



CITY OF CAMPBELL
Community Development Department

August 2, 2019

NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

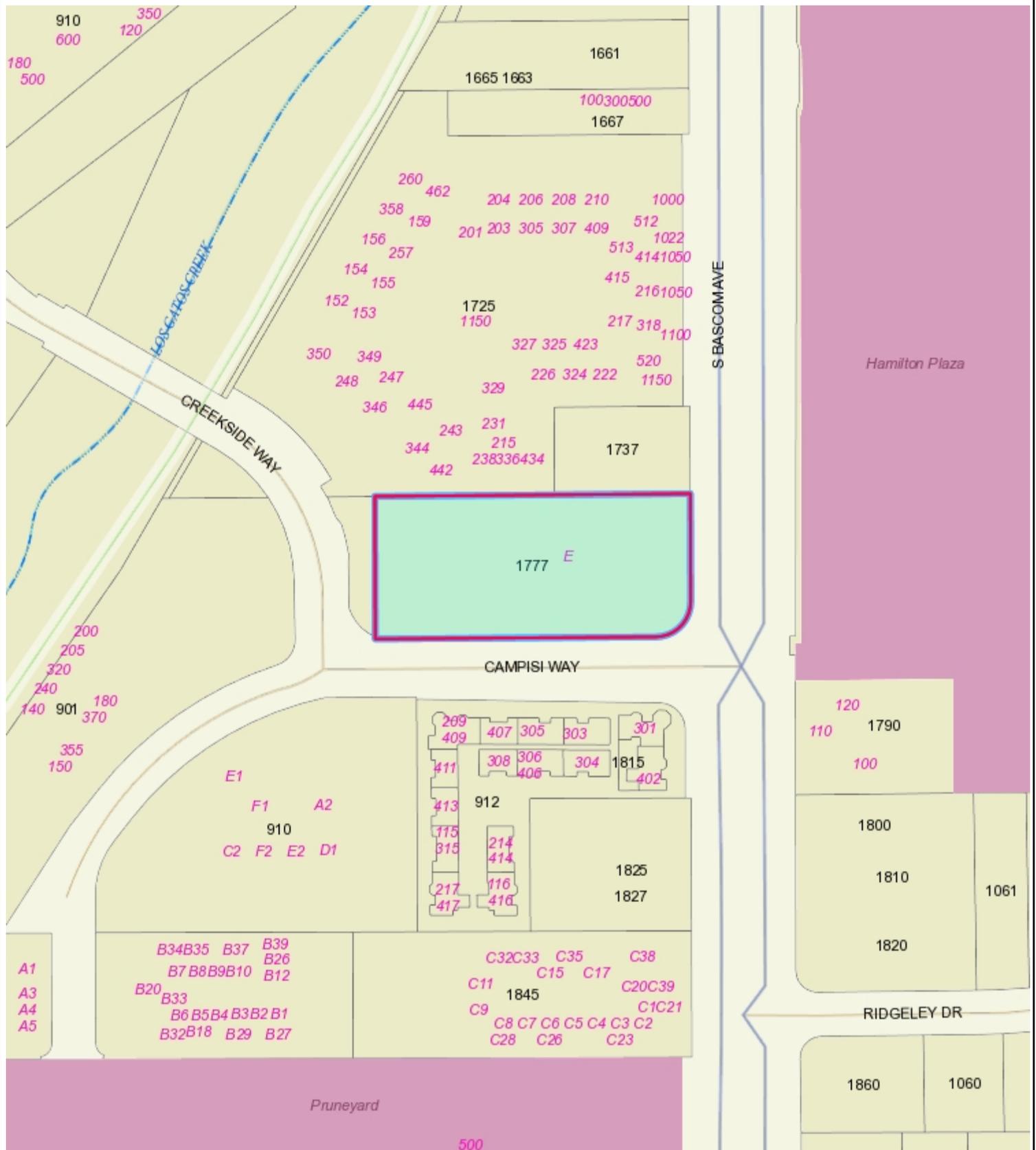
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|-----------------------------|---|
| File No.: | PLN2019-119 |
| Applicant: | Ajnavi Kumar |
| Project Address: | 1777 S Bascom Ave #C |
| Property Owner: | D&K 1777 S Bascom LLC |
| Zoning District: | P-D (Planned Development) |
| General Plan: | Commercial/Professional Office/Residential |
| Project Description: | <ul style="list-style-type: none">• Fitness studio with ancillary retail in an existing building• 2,219 square foot tenant space• Operational hours: 6am to 8:30pm• Business hours: 6:30am to 8pm• Max 12 participants and 1 class at a time |

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 2, 2019 and ends on August 12, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 12, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Naz Pouya, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazp@cityofcampbell.com.



