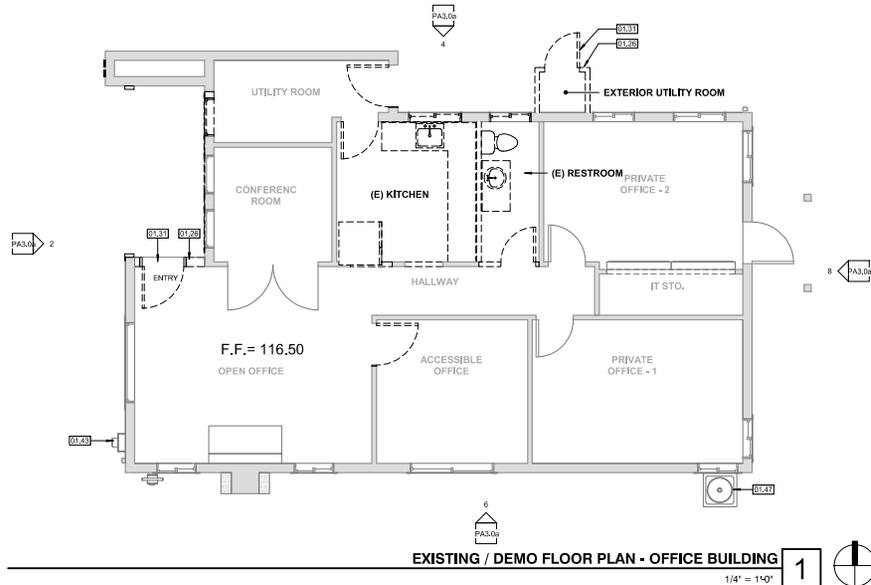
Project Number: 17.079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

Sheet Title:  
**ENLARGED**  
**SITE PLAN,**  
**ELEVATIONS,**  
**AND DETAILS**

**PA1.3**



PROPOSED FLOOR PLAN - OFFICE BUILDING 2  
1/4" = 1'-0" 2



EXISTING / DEMO FLOOR PLAN - OFFICE BUILDING 1  
1/4" = 1'-0" 1

### WALL LEGEND

- (E) WALL TO REMAIN
- - - - (E) WALL TO BE DEMOLISHED
- (E) DOOR TO REMAIN
- - - - (E) DOOR TO BE REMOVED
- (N) WALL TO MATCH ADJACENT
- (N) DOOR
- AXXX SYMBOL FOR EXTERIOR ELEVATION
- F.F.# FLOOR HEIGHT CALL-OUT

### KEY NOTES

|       |   |
|-------|---|
| 01.26 | (E) WALL TO BE DEMOLISHED   |
| 01.31 | (E) DOOR TO BE REMOVED  |
| 01.43 | (E) ELECTRIC METER TO REMAIN  |
| 01.47 | (E) CONDENSING UNIT TO REMAIN   |
| 08.01 | (N) LASED OPENING   |
| 08.09 | (N) ACCESSIBLE ENTRY DOOR + SIDE LIGHT, 14" MAXIMUM VERTICAL CHANGE IN LEVEL SHALL BE PERMITTED WITHOUT EDGE TREATMENT PER 2010-01-02 REFER TO APPA 5.2 |
| 10.01 | GRAB BAR, REFER TO DETAIL 8PA2.5 FOR FURTHER ACCESSIBILITY REQUIREMENTS AND DIMENSIONS  |
| 17.04 | (N) ACCESSIBLE TOILET, REFER TO DETAIL 8PA2.5 FOR FURTHER ACCESSIBILITY REQUIREMENTS AND DIMENSIONS   |
| 17.06 | (N) ACCESSIBLE WALL-MOUNTED SINK, REFER TO DETAIL 8PA2.5 FOR FURTHER ACCESSIBILITY REQUIREMENTS AND DIMENSIONS  |

EATON HALL ARCHITECTURE  
1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.265.6155  
A CALIFORNIA CORPORATION

BLUE ARC ELECTRIC  
920 S MCGILVERY LN.  
CAMPBELL, CA 95008  
CLIENT: BLUE ARC ELECTRIC  
CONDITIONAL USE PERMIT APPLICATION

| REV.# | DESCRIPTION       | DATE | BY | CHKD BY |
|-------|-------------------|------|----|---------|
| 1     | ISSUED FOR PERMIT |      |    |         |

Project Number: 17.079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

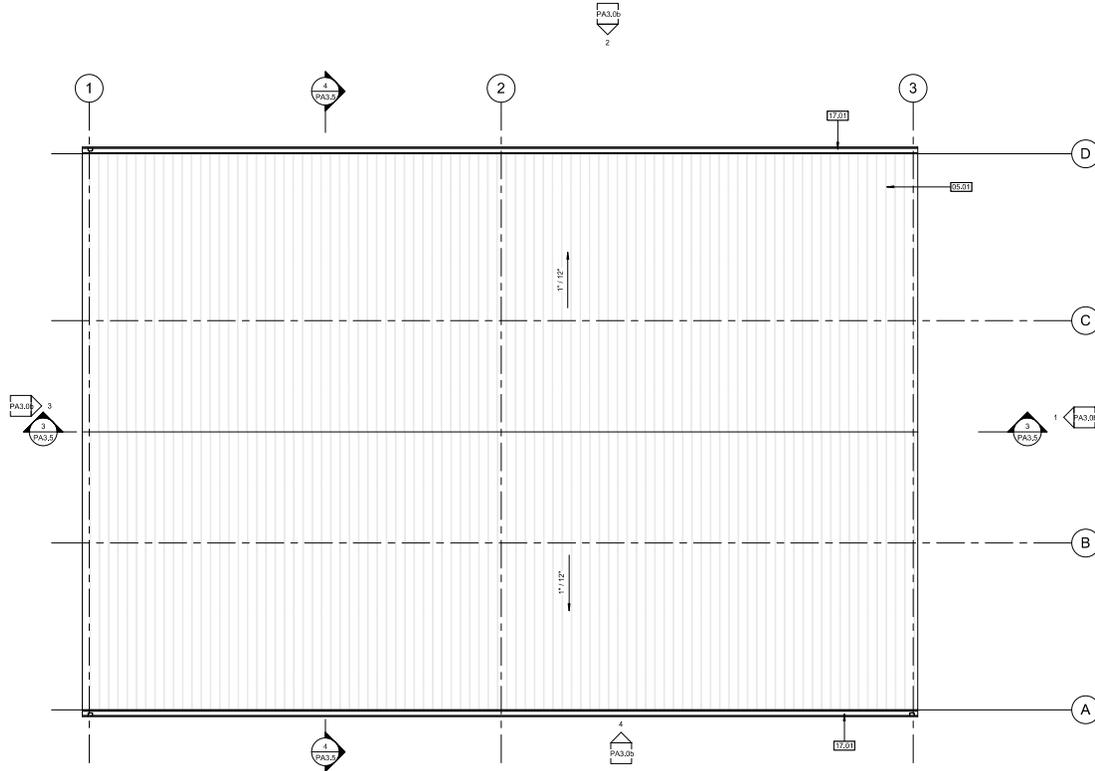
Sheet Title:  
EXISTING /  
PROPOSED  
FLOOR PLANS -  
OFFICE  
BUILDING  
**PA2.1a**





10/20/17 2:23:47 PM

© 2015 Eaton Hall Architecture, Inc.



PROPOSED ROOF PLAN - (N) STORAGE BUILDING - PHASE 2

1/4" = 1'-0"



### WALL LEGEND



### KEY NOTES

- 06.01 (N) COLORED STANDING SEAM METAL ROOF SYSTEM PER MANUFACTURER'S SPECIFICATIONS
- 17.01 (N) PAINTED GSM GUTTER SYSTEM W/PAINTE DOWNSPOUTS



EATON HALL ARCHITECTURE

1501 The Alameda, Ste 105  
 San Jose, CA 95126  
 TEL 408.265.5255  
 FAX 408.265.6155  
 A CALIFORNIA CORPORATION

BLUE ARC ELECTRIC  
 920 S McGLINCY LN.  
 CAMPBELL, CA 95008

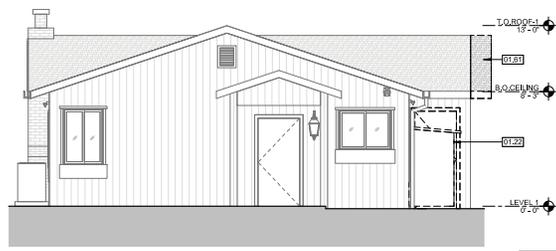
CLIENT: BLUE ARC ELECTRIC  
 CONDITIONAL USE PERMIT APPLICATION

| REV.# | DESCRIPTION       | DATE     |
|-------|-------------------|----------|
| 1     | ISSUED FOR PERMIT | 10/20/17 |

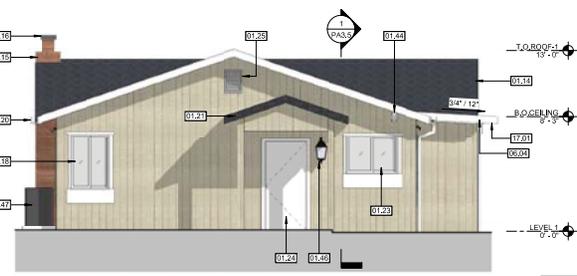
Project Number: 17.079  
 Date: OCTOBER 01, 2017  
 Drawn by: JP  
 Checked by: JE

Sheet Title:  
 PROPOSED  
 ROOF PLAN -  
 (N) STORAGE  
 BUILDING -  
 PHASE 2

# PA2.2b



EXISTING / DEMO EAST ELEVATION - OFFICE BUILDING 8  
1/4" = 1'-0"

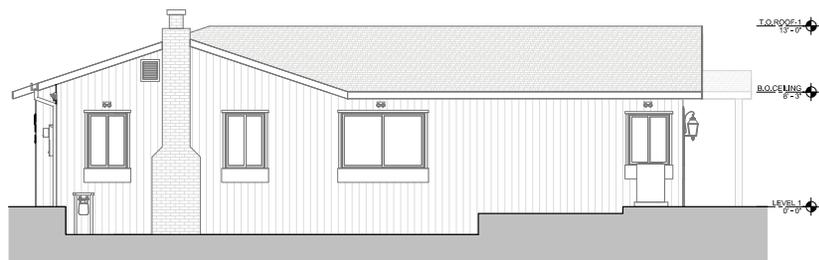


PROPOSED EAST ELEVATION - OFFICE BUILDING 7  
1/4" = 1'-0"

### KEY NOTES

|       |   |
|-------|---|
| 01.14 | (E) ROOF TO REMAIN  |
| 01.15 | (E) BRICK CHIMNEY TO REMAIN   |
| 01.16 | (E) SPARK ARRESTOR TO REMAIN  |
| 01.17 | (E) WOOD SIDING TO REMAIN   |
| 01.18 | (E) WINDOW TO REMAIN  |
| 01.19 | (E) EXTERIOR LIGHT FIXTURE W/ MOTION SENSOR TO REMAIN   |
| 01.20 | (E) GUTTER SYSTEM W/DOWNSPOUT TO REMAIN   |
| 01.21 | (E) COVERED PORCH TO REMAIN   |
| 01.22 | (E) WATER HEATER SHED TO BE REMOVED   |
| 01.23 | (E) WINDOW TO BE REMOVED  |
| 01.24 | (E) DOOR TO REMAIN  |
| 01.25 | (E) PATIO SLAB TO REMAIN  |
| 01.43 | (E) ELECTRIC METER TO REMAIN  |
| 01.44 | (E) SECURITY CAMERA TO REMAIN   |
| 01.45 | (E) SLOOD TO REMAIN   |
| 01.46 | (E) EXTERIOR LIGHT FIXTURE TO REMAIN  |
| 01.47 | (E) CONDENSING UNIT TO REMAIN   |
| 01.48 | (E) GAS METER TO REMAIN   |
| 01.61 | (E) ROOF OVERHANGS TO BE REMOVED  |
| 02.30 | (N) BUILDING ADDRESSING TO COMPLY WITH SC903  |
| 02.41 | (N) FIRE DEPARTMENT KNOCK BOX TO BE REMOVED   |
| 08.09 | (N) ACCESSIBLE ENTRY DOOR - SIDE LIGHT, 1/4" MAXIMUM VERTICAL CHANGE IN LEVEL SHALL BE PERMITTED WITHOUT EDGE TREATMENT PER BCB 1B-303.2 REFER TO 45PA1.2 |
| 16.02 | (N) EXTERIOR WALL-COUNTED LIGHT FIXTURE   |
| 17.01 | (N) PAINTED GSM GUTTER SYSTEM W/PAINTEED DOWNSPOUTS   |