1777 S Bascom Ave #C



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



1777 S. BASCOM AVENUE,
UNIT C
CAMPBELL, CA 95008



1777 S. BASCOM AVENUE
UNIT C
CAMPBELL, CA 95008

Ajnavi Kumar
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CONSULTANT

| ABBREVIATIONS | GENERAL NOTES | SYMBOL LEGEND | PROJECT INFORMATION | SHEET INDEX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <p>(NOT ALL ABBREVIATIONS MAY BE USED IN THIS DOCUMENT)</p> <p>A.B. ANCHOR BOLT ABV. ABOVE A.C. ASPHALTIC CONCRETE ACM ALUM. COMPOSITE METAL PANEL A.C.P. ACOUSTIC CEILING PANEL A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM A.Q.T. ABRASIVE QUARRY TILE AOR ARCHITECT OF RECORD ARCH. ARCHITECTURAL BD. BOARD BLDG. BUILDING BLKG. BLOCKING B.N. BOUNDARY NAIL BM. BEAM B.O.C. BOTTOM OF CEILING B.O.J. BOTTOM OF JOIST B.U.R. BUILT-UP ROOFING BOTT. or (B) BOTTOM CND. CONDUIT C.L. or (C) CENTER LINE CAB. CABINET C.B.B. CEMENTITIOUS BACKER BOARD C.D. CORE DRILL CER. CERAMIC C.G. CORNER GUARD C.J. CONTROL JOINT (COLD JOINT) CL.G. CEILING CLKG. CAULKING CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONST. CONSTRUCTION CONST. JT. CONSTRUCTION JOINT CONT. CONTINUOUS CONTR. CONTRACTOR COMP. COMPACTED / COMPACTION C.T. CERAMIC TILE DBL. DOUBLE DEC. or (D) DEGREE DET. DETAIL DIA. or (Ø) DIAMETER DIAG. DIAGONAL DIM. DIMENSION DS. DOWNSPOUT DWG.(S) DRAWING(S) (E) EXISTING EA. EACH E.C. ELECTRICAL CONTRACTOR E.G. EDGE GRAIN ELEC. ELECTRICAL ELEV. ELEVATION E.N. EDGE NAIL E.O.C. EDGE OF COUNTER / EQUIPMENT EQ. or (E) EQUAL ER. EXISTING RELOCATED EXP. EXPANSION EXT. EXTERIOR FACT. FACTORY F.D. FLOOR DRAIN FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.F. FINISHED FLOOR F.F.L. FINISHED FLOOR LEVEL F.F. & E. FURNITURE, FIXTURES & EQUIPMENT F.G. FLOAT GLASS FLR. FINISH F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD F.R. FIRE RETARDANT F.R.P. FIBERGLASS REINFORCED PANEL FT. FOOT / FEET FTG. FOOTING F.V. FIELD VERIFY GA. GAUGE (GAGE) G.B. GRAB BAR G.WB. GYPSUM WALLBOARD G.C. GENERAL CONTRACTOR GALV. GALVANIZED G.I. GALVANIZED IRON GLB. GLUE-LAMINATED BEAM HB. HOSE BIBB H.C. HOLLOW CORE H.D. HUB DRAIN HDR. HEADER HDW. HARDWARE HGR. HANGER HGT. or HT. HEIGHT H.M. HOLLOW METAL HORIZ. or H HORIZONTAL H.S.B. HIGH STRENGTH BOLT I.D. INSIDE DIAMETER I.E. IN EXAMPLE IN. INCH / INCHES INSUL. INSULATION INT. INTERIOR INV. INVERTED JT. or INT. JOINT JST. JOIST</p> <p>L. ANGLE LAM. LAMINATED LAV. LAVATORY LB(S) or # LB(S) or # LFT. LINEAR FOOT LGT. LONG LFT. LIGHT MATL. MATERIAL MAX. / MIN. MAXIMUM / MINIMUM M.B. MACHINE BOLT MEZZ. MEZZANINE MISC. MISCELLANEOUS M.O. MASONRY OPENING M.P.S. MODULAR PANELBOARD SYSTEM M.S.B. MAIN SWITCH BOARD MTD. MOUNTED MTL. METAL NEW NEW NA OR N/A NOT APPLICABLE N.E.M.A. NAT. ELEC. MFR. ASSOC. N.I.C. NOT IN CONTRACT NO. or # NUMBER NOM. NOMINAL NOT TO SCALE NOT TO SCALE ON CENTER ON CENTER O.F.C.I. OWNER FURNISHED, CONTRACTOR INSTALLED O.F.D. OVERFLOW DRAIN O.F.O.I. OWNER FURNISHED, OUTSIDE DIAMETER OPENING O.D. OUTSIDE DIAMETER OP.N.G. OPPOSITE OPP. OPPOSITE O.S.H.A. OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION PARTN PARTITION P. LAM PLASTIC LAMINATE OR PARALLAM (BEAM) PL. PLATE P.L. or (P) PROPERTY LINE PLAS. PLASTER PLBG. PLUMBING PLYWD. PLYWOOD P.O.C. POINT OF CONNECTION PR. PAIR PSF. POUNDS PER SQ. FOOT PSI. POUNDS PER SQ. INCH P.T. PRESSURE TREATED QUARRY TILE Q.T. QUARRY TILE RAD. OR (R) RADIUS REF. REFLECTED CEILING PLAN R.D. ROOF DRAIN REF. REFERENCE REINF. REINFORCEMENT REV. REVERSE R.T.U. REMOTE TERMINAL UNIT RQMTS. REQUIREMENTS S.C. SOLID CORE SCHD. SCHEDULE SHT. SHEET SHTG. SHEATHING SIM. SIMILAR SM. SHEET METAL SMS. SHEET METAL SCREW SPEC.(S) SPECIFICATION(S) SQ. SQUARE SQ. IN. / FT. SQUARE INCH / FOOT S.S. STAINLESS STEEL S.T.S.M.S. SELF TAPPING SHEET METAL SCREWS STD. STANDARD STL. STEEL STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL TEMP. OR T TEMPERATURE THK. THICKNESS T & G TONGUE & GROOVE T.N. TOE NAIL T.O.B. TOP OF BEAM T.O.C. TOP OF CURB T.O.F. TOP OF FOOTING T.O.P. TOP OF PARAPET T.O.PL. TOP OF PLATE T.O.S. TOP OF SLAB T.O.W. TOP OF WALL T.S. TOP OF SHEATHING TYP. TYPICAL UN.O. UNLESS NOTED OTHERWISE U.L. UNDERWRITERS LABORATORY VERT. OR (V) VERTICAL V.F. VERIFY IN FIELD V.T.R. VENT THROUGH ROOF V.W.C. VINYL WALL COVERING W/ or W/O WITH / WITHOUT W/C WATER CLOSET W.D. WOOD WH. WATER HEATER W.I.B. WALK-IN BOX W.R. WATER RESISTANT WT. WEIGHT W.W.F. WELDED WIRE FABRIC W.W.M. WELDED WIRE MESH</p> | <ol style="list-style-type: none"> ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS OF EVERY TYPE WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS. HVAC, PLUMBING AND ELECTRICAL DRAWINGS ARE INCLUDED IN, AND NOT SUPPLEMENTARY TO, THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS BEFORE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND OTHER DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY THE CONTRACTOR FOR WRITTEN AND GRAPHIC CLARIFICATION. THE CONTRACTOR SHALL FOCUS SPECIAL ATTENTION ON A FIELD REVIEW OF THE EXISTING SITE IN WRITING PRIOR TO CONSTRUCTION. ANY CONDITIONS THAT ARE FOUND TO BE INCONSISTENT WITH THESE DOCUMENTS OR WHERE THE INTENT IS IN DOUBT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO BID SUBMITTAL. CONTRACTOR SHALL NOT RELY UPON ORAL COMMUNICATIONS; ALL COMMUNICATIONS MUST BE IN WRITTEN OR GRAPHIC FORMAT. REVISIONS TO WORK OR PLANS MUST BE APPROVED BY THE CITY AND / OR LOCAL JURISDICTION'S INSPECTION SERVICES PRIOR TO IMPLEMENTATION. ANY ADDITIONS OR CHANGES TO WORK MUST BE AUTHORIZED IN WRITING BY THE ARCHITECT AND OWNER. NO ALTERATIONS WILL BE MADE ON THIS PROJECT EXCEPT UPON WRITTEN ORDER BY USING PREDETERMINED ARCHITECT SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVES. CONTRACTOR IS RESPONSIBLE FOR THE MORE COSTLY AND TIME CONSUMING RESOLUTION ON ALL CONFLICTING INFORMATION PRESENTED ON THE PLANS, OR BETWEEN THE EXISTING CONDITIONS AND THE PLANS. IF A CONFLICT OCCURS BETWEEN THE DESIGN DRAWINGS AND SPECIFICATIONS, PROMPTLY NOTIFY THE ARCHITECT IN WRITING. AT THAT POINT, A WRITTEN INTERPRETATION WILL BE MADE BY THE ARCHITECT AND SAID WRITTEN DECISION SHALL BE CONSIDERED PART OF THE CONTRACT DOCUMENTS. THIS ARCHITECT WILL NOT HAVE CONTROL OF, AND WILL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE. NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT AND OR CONSTRUCTION DOCUMENTS. ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND / OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS, I.E.: STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT. WORK WILL BE COORDINATED WITH ALL TRADES IN ORDER TO AVOID INTERFERENCE AND AVOID OMISSIONS. UNLESS NOTED OTHERWISE, ALL MATERIALS USED WILL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. OR OTHER INDUSTRY STANDARDS. LAYOUT ALL PARTITIONS AND CABINETS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS AND CABINETS WILL BE INSTALLED AS NOTED ON THE DRAWINGS. IF APPLICABLE, GENERAL CONTRACTOR MUST OBTAIN RESOLUTION FROM ARCHITECT FOR ANY DISCREPANCIES PRIOR TO CONSTRUCTION OF WALL PARTITIONS AND CABINETS. EACH SUBCONTRACTOR WILL AMEND AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAULTS IN THEIR WORKMANSHIP AND/OR THEIR SUPPLIED MATERIALS. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND / OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE ARCHITECT FOR WRITTEN AND / OR GRAPHIC DIRECTION PRIOR TO PROCEEDING WITH THAT WORK. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY THE ARCHITECT. FIGURED AND CALCULATED DIMENSION TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TYPICALLY TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. VERIFY WITH ARCHITECT. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE. PROVIDE SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED OR INSTALLED ITEMS. WEATHER CONDITIONS: CONTRACTOR(S) WILL PROTECT ALL PARTS OF THEIR WORK FROM WEATHER DAMAGE DUE TO FROST, RAIN, HEAT, ETC. AND WILL MAKE GOOD TO THE SATISFACTION OF THE ARCHITECT ANY PORTION OF THE WORK WHICH MAY HAVE BECOME DAMAGED. SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED O.S.H.A. STANDARDS FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT WILL BE HELD HARMLESS BY YOGASIX AND GENERAL CONTRACTOR AND RELATED AWARDED TRADES ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR ACCRUED ON THIS PROPERTY DURING THE PRE / ACTUAL / POST CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTORS WILL BE RESPONSIBLE FOR REMOVAL AND ACCOUNT FOR QUANTITY OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE WILL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG WITH A BROOM / VACUUM FINISH AT THE END OF EACH WORKING DAY. TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOORS TYPICALLY. PAINT ALL WALL SURFACES, DOOR FRAMES, WINDOW FRAMES, BULKHEADS AND CEILINGS IN ROOMS WHERE INDICATED ON ROOM FINISH SCHEDULE. PAINT BEHIND ALL MOVEABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELOCATE ITEMS. ALL NEW PAINTING SHALL INCLUDE (1) ONE COAT PRIMER AND (2) TWO COATS OF PAINT (UNLESS NOTED OTHERWISE). ALL WEATHER - EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. | <p>ELEVATION IDENTIFICATION</p> <p>ELEVATION DESIGNATION SHEET REFERENCE NO.</p> <p>PARTIAL SECTION IDENTIFICATION</p> <p>SECTION DESIGNATION SHEET REFERENCE NO.</p> <p>INTERIOR ELEVATION IDENTIFICATION</p> <p>ELEVATION DESIGNATION DETAIL DESIGNATION SHEET REFERENCE NO.</p> <p>GRID LINE IDENTIFICATION</p> <p>GRID LINE FACE OF STUD FACE OF MASONRY CENTER LINE OF COLUMN</p> <p>CEILING IDENTIFICATION</p> <p>ACT. MATERIAL DESIGNATION HEIGHT REFERENCE NOTE</p> <p>ROOM IDENTIFICATION</p> <p>(E) CUSTOMER LOBBY ROOM NAME MATERIAL FINISH WALL BASE FINISH</p> <p>ENLARGED DETAIL IDENTIFICATION</p> <p>DETAIL DESIGNATION SHEET REFERENCE NO.</p> <p>SECTION IDENTIFICATION</p> <p>DETAIL DESIGNATION SHEET REFERENCE NO.</p> <p>ELEVATION REFERENCE IDENTIFICATION</p> <p>FINISH FLOOR SECTION / ELEVATION / FLOOR DATUM</p> <p>PROJECT REFERENCE</p> <p>NORTH ARROW</p> <p>PROJECT SYMBOL IDENTIFICATION</p> <p>DOOR NUMBER WINDOW NUMBER MATERIAL NAME / FINISH NAME WALL TYPE FIXTURE / EQUIPMENT TYPE GRAPHIC NAME REVISION / ADDENDUM NUMBER KEYNOTE NUMBER</p> | <p>PROPOSED USE</p> <p>PROPOSED TENANT IMPROVEMENT / ALTERATION CONSTRUCTION FOR A YOGA STUDIO</p> <p>CURRENT CODES</p> <p>BUILDING CODE: 2016 CALIFORNIA BUILDING CODE (CBC) LOCAL CODE OF ORDINANCES</p> <p>PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE (CPC)</p> <p>MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE (CMC)</p> <p>ELECTRICAL CODE: 2016 CALIFORNIA ELECTRICAL CODE (CEC)</p> <p>ENERGY CODE: 2016 CALIFORNIA ENERGY CODE</p> <p>FIRE / LIFE SAFETY CODE: 2016 CALIFORNIA FIRE CODE (CFC)</p> <p>EXISTING BUILDING CODE: 2016 CALIFORNIA EXISTING BUILDING CODE</p> <p>CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19: TITLE 24, CAC, CBC, CEC, CMC, CPC, CFC 2016 EDITION</p> <p>ACCESSIBILITY</p> <p>THESE PLANS ARE INTENDED TO COMPLY WITH ALL OF THE PROVISIONS SET FORTH BY CHAPTER 11B OF THE 2016 CBC AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</p> <p>ACCESSIBILITY STATEMENT</p> <p>EXISTING PATH OF TRAVEL TO AND FROM THE EXISTING FACILITIES SERVING THE AREA OF ALTERATION IS ACCESSIBLE AS REQUIRED BY CBC 11B-202.4</p> <p>CODE COMPLIANCE</p> <p>OCCUPANCY GROUP: B BUSINESS</p> <p>CONSTRUCTION TYPE: V - B EXISTING NON FIRE SPRINKLERED (NON-SEPARATED PER TABLE 508.4)</p> <p>LEGAL DESCRIPTION</p> <p>ASSESSOR PARCEL NUMBER: 288-02-030</p> <p>BUILDING SUMMARY</p> <p>TENANT IMPROVEMENT AREA: 2,063 S.F. (NO NEW S.F. ADDED) TOTAL GROSS LEASABLE AREA: 2,219 S.F. BUILDING AREA: 18,218 S.F. TOTAL BUILDING HEIGHT: 12'-7" (EXISTING SINGLE STORY)</p> <p>PARKING SUMMARY</p> <p>SITE AND PARKING (EXISTING REMAIN UNCHANGED)</p> <p>YOGA 6 STUDIO</p> <p>INSTRUCTORS: 1 INSTRUCTOR CLASSES: 1 CLASS PER SESSION PARTICIPANTS: 12 PARTICIPANTS PER SESSION</p> <p>SPECIAL INSPECTION</p> <p>WHEN SPECIAL INSPECTION IS REQUIRED BY CBC CHAPTER 17, THE ARCHITECTURE OR ENGINEER OF RECORD SHALL PEPPER AN INSPECTION PROGRAM THAT SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL PRIOR TO ISSUANCE OF THE BUILDING PERMIT. IN A ACCORDANCE WITH CBC CHAPTER 1, SECTION 106. PLEASE OBTAIN CITY OF CAMPBELL, SPECIAL INSPECTION FORMS FORM THE BUILDING INSPECTION DEPARTMENT DIVISION COUNTER.</p> <p>DESCRIPTIVE SUMMARY OF WORK</p> <p>PROPOSED TENANT IMPROVEMENT / ALTERATION CONSTRUCTION FOR A 2,219 SF. YOGA STUDIO (LESS THAN 49 OCCUPANCIES)</p> <p>THERE IS DEMOLITION OF EXISTING DEMISING WALL.</p> <p>EXISTING FIRE RATED DEMISING WALLS ADJACENT TO BOTH TENANTS ARE TO REMAIN AND EXISTING ROOF TOP UNITS ON ROOF TO REMAIN.</p> <p>THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS. DOMESTIC MECHANICAL EQUIPMENT ABOVE CEILING, NEW ELECTRICAL SYSTEMS ROUTE TO NEW SUB-PANEL; NEW RESTROOMS, MOP SINK AND DRINKING FOUNTAIN ARE TO BE INCLUDED FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION.</p> <p>INTERIOR:</p> <p>NEW FINISHES (PAINT, FLOORING, GRAPHICS, ETC.) NEW FIXTURES NEW PARTITION WALLS NEW RESTROOMS</p> <p>NOTE: ALL INTERIOR LED SIGNAGE AND EXTERIOR SIGNAGE WILL BE UNDER SEPARATE APPLICATION SUBMITTAL BY OWNER.</p> <p>PROJECT INFORMATION</p> <p>TENANT</p> <p>YOGA 6 1777 S. BASCOM AVENUE UNIT C CAMPBELL, CA 95008 CONTACT: AJNAVI KUMAR PHONE: (408) 306-0106 EMAIL: ajnavi.kumar@yogasix.com</p> <p>MECHANICAL, PLUMBING & ELECTRICAL</p> <p>DUNHAM ENGINEERING 50 SOUTH SIX STREET, SUITE 1100 MINNEAPOLIS, MN 55402 CONTACT: GREG STEINMETZ, P.E. PHONE: (612) 465-7684 EMAIL: Greg.Steinmetz@dunhameng.com</p> <p>ARCHITECT</p> <p>AMOR ARCHITECTURAL CORPORATION 9483 HAVEN AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 91730 CONTACT: JOSE REYNOSO PROJECT MANAGER PHONE: (909) 259-9971 FAX: (909) 944-8409 EMAIL: jreynoso@amorarch.com</p> <p>APPROVED VENDOR</p> <p>SUPERIOR PERFORMANCE SURFACING CONTACT: KENNY FLAKE PHONE: (713) 805-8296 EMAIL: kenny@spurfacing.org</p> <p>PROJECT INFORMATION</p> <p>PROPOSED USE</p> <p>PROPOSED TENANT IMPROVEMENT / ALTERATION CONSTRUCTION FOR A YOGA STUDIO</p> | <p>SHEET INDEX</p> <table border="1"> <thead> <tr> <th rowspan="2">NO.</th> <th rowspan="2">DESCRIPTION</th> <th colspan="5">REVISIONS</th> </tr> <tr> <th>1</th> <th>2</th> <th>3</th> <th>4</th> <th>5</th> </tr> </thead> <tbody> <tr> <td>T1.1</td> <td>TITLE SHEET, PROJECT INFORMATION, AND GENERAL NOTES</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>T1.2</td> <td>GENERAL CONSTRUCTION NOTES</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>T1.3</td> <td>ADA STANDARDS - ACCESSIBLE DESIGN PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>T1.4</td> <td>BLUEPRINT FOR A CLEAN BAY</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>T2.1</td> <td>THE SAFETY PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>AS2.1</td> <td>EXISTING SITE PLAN FOR REFERENCE ONLY</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>AS2.2</td> <td>ACCESSIBLE DETAILS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>AS2.3</td> <td>DEMOLITION FLOOR PLANS & REFLECTED CEILING PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A1.1</td> <td>FLOOR PLAN & EQUIPMENT PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A1.2</td> <td>AUDIO AND VISUAL PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A2.1</td> <td>REFLECTED CEILING PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A2.2</td> <td>REFLECTED CEILING PLAN DETAILS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A3.1</td> <td>ROOF PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A6.1</td> <td>ENLARGED RESTROOM PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A6.2</td> <td>RESTROOM INTERIOR ELEVATIONS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A6.3</td> <td>INTERIOR ELEVATIONS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A7.1</td> <td>WALL AND MISCELLANEOUS DETAILS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A8.1</td> <td>DOOR SCHEDULE AND HARDWARE NOTES & DETAILS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A8.2</td> <td>ROOM FINISH PLAN, SCHEDULE & LEGEND AND GRAPHIC KEYS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A8.3</td> <td>MILLWORK DETAILS, WALL SIGNAGE & GRAPHICS (FOR REFERENCE ONLY)</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>A8.4</td> <td>TITLE 24 ENVELOPE COMPLIANCE</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>M1.0</td> <td>NOTES</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>M2.0</td> <td>MECHANICAL SPECIFICATIONS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>M3.0</td> <td>MECHANICAL SCHEDULES</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>M4.0</td> <td>MECHANICAL DETAILS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>M5.0</td> <td>MECHANICAL PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>M6.0</td> <td>MECHANICAL ENERGY FORMS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>M6.1</td> <td>MECHANICAL ENERGY FORMS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>P1.0</td> <td>PLUMBING SPECIFICATIONS / NOTES</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>P2.0</td> <td>PLUMBING SCHEDULES AND DETAILS</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>P3.0</td> <td>PLUMBING DOMESTIC WATER PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>P4.0</td> <td>PLUMBING WASTE AND VENT PLAN</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>E1.0</td> <td>GENERAL NOTES, SYMBOL, SCHEDULE, ABBREV. 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WHERE REQUIRED BY THE FIRE CODE OFFICIAL, NUMBERS SHALL BE ARABIC NUMBERS OF ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MIN. STROKE WIDTH OF .05". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBER SHALL BE MAINTAINED. CFC SECTION 505.1.</p> <p>ALL CONSTRUCTION SITE MUST BE COMPLY WITH APPLICABLE PROVISION OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7.</p> <p>(E) PARKING</p> <p>80 STANDARD PARKING SPACES 4 ACCESSIBLE PARKING SPACES</p> <p>VICINITY MAP</p> <p>THIS MAP IS REFERRED FROM GOOGLE MAPS WEBSITE</p> <p>STAMP</p> <p>STATE OF CALIFORNIA LICENSED ARCHITECT AJNAVI KUMAR C-24421 8/31/2019 RENEWAL DATE</p> <p>DATE SIGNED: 2019/07/30 SHEETS BEARING THIS SEAL AND NET SIGNATURE ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OLDER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.</p> <p>REVISIONS</p> <p>2019-07-23 PLAN CHECK CORRECTIONS 2019-07-30 PLAN CHECK CORRECTIONS</p> <p>DATE: 2019-07-30 PROJECT NUMBER: A2163</p> <p>SHEET NUMBER</p> <p>T1.1</p> | NO. | DESCRIPTION | REVISIONS | | | | | 1 | 2 | 3 | 4 | 5 | T1.1 | TITLE SHEET, PROJECT INFORMATION, AND GENERAL NOTES | | | | | | T1.2 | GENERAL CONSTRUCTION NOTES | | | | | | T1.3 | ADA STANDARDS - ACCESSIBLE DESIGN PLAN | | | | | | T1.4 | BLUEPRINT FOR A CLEAN BAY | | | | | | T2.1 | THE SAFETY PLAN | | | | | | AS2.1 | EXISTING SITE PLAN FOR REFERENCE ONLY | | | | | | AS2.2 | ACCESSIBLE DETAILS | | | | | | AS2.3 | DEMOLITION FLOOR PLANS & REFLECTED CEILING PLAN | | | | | | A1.1 | FLOOR PLAN & EQUIPMENT PLAN | | | | | | A1.2 | AUDIO AND VISUAL PLAN | | | | | | A2.1 | REFLECTED CEILING PLAN | | | | | | A2.2 | REFLECTED CEILING PLAN DETAILS | | | | | | A3.1 | ROOF PLAN | | | | | | A6.1 | ENLARGED RESTROOM PLAN | | | | | | A6.2 | RESTROOM INTERIOR ELEVATIONS | | | | | | A6.3 | INTERIOR ELEVATIONS | | | | | | A7.1 | WALL AND MISCELLANEOUS DETAILS | | | | | | A8.1 | DOOR SCHEDULE AND HARDWARE NOTES & DETAILS | | | | | | A8.2 | ROOM FINISH PLAN, SCHEDULE & LEGEND AND GRAPHIC KEYS | | | | | | A8.3 | MILLWORK DETAILS, WALL SIGNAGE & GRAPHICS (FOR REFERENCE ONLY) | | | | | | A8.4 | TITLE 24 ENVELOPE COMPLIANCE | | | | | | M1.0 | NOTES | | | | | | M2.0 | MECHANICAL SPECIFICATIONS | | | | | | M3.0 | MECHANICAL SCHEDULES | | | | | | M4.0 | MECHANICAL DETAILS | | | | | | M5.0 | MECHANICAL PLAN | | | | | | M6.0 | MECHANICAL ENERGY FORMS | | | | | | M6.1 | MECHANICAL ENERGY FORMS | | | | | | P1.0 | PLUMBING SPECIFICATIONS / NOTES | | | | | | P2.0 | PLUMBING SCHEDULES AND DETAILS | | | | | | P3.0 | PLUMBING DOMESTIC WATER PLAN | | | | | | P4.0 | PLUMBING WASTE AND VENT PLAN | | | | | | E1.0 | GENERAL NOTES, SYMBOL, SCHEDULE, ABBREV. AND KEY PLAN | | | | | | E2.0 | FLOOR PLAN - LIGHTING | | | | | | E3.0 | FLOOR PLAN - POWER & SYSTEMS | | | | | | E4.0 | SINGLE LINE DIAGRAM & ELEVATION | | | | | | E5.0 | SPECIFICATIONS | | | | | | E6.0 | TITLE 24 FORMS | | | | | | E6.1 | TITLE 24 FORMS | | | | | | E6.2 | TITLE 24 FORMS | | | | | |
| NO. | DESCRIPTION | REVISIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| AS2.3 | DEMOLITION FLOOR PLANS & REFLECTED CEILING PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A1.1 | FLOOR PLAN & EQUIPMENT PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A1.2 | AUDIO AND VISUAL PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A2.1 | REFLECTED CEILING PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A2.2 | REFLECTED CEILING PLAN DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A3.1 | ROOF PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A6.1 | ENLARGED RESTROOM PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A6.2 | RESTROOM INTERIOR ELEVATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A6.3 | INTERIOR ELEVATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A7.1 | WALL AND MISCELLANEOUS DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A8.1 | DOOR SCHEDULE AND HARDWARE NOTES & DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A8.2 | ROOM FINISH PLAN, SCHEDULE & LEGEND AND GRAPHIC KEYS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A8.3 | MILLWORK DETAILS, WALL SIGNAGE & GRAPHICS (FOR REFERENCE ONLY) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A8.4 | TITLE 24 ENVELOPE COMPLIANCE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| M1.0 | NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| M2.0 | MECHANICAL SPECIFICATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| M3.0 | MECHANICAL SCHEDULES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| M4.0 | MECHANICAL DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| M5.0 | MECHANICAL PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| M6.0 | MECHANICAL ENERGY FORMS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| M6.1 | MECHANICAL ENERGY FORMS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| P1.0 | PLUMBING SPECIFICATIONS / NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| P2.0 | PLUMBING SCHEDULES AND DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| P3.0 | PLUMBING DOMESTIC WATER PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| P4.0 | PLUMBING WASTE AND VENT PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E1.0 | GENERAL NOTES, SYMBOL, SCHEDULE, ABBREV. AND KEY PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E2.0 | FLOOR PLAN - LIGHTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E3.0 | FLOOR PLAN - POWER & SYSTEMS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E4.0 | SINGLE LINE DIAGRAM & ELEVATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E5.0 | SPECIFICATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| E6.0 | TITLE 24 FORMS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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YOGA SIX
1777 S. Bascom Ave.
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Campbell, CA 95008