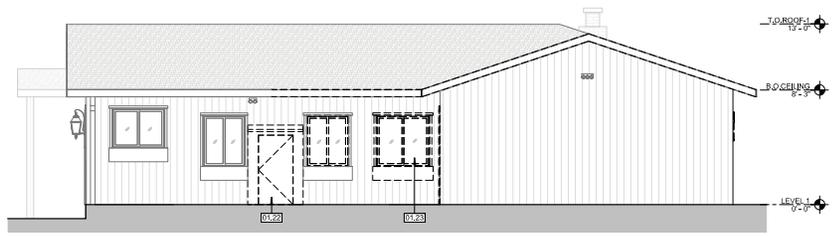
**ena**  
EATON HALL ARCHITECTURE  
1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.265.6155  
A CALIFORNIA CORPORATION



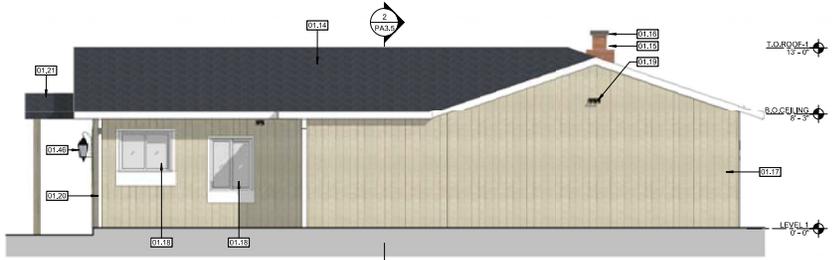
EXISTING / DEMO SOUTH ELEVATION - OFFICE BUILDING 6  
1/4" = 1'-0"



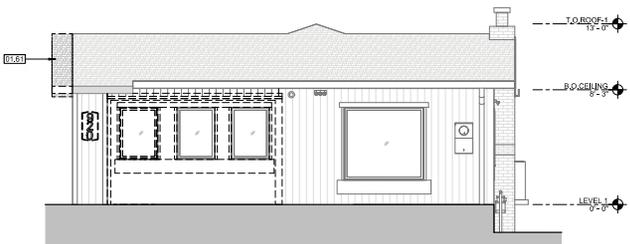
PROPOSED SOUTH ELEVATION - OFFICE BUILDING 5  
1/4" = 1'-0"



EXISTING / DEMO NORTH ELEVATION - OFFICE BUILDING 4  
1/4" = 1'-0"



PROPOSED NORTH ELEVATION - OFFICE BUILDING 3  
1/4" = 1'-0"



EXISTING/DEMO WEST ELEVATION - OFFICE BUILDING 2  
1/4" = 1'-0"



PROPOSED WEST ELEVATION - OFFICE BUILDING 1  
1/4" = 1'-0"