TITLE SHEET, PROJECT INFORMATION AND GENERAL NOTES



DATE SIGNED: 2019/07/30
SHEETS BEARING THIS SEAL AND NET SIGNATURE ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OLDER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

REVISIONS

2019-07-23 PLAN CHECK CORRECTIONS
2019-07-30 PLAN CHECK CORRECTIONS

DATE: 2019-07-30
PROJECT NUMBER: A2163

SHEET NUMBER

T1.1

GENERAL CONSTRUCTION NOTES

FIRE ALARM / BURGLAR ALARM SYSTEM (WHERE APPLIES)
IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY IF THE EXISTING FIRE ALARM / BURGLAR ALARM SYSTEM NEEDS TO BE MODIFIED IN ORDER TO ACCOMMODATE THE RENOVATION SPACE. THIS INCLUDES ALL AFFECTED AREAS TO INCLUDE MAIN LOBBY AND ADJACENT ROOMS. IF REQUIRED, THE CONTRACTOR MUST SUBMIT FIRE ALARM / BURGLAR ALARM SYSTEM SHOP DRAWINGS. ALL COSTS AND FEES SHOULD BE INCLUDED IN THE CONTRACTOR'S BID PROPOSAL TO THE OWNER. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL AND SIGN-OFF FOR THE MODIFIED FIRE ALARM / BURGLAR ALARM SYSTEM BY ANY JURISDICTIONAL REQUIREMENTS.

ENTRANCES AND EXITS

- ALL ENTRANCES AND ALL EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDING AND FACILITIES SHALL BE MADE ACCESSIBLE OR REMAIN ACCESSIBLE.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED. WHEN EXIT DOORS ARE USED IN PAIRS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOBS OR SURFACE MOUNTED HARDWARE. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATION BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
- NEW HAND ACTIVATED DOOR OPENING HARDWARE SHALL MATCH EXISTING DOORS (WHERE APPLIES). LEVER MUST BE CENTERED BETWEEN 34" MIN. AND 44" MAX. ABOVE THE FLOOR.
- EVERY DOORWAY LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. WHEN INSTALLED, EXIT DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE EXIT IS NOT LESS THAN 32".
- THERE SHALL BE A LEVEL AND CLEAR FLOOR OR LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" (5'-0") AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" (4'-0") AS MEASURED AT RIGHT ANGLE TO THE PLANE OF THE DOOR IN THE CLOSED POSITION.
- FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.
- DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH (KICK PLATE) SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- MAXIMUM EFFORT TO OPERATED DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. SUCH PUSH OR PULL EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATION DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY NOT TO EXCEED 15 POUNDS.
- DOORS WITH CLOSING DEVICES TO CLOSE SLOWER THAN 5 SECONDS WHEN OPEN TO 70° OR MORE.

DEMOLITION (WHERE APPLIES)
GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, HAULING AWAY, AND RECYCLING OF ALL DEMOLISHED ITEMS TO INCLUDE WALL PARTITIONS, CEILINGS, DOORS AND FRAMES, MILLWORK, CONVEYOR SYSTEM, FLOORING, SIGNAGE, ETC. ON-SITE DUMPSTERS ARE NOT ALLOWED TO BE USED FOR CONSTRUCTION DUMPING. (RECYCLE AND / OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.3 OF CGBSC)