BLUE ARC ELECTRIC  
920 S MCGUINCY LN.  
CAMPBELL, CA 95008  
CLIENT: BLUE ARC ELECTRIC  
CONDITIONAL USE PERMIT APPLICATION

| REV.# | DESCRIPTION       | DATE | BY | CHKD |
|-------|-------------------|------|----|------|
| 1     | ISSUED FOR PERMIT |      |    |      |
| 2     | ISSUED FOR PERMIT |      |    |      |
| 3     | ISSUED FOR PERMIT |      |    |      |
| 4     | ISSUED FOR PERMIT |      |    |      |
| 5     | ISSUED FOR PERMIT |      |    |      |
| 6     | ISSUED FOR PERMIT |      |    |      |
| 7     | ISSUED FOR PERMIT |      |    |      |
| 8     | ISSUED FOR PERMIT |      |    |      |
| 9     | ISSUED FOR PERMIT |      |    |      |
| 10    | ISSUED FOR PERMIT |      |    |      |
| 11    | ISSUED FOR PERMIT |      |    |      |
| 12    | ISSUED FOR PERMIT |      |    |      |
| 13    | ISSUED FOR PERMIT |      |    |      |
| 14    | ISSUED FOR PERMIT |      |    |      |
| 15    | ISSUED FOR PERMIT |      |    |      |
| 16    | ISSUED FOR PERMIT |      |    |      |
| 17    | ISSUED FOR PERMIT |      |    |      |
| 18    | ISSUED FOR PERMIT |      |    |      |
| 19    | ISSUED FOR PERMIT |      |    |      |
| 20    | ISSUED FOR PERMIT |      |    |      |

Project Number: 17.079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

Sheet Title:  
EXISTING /  
PROPOSED  
ELEVATIONS -  
OFFICE  
BUILDING  
PA3.0a

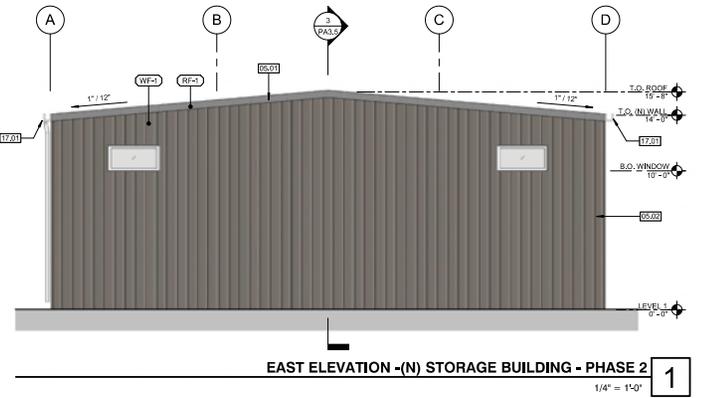
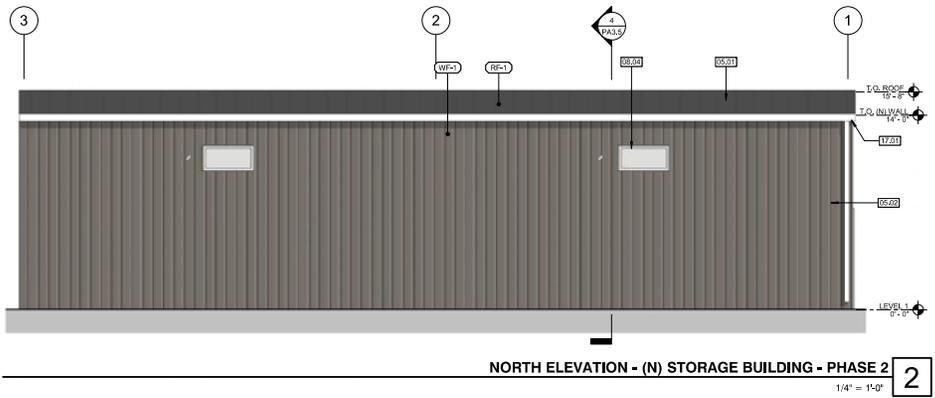
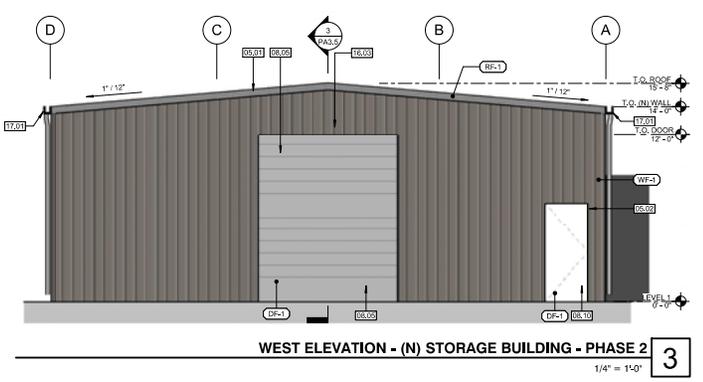
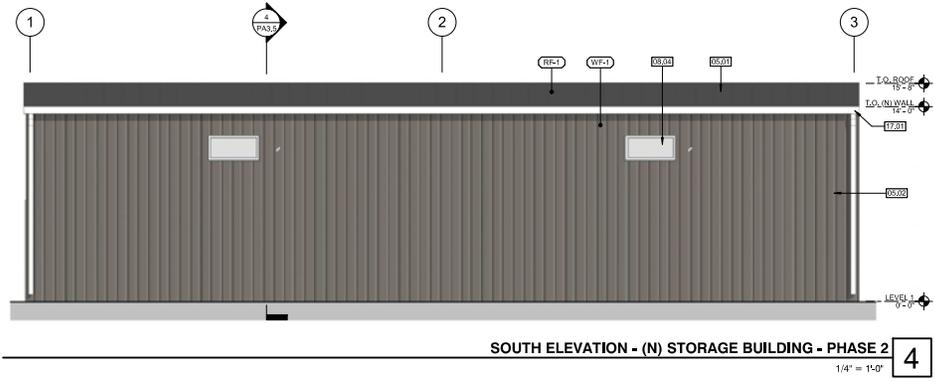
| FINISH LEGEND |                      |             |                          |
|---------------|----------------------|-------------|--------------------------|
|               | LOCATION             | COLOR       | DESCRIPTION              |
| DOOR          |                      |             |                          |
| DF-1          | (N) STORAGE BUILDING | POLAR WHITE | METAL DOOR               |
| RF-1          | (N) STORAGE BUILDING | POLAR WHITE | STANDING SEAM METAL ROOF |
| WF-1          | (N) STORAGE BUILDING | LIGHT STONE | CORRUGATED METAL WALL    |