GENERAL RESPONSIBILITIES

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CONTACT INFORMATION REGARDING THE PROJECT SITE TO INCLUDE NAMES AND TELEPHONE NUMBERS. CONTACTS SHOULD INCLUDE STORE MANAGER, LANDLORD / PROPERTY MANAGER, CITY BUILDING INSPECTORS, FIRE DEPARTMENT INSPECTORS, ETC. THIS MUST BE DONE AT LEAST (2) TWO WEEKS PRIOR TO START OF CONSTRUCTION SO THAT G.C. CAN GAIN ACCESS TO ALL AREAS OF THE SITE AND COMPLETE ALL NECESSARY INSPECTIONS FOR THE PROJECT.
- THE GENERAL CONTRACTOR SHALL PROVIDE STORAGE CONTAINERS, IF NECESSARY, TO RECEIVE CONSTRUCTION ITEMS SUCH AS MILLWORK, CONVEYOR SYSTEM, CART, ETC. G.C. SHALL, UPON RECEIVING OF OWNER FURNISHED ITEMS, REPORT ALL DAMAGED OR MISSING PARTS OR COMPONENTS TO THE ARCHITECT IMMEDIATELY. G.C. MUST COORDINATE FOR THE DELIVERY OF OWNER FURNISHED ITEMS TO BE PLACED IN THE G.C.'S DESIGNATED STORAGE CONTAINER LOCATION (2) TWO DAYS PRIOR TO START OF INSTALLATION OF THESE ITEMS.
- IT IS THE INTENT OF THE TENANT TO SALVAGE AND RECYCLE AS MUCH OF THE EXISTING MATERIALS AT THE JOBSITE AS POSSIBLE. FOR THE EXISTING MILLWORK, GENERAL CONTRACTOR SHALL PHYSICALLY VERIFY IF THE FIXTURES ARE STILL IN GOOD OR REASONABLE CONDITION FOR REUSE AT OTHER TENANT FACILITIES. G.C. SHALL INFORM THE TENANT OF HIS ANALYSIS. IF IT IS VERIFIED THAT THE FIXTURES ARE SO DAMAGED THAT IT WOULD NOT BE WORTH SALVAGING, THEN THE FIXTURES WOULD BE DEMOLISHED. IF THE FIXTURES ARE SALVAGEABLE WHEN DISCONNECTED FROM ITS CURRENT LOCATION, THEN THE G.C. SHALL MOVE THEM INTO THE EXISTING WAREHOUSE AT A LOCATION DETERMINED WITH THE TENANT AND / OR STORE MANAGER. THE TENANT SHALL PICK THE FIXTURES UP AT A LATER TIME FOR STORAGE AND FUTURE REUSE. FOR OTHER MATERIALS, THE G.C. SHALL PROVIDE AN ALTERNATE PRICE IN THE PROJECT BID FORM TO THE TENANT TO RECYCLE THESE MATERIALS (I.E., CEILING TILES, DRYWALL, DOORS, FLOORING, ETC.). THE TENANT SHALL INFORM THE G.C. WHETHER TO RECYCLE THE MATERIALS OR TO HAUL AWAY TO THE LOCAL LANDFILL.
- THE G.C. IS RESPONSIBLE FOR MATERIALS AND LABOR REQUIRED FOR ANY ALTERATIONS TO FIRE SPRINKLERS, ELECTRICAL EQUIPMENT, PLUMBING, EMERGENCY & EXISTING LIGHTING, ALARM AND MECHANICAL SYSTEMS AS REQUIRED TO COMPLETE THE PROJECT AND OBTAIN FINAL INSPECTIONS.
- ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT OF RECORD. FLOOR PLAN BY ARCHITECT OF RECORD SUPERSEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, VINYL COMPOSITE TILE, ETC.
- ALL INTERIOR DIMENSIONS ARE TO THE FACE OF NEW STUD, UNLESS NOTED OTHERWISE. COLUMN CENTER LINE (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD (AS REQUIRED).
- THE GENERAL CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. SUB-CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO FOLLOW OWNER'S GROUP RULES AND REGULATIONS. WHEN THE G.C. ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, (S)HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT / EGRESS LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR AND COORDINATED WITH THE OWNER'S REPRESENTATIVE PRIOR TO CUTTING / CORING.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ALL ADJACENT AND NEIGHBORING TENANTS.
- PROVIDE PORTABLE FIRE EXTINGUISHER(S) IN ACCORDANCE WITH NFPA 10, WITH U.L. LABEL AND A RATING OF NOT LESS THAN 2-A WITH 75 FEET OF TRAVEL DISTANCE TO ALL POSITIONS OF STORE AND / OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
- ALL EXTERIOR BUILDING SIGNAGES SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY LOCAL AUTHORITIES. EXTERIOR SIGNAGES ARE NOT WITHIN THE SCOPE OF BUILDING DEPARTMENT APPROVAL.
- PRIOR TO COMMENCEMENT OF ANY WORK - THE OWNER OR OWNER'S REPRESENTATIVE SHALL ENGAGE LICENSED DESIGN PROFESSIONAL(S) TO PROVIDED ALL REQUIRED DOCUMENTATION FOR REVIEW, AND RECEIVE APPROVAL BY THE LOCAL AUTHORITIES HAVING JURISDICTION. INCLUDING BUT NOT LIMITED TO STRUCTURAL VERIFICATION AND DESIGN, BUILDING, FIRE, LIFE SAFETY, HEALTH, PLUMBING, ELECTRICAL, AND MECHANICAL APPROVALS.
- IF REQUIRED BY LOCAL JURISDICTION - SPRINKLER, LIFE SAFETY, AND FIRE ALARM SYSTEMS ARE TO BE DESIGNED AND SUBMITTED FOR REVIEW AND APPROVAL BY LOCALLY LICENSED DESIGN PROFESSIONAL. THE DESIGN OF ALL SYSTEM(S) MUST COMPLY TO ALL FEDERAL, NATIONAL, STATE, AND LOCAL CODES AND ORDINANCES.
- EXISTING ENERGY MANAGEMENT SYSTEM (VERIFY IN FIELD) TO REMAIN IN STORE AND BE FULLY FUNCTIONAL AND OPERATIONAL AT COMPLETION OF REMODEL PROJECT.

FINISHES
GYPSSUM WALLBOARD (WHERE APPLIES)

- PROVIDE GYPSSUM WALLBOARD, STEEL FRAMING COMPONENTS, AND ACCESSORIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS GYPSSUM ASSOCIATION'S FIRE RESISTANCE DESIGN MANUAL. PRODUCTS SPECIFIED HEREIN ARE AS MANUFACTURED BY U.S. GYPSSUM ASSOCIATION. EQUIVALENT PRODUCTS OF OTHER MANUFACTURERS WILL BE CONSIDERED PROVIDED THEY MEET THOSE ESTABLISHED STANDARDS. MAKE APPROPRIATE SUBMITTAL FOR ANY SUBSTITUTIONS.
- ARCHITECT WILL NOT REIMBURSE CONTRACTOR OR SUB-CONTRACTOR FOR CITY OR STATE LICENSE FEES WHICH MAY BE REQUIRED TO PERFORM WORK.
- FINISHES
 - UNLESS NOTED OTHERWISE (E.G. SPECIAL WALL COVERING AREAS) ALL GYPSSUM WALLBOARD SHALL BE TAPED, SMOOTH, AND PAINTED.
 - VERIFY ANY SPECIAL FINISH AREA PRIOR TO COMMENCING WORK.

PAINTING

- SEE FINISH SCHEDULE FOR ALL PAINT PRODUCTS AND SPECIFICATIONS.
- THE WORK INCLUDES, BUT IS NOT LIMITED TO FURNISHING OF MATERIALS AND EQUIPMENT, AND COMPLETION OF PAINTING AND PAINTER'S FINISH ON EXPOSED SURFACES AS REQUIRED TO COMPLETE FINISHING OF THE WORK INDICATED ON THE DRAWINGS OR SPECIFIED HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE OF MATERIALS AND APPLICATION WITH GOVERNING AGENCIES (LOCAL STATE AND FEDERAL) IN CONNECTION WITH THIS PROJECT.
- THE FOLLOWING EXPOSED SURFACES ARE TO BE PAINTED:
 - UNLESS NOTED OTHERWISE, ALL GYPSSUM WALLBOARD NOT COVERED BY OTHER MATERIALS.
 - ALL EXISTING WALLBOARD TO A MIN. OF 6" ABOVE ROOM CEILING. TYPICAL, UNLESS NOTED OTHERWISE ON ROOM FINISH SCHEDULE.
 - ALL METAL IN IMPROVED AREAS NOT PRE-FINISHED PRIOR TO INSTALLATION.
 - ALL WOOD SURFACES, TRIM, OR PIECES NOT PRE-FINISHED PRIOR TO INSTALLATION. (DO NOT PAINT INTERIOR ELEMENTS NORMALLY CONCEALED SUCH AS STRUCTURAL COMPONENTS AND ELECTRICAL WIRING)
- MATERIALS
 - PAINTED PRODUCTS SHALL BE MANUFACTURED BY APPROVED OR SCHEDULED PRODUCT.
 - ACCESSORY MATERIALS SUCH AS TURPENTINE / THINNER / UNSEED OIL SHALL BE APPROVED BY THE COATING MANUFACTURER.
 - THE NUMBER OF COATS IS TO BE THREE (3) MINIMUM. ADDITIONAL COATS SHALL BE APPLIED AT NO ADDITIONAL COST IF NECESSARY TO COMPLETELY HIDE BASE MATERIALS, PRODUCE UNIFORM COLOR, AND PROVIDE SATISFACTORY FINISH RESULTS.
 - APPLICATION AND SURFACE PREPARATION SHALL BE DONE ACCORDING TO MANUFACTURER'S WRITTEN SPECIFICATIONS AND APPLICATION INSTRUCTIONS. ALL FINISHES SHALL BE APPLIED EVENLY AND BE FREE OF RUNS, SAGS, SKIPS, CRAWLS, AND / OR DEFECTS.
 - THE CONTRACTOR SHALL PROTECT HIS OWN WORK, AND ADJACENT EXISTING WORK AND MATERIALS, WITH SUITABLE COVERINGS OR MASKINGS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CLEANING THE AREA OF HIS WORK AS WELL AS REMOVAL OF ALL EXCESS MATERIAL (EITHER FROM ADJACENT SURFACES OR EXTRA MATERIALS). CONTRACTOR TO PAINT, REPAIR, OR REPLACE ANY BUILDING OR ELECTRICAL COMPONENTS DURING CONSTRUCTION AT HIS OWN EXPENSE.
 - SURFACES TO BE PAINTED SHALL BE FREE OF OIL GREASE, LOOSE PAINT, OR OTHER FOREIGN MATERIAL.
- CONTRACTOR TO VERIFY FINISHES ON SIGNAGE WITH THE ARCHITECT.