| KEY NOTES |   |
|-----------|---|
| 05.01     | (N) COLORED STANDING SEAM METAL ROOF SYSTEM PER MANUFACTURER'S SPECIFICATIONS |
| 05.02     | (N) CORRUGATED METAL BUILDING SYSTEM PER MANUFACTURER'S SPECIFICATIONS        |
| 05.04     | (N) WINDOW PER MANUFACTURER'S SPECIFICATIONS, TYP.                            |
| 08.10     | (N) SINGLE SWING DOOR   |
| 16.03     | (N) EXTERIOR WALL PACK LIGHTING   |
| 17.01     | (N) PAINTED GSM GUTTER SYSTEM WITH PAINTED DOWNSPOUTS                         |

| LEGEND |              |
|--------|--------------|
|        | MATERIAL TAG |

**eha**  
EATON HALL ARCHITECTURE

1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.265.6155  
A CALIFORNIA CORPORATION



BLUE ARC ELECTRIC  
920 S McGLINCY LN.  
CAMPBELL, CA 95008

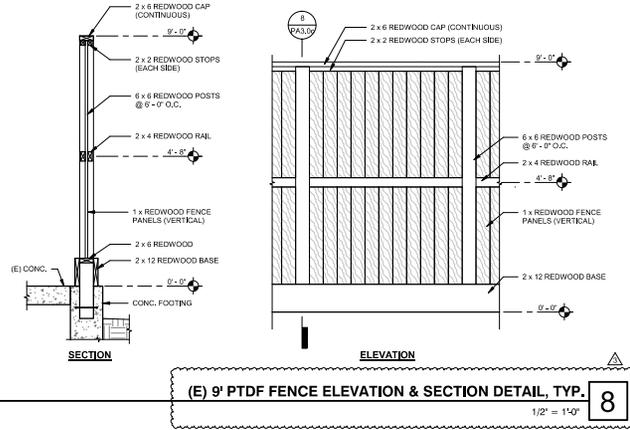
CLIENT: BLUE ARC ELECTRIC  
CONDITIONAL USE PERMIT APPLICATION

| REV. | DESCRIPTION      | DATE |
|------|------------------|------|
| 1    | ISSUE FOR PERMIT |      |

Project Number: 17-079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

Sheet Title:  
**PROPOSED  
ELEVATIONS -  
(N) STORAGE  
BUILDING -  
PHASE 2**

**PA3.0b**



**(E) 9' PTDF FENCE ELEVATION & SECTION DETAIL, TYP.** 1/2" = 1'-0" **8**



**(E) 9' PTDF FENCE** NS **7**

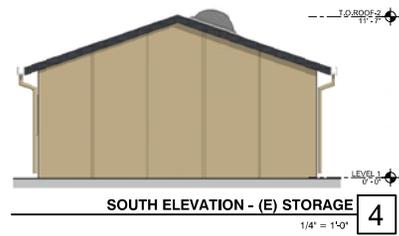


**6' CHAIN LINK FENCE W/ GREEN VINYL SLATS** NS **6**

ALL BARBED WIRE WILL BE REMOVED FROM ALL FENCES



**EAST ELEVATION - (E) STORAGE** 1/4" = 1'-0" **5**



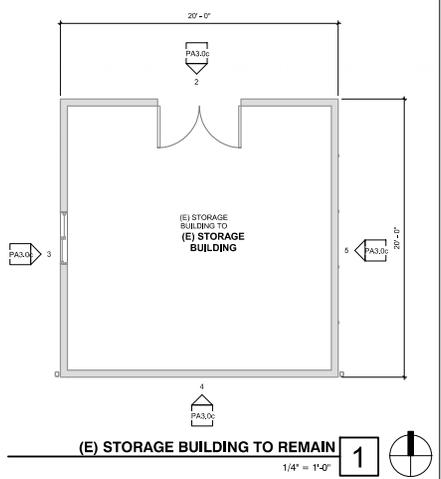
**SOUTH ELEVATION - (E) STORAGE** 1/4" = 1'-0" **4**



**WEST ELEVATION - (E) STORAGE** 1/4" = 1'-0" **3**



**NORTH ELEVATION - (E) STORAGE** 1/4" = 1'-0" **2**



**(E) STORAGE BUILDING TO REMAIN** 1/4" = 1'-0" **1**

**BLUE ARC ELECTRIC**  
 920 S McGLINCY LN.  
 CAMPBELL, CA 95008  
 CLIENT: BLUE ARC ELECTRIC

| REV. | DESCRIPTION        | DATE     |
|------|--------------------|----------|
| 1    | ISSUED FOR PERMITS | 10/01/17 |
| 2    | CONTRACT REVISIONS |          |
| 3    |                    |          |

Project Number: 17.079  
 Date: OCTOBER 01, 2017  
 Drawn by: JP  
 Checked by: JE

Sheet Title:  
**FLOOR PLAN & ELEVATIONS OF (E) STO. AND FENCE**

**PA3.0c**

**KEY NOTES**

|       |  |
|-------|--|
| 06.01 | (N) FILLED WALL-WOOD SIDING TO MATCH (E) |
| 06.04 | (N) EXTENDED ROOF                        |
| 06.05 | (N) ROLL-UP DOOR                         |



EATON HALL ARCHITECTURE

1501 The Alameda, Ste 105  
San Jose, CA 95126  
TEL 408.265.5255  
FAX 408.265.6155  
A CALIFORNIA CORPORATION

BLUE ARC ELECTRIC  
920 S McGLINCY LN.  
CAMPBELL, CA 95008

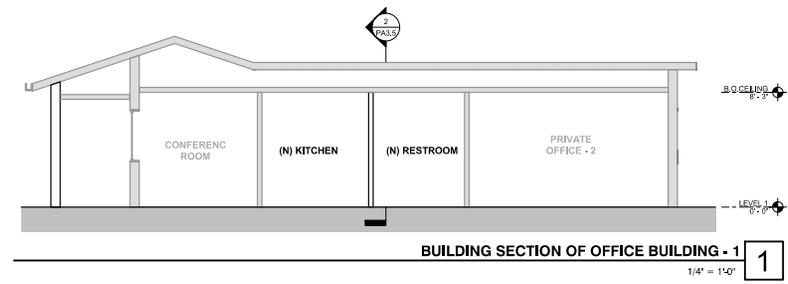
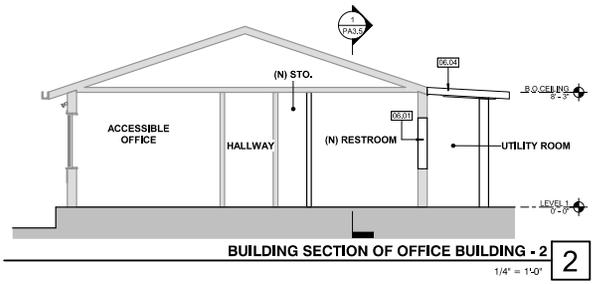
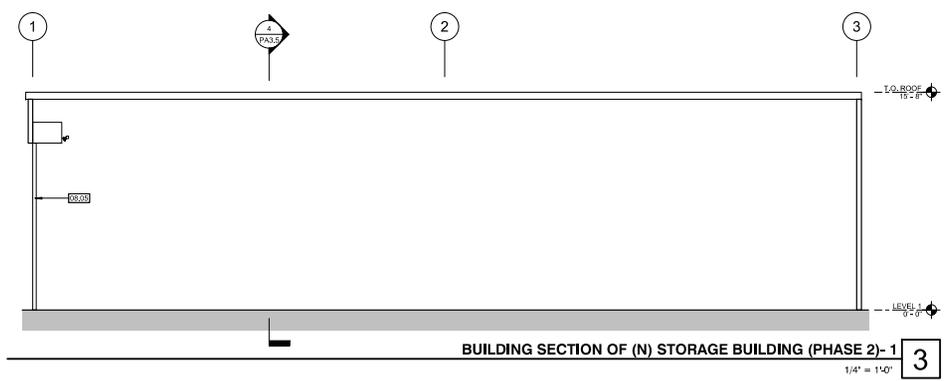
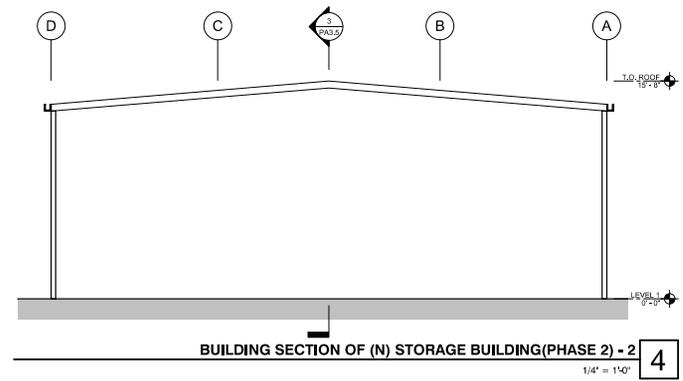
CLIENT: BLUE ARC ELECTRIC  
CONDITIONAL USE PERMIT APPLICATION

| REV.# | DESCRIPTION       | DATE     |
|-------|-------------------|----------|
| 1     | ISSUED FOR PERMIT | 10/01/17 |

Project Number: 17.079  
Date: OCTOBER 01, 2017  
Drawn by: JP  
Checked by: JE

Sheet Title:  
**BUILDING SECTIONS**

**PA3.5**



10/20/17 12:14:08 PM