CABINET WORK

- MAKE ALL FINISHED WORK PER THE DETAILED DRAWINGS.
- TAKE SUCH FIELD MEASUREMENTS AS MAY BE REQUIRED.
- ALL FINISHED CABINET MATERIALS TO BE AS CALLED OUT PER THE CONSTRUCTION DOCUMENTS.
- PLASTIC LAMINATE FINISHING SHALL CONFORM TO REQUIREMENTS OF ARCHITECTURAL WOODWORK INSTITUTE. "QUALITY STANDARDS" FOR "CUSTOM" GRADE AND NOTES CONTAINED HEREIN.
- INSTALLATION - INSTALL UNITS LEVEL AND PLUMB WITH TIGHT JOINTS BETWEEN ANY MULTIPLE UNITS. SCRIBE TO WALL AND OTHER SURFACES AS REQUIRED. ADJUST ALL DRAWERS, DOORS AND MOVABLE PARTS TO OPERATE EASILY AND SMOOTHLY WITHOUT BINDING.
- ALL DRAWERS TO BE FULL EXTENSION SIDES WITH A 75 LBS. LOAD CAPACITY.
- MILLWORK CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE GENERAL CONTRACTOR AND MILLWORK CONTRACTOR ARE TO COORDINATE AND INSTALL ALL REQUIRED BLOCKING, ANGLE BRACES, SUPPORTS, ETC., TO SUFFICIENTLY SUPPORT ALL COUNTERS.
- FINISHES
 - COUNTERTOP FINISHES TO BE PER FINISH SCHEDULE AND / OR SHOP DRAWINGS
 - CABINET FACES TO BE PER FINISH SCHEDULE AND / OR SHOP DRAWINGS
- HARDWARES TO BE AS CALLED OUT PER PLANS AND SCHEDULES. (TYPICAL)

ELECTRICAL - IN ACCORDANCE TO DETAIL 12 / T1.3

- BOTTOM OF ELECTRICAL OUTLET J-BOXES SHALL BE INSTALLED NOT LESS THAN 15" ABOVE THE FINISHED FLOOR OR WORKING PLATFORM.
- THE TOP OF THE J-BOX OF CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING, AND VENTILATING EQUIPMENT SHALL NOT BE MORE THAN 48" ABOVE THE FINISHED FLOOR OR WORKING PLATFORM.
- THE TOP OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FINISHED FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.
- THE INSTALLATION OF FIRE ALARM EQUIPMENT AND SYSTEMS IN ANY OCCUPANCY WITHIN THE SCOPE OF THESE REGULATIONS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE LOCAL, STATE & FEDERAL CODES AND REGULATIONS.
- (WHERE APPLIES) GENERAL CONTRACTOR TO SUPPLY (N) PANEL SCHEDULES FOR ALL ELECTRICAL PANELS PRIOR TO COMPLETION OF THE REMODEL.

HAZARDS AND PROTRUDING OBJECTS - IN ACCORDANCE TO DETAIL 8 / T1.3

- OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES ABOVE 27" AND BELOW 80" ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.
- OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27" ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT INTO WALKS, HALLS, CORRIDORS, PASSAGE WAYS OR AISLES. ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80" ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION.
- FREESTANDING OBJECTS MOUNTED ON POSTS OR PVLONS MAY OVERHANG 12" MAXIMUM FROM 27" TO 80" ABOVE THE GROUND OR FINISHED FLOOR.
- PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE.
- WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80" (INCHES) MINIMUM CLEAR HEAD ROOM.
- CONTRACTOR TO CONTACT ARCHITECT IF ROOF PENETRATIONS ARE DEEMED NECESSARY. ANY ROOF PENETRATIONS MUST BE COMPLETED BY LANDLORD APPROVED ROOFING CONTRACTOR.

SIGNAGE

- THE SIGNAGE AT THE STOREFRONT WILL BE CONTRACTED DIRECTLY BY THE GENERAL CONTRACTOR. THE G.C. MUST PROVIDE ANY AND ALL REQUIRED J-BOXES AS WELL AS ACCESS PANELS TO ALL SIGNAGE AS NECESSARY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH HIS SIGN CONTRACTOR AND MAKING SURE THE JOB IS DONE ON TIME. FULLY DETAILED SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THESE ARCHITECTURAL PLANS ONLY SHOW LIMITED DESIGN DETAILS AND ARE NOT ADEQUATE FOR CONSTRUCTION OF THE SIGN. SEE SIGN SHOP DRAWINGS. SIGN DRAWINGS WILL BE PREPARED BY OTHERS AND ARE UNDER SEPARATE PERMIT.
- BARRIER LAWS FOR THE PHYSICALLY HANDICAPPED ARE MINIMUM GUIDELINES. SHOULD THERE BE A CONFLICT BETWEEN THESE MINIMUM REQUIREMENTS AND WHAT IS CALLED FOR ON THE DRAWINGS, THE CONTRACTOR IS TO INFORM THE ARCHITECT FOR WRITTEN AND/OR GRAPHIC CLARIFICATION PRIOR TO PROCEEDING WITH WORK SO AFFECTED.

FIRE SPRINKLER SYSTEM (WHERE APPLIES)
IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY IF THE EXISTING FIRE SPRINKLER SYSTEM NEEDS TO BE MODIFIED IN ORDER TO ACCOMMODATE THE RENOVATION SPACE. THIS INCLUDES ALL AFFECTED AREAS TO INCLUDE MAIN LOBBY AND ADJACENT ROOMS. IF REQUIRED, THE CONTRACTOR MUST SUBMIT FIRE SPRINKLER SHOP DRAWINGS AND OBTAIN A FIRE SPRINKLER PERMIT FROM THE LOCAL FIRE DEPARTMENT AND / OR BUILDING DEPARTMENT. ALL COSTS AND FEES SHOULD BE INCLUDED IN THE CONTRACTOR'S BID PROPOSAL TO THE OWNER. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AN INSPECTION FOR APPROVAL AND SIGN-OFF FOR THE MODIFIED FIRE SPRINKLER SYSTEM BY THE FIRE DEPARTMENT AND BUILDING INSPECTOR.

PLUMBING (WHERE APPLIES)
GENERAL CONTRACTOR TO PERFORM A LINE JETTING OF ALL PLUMBING LINES AFTER NEW WORK IS COMPLETE. GENERAL CONTRACTOR MUST SUPPLY CERTIFICATE OF INVOICE WITH CLOSE OUT PACKAGE.

1. CODES
ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. NOTHING SHOWN IN THESE DRAWINGS SHALL BE CONSTRUED AS PERMISSION TO VIOLATE ANY GOVERNING CODES.

2. PERMITS

- THE GENERAL CONTRACTOR (G.C.) WILL PAY FOR ALL APPLICABLE BUILDING AND SIGNAGE PERMIT AND ANY LOCAL JURISDICTIONAL FEES OR ASSESSMENTS AS APPLICABLE. HOWEVER, THE GENERAL CONTRACTOR SHALL INCORPORATE ALL MECHANICAL, ELECTRICAL, PLUMBING (M.E.P.) AND CIVIL PERMITS AS NECESSARY IN HIS / HER BID PROPOSAL TO THE OWNER. THE M.E.P. AND CIVIL PERMITS WILL NOT BE PAID BY THE ARCHITECT. THE G.C. WILL PHYSICALLY PULL THE BUILDING PERMIT AND THE SIGNAGE PERMIT. THE G.C. MUST COORDINATE WITH HIS / HER SUBCONTRACTORS TO ENSURE THEIR APPLICABLE PERMITS ARE PULLED. THE G.C. AND ALL SUBCONTRACTORS PERFORMING WORK ON SITE MUST OBTAIN THEIR MUNICIPALITY BUSINESS LICENSES AT THEIR EXPENSE PRIOR TO START OF CONSTRUCTION. NOT HAVING ALL SUBCONTRACTOR BUSINESS LICENSES PAID FOR AT THE MUNICIPALITY MAY PREVENT THE PROJECT FROM FINAL LOCAL JURISDICTION APPROVAL AND SIGN-OFF.
- THERE MAY BE INSTANCES WHERE THERE ARE OUTSTANDING PLAN CHECK FEES THAT HAVE NOT BEEN PAID. THE G.C. WILL COORDINATE WITH THE APPROPRIATE MUNICIPALITY PLANNING AND / OR BUILDING DEPARTMENT AND DETERMINE ANY OUTSTANDING FEES. THE G.C. WILL NOTIFY THE ARCHITECT AND RECEIVE APPROVAL PRIOR TO PAYING THESE OUTSTANDING FEES. THIS WILL ALLOW THE G.C. TO NOT BE DELAYED IN PULLING THE BUILDING PERMIT.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE TO HIRE HIS / HER OWN SIGNAGE SUBCONTRACTOR FOR THE PROJECT.

3. CONSTRUCTION DOCUMENTS

- THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON THE DRAWINGS OR REASONABLY INFERRED THESE FROM. THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN, OR ABOUT, THE JOB SITE METHODS OF PERFORMANCE OR TIMELINES IN THE PERFORMANCE, OF THE WORK. IF DISCREPANCIES EXIST BETWEEN PLANS OF DIFFERENT SCALES, THE LARGER SCALE PLAN TYPICALLY WILL GOVERN. NOTIFY ARCHITECT FOR A WRITTEN OR GRAPHIC CLARIFICATION OF SUCH DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ALL ARCHITECT CLARIFICATIONS WILL BE WRITTEN AND / OR GRAPHIC VIA ARCHITECTURAL SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDERS OR CONSTRUCTION DIRECTIVES.

4. BIDS

- ALL BIDDERS PRIOR TO SUBMITTAL OF BIDS SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE ARCHITECT'S PLANS & EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY OR OMISSIONS OF ANY INFORMATION NECESSARY FOR COMPLETION OF THEIR SCOPE OF WORK.
- ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES REQUIRED TO PERFORM ALL WORK NECESSARY, INDICATED OR REASONABLY INFERRED OR REQUIRED BY ANY APPLICABLE CODE TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
- CONTRACTORS PRIOR TO BIDDING SHALL GUARANTEE THAT ALL OTHER SUB-BIDDERS OR SUB CONTRACTORS SHALL BE GIVEN COMPLETE FULL SETS OF PLANS TO INSURE THAT THEY HAVE INCLUDED ALL ITEMS NECESSARY TO COMPLETE THEIR WORK. ANY ITEM MISSED BY THESE SUBCONTRACTORS IN THEIR BIDS SHALL BE ABSORBED BY THE GENERAL CONTRACTOR AT HIS OR HER OWN EXPENSE AND IN NO WAY WILL AFFECT ANY ADDITIONAL COST OVER AND ABOVE THE FINAL BID.
- ALL TRADES SHALL PROVIDE BIDS ACCORDING TO THE PLANS AND SPECIFICATIONS. ANY ALTERNATE SHALL BE SUBMITTED TO THE OWNER (IN WRITING) FOR APPROVAL PRIOR TO ACCEPTANCE OF BID.

5. CONTRACTOR

- PRIOR TO COMMENCING, THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS AND VERIFY CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL VERIFY W/ THE PROPER UTILITY COMPANY OR OTHER AGENCY OR COMPANY THE LOCATIONS OF ALL EXISTING BELOW GRADE UTILITIES AND THEIR SERVICE CONNECTION PRIOR TO THE COMMENCEMENT OF WORK.
- NO CONTRACTOR OR SUB-CONTRACTOR IS TO START ANY WORK UNTIL A THOROUGH EXAMINATION OF ALL THE EXISTING CONDITIONS IS PERFORMED. IF FOR ANY REASON A SATISFACTORY JOB IS IMPOSSIBLE, IT SHALL BE IMMEDIATELY REPORTED TO THE PROJECT SUPERINTENDENT AND ARCHITECT FOR WRITTEN OR GRAPHIC CLARIFICATION BEFORE PROCEEDING WITH THE JOB.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR COORDINATION OF HIS WORK WITH THAT OF OTHER TRADES AND FOR PERFORMING ALL WORK IN A SAFE AND SATISFACTORY MANNER.
- CONTRACTOR TO VERIFY AND ENSURE AVAILABILITY AND TIMELY DELIVERY OF SPECIFIED OR SUBSTITUTED PRODUCTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF POSSIBLE CHANGES TO CONSTRUCTION DOCUMENTS OR ANY CONSTRUCTION DELAY DUE TO NON AVAILABILITY OR LATE DELIVERY OF MATERIALS. CONTRACTOR (& NOT THE ARCHITECT) IS RESPONSIBLE FOR NON AVAILABILITY OR LATE DELIVERY OF PRODUCTS DURING CONSTRUCTION.
- ANY CONTRACTOR PRIOR TO INSTALLATION OR PROCUREMENT OF MATERIALS SHALL NOTIFY ARCHITECT OF PROBLEMS IF ANY. FAILURE TO DO SO SHALL MEAN THAT ALL NECESSARY CORRECTIVE MEASURE, DOCUMENTATION, ETC. SHALL BE DONE BY THAT CONTRACTOR AT HIS OWN EXPENSE AND TIME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE CONSTRUCTION OF THE WORK AND SHALL BRING TO THE ARCHITECT'S ATTENTION OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- PROVIDE ALL NECESSARY BACKING AND FRAMING FOR ALL WALL MOUNTED ITEMS, LIGHT FIXTURES AND ALL OTHER ITEMS REQUIRED.

6. LIABILITIES

- THE DESIGN PROFESSIONAL (DP) SHALL CONSULT WITH THE CLIENT REGARDING THE PROBABLE SERVICES REQUIRED TO COMPLY WITH BUILDING CODES AND AMERICANS WITH DISABILITIES ACT (ADA). THE DP IS NOT AN ATTORNEY NOR SHOULD THE DP'S RENDERING AN OPINION OF PROBABLE SERVICES REQUIREMENTS BE CONSIDERED EQUIVALENT TO A LEGAL INTERPRETATION OF ADA. THE DP'S OPINION WILL BE BASED SOLELY ON HIS / HER OWN EXPERIENCE AND KNOWLEDGE. THIS REQUIRES THE DP TO MAKE A CERTAIN NUMBER OF ASSUMPTIONS AS TO THE TYPES OF DISABILITIES COVERED BY ADA. THE DEGREE OF ACCESS THAT IS READILY ACHIEVABLE AND WHAT CONSTITUTES 'READILY ACCESSIBLE AND USABLE'. GIVEN THE ASSUMPTIONS WHICH MUST BE MADE THE DP CANNOT AND DOES NOT GUARANTEE THE ACCURACY OF HIS / HER OPINION AS TO FULL COMPLIANCE AND IN RECOGNITION OF THAT FACT, THE CLIENT WAIVES ANY CLAIM AGAINST THE DP RELATIVE TO THE ADEQUACY OF THE OPINION TO FULLY COMPLY WITH BUILDING CODES AND ADA REQUIREMENTS.
- THE ARCHITECT WHO SIGN THESE PLANS, SPECIFICATIONS AND OTHER INSTRUMENTS OF SERVICE SHALL NOT BE HELD RESPONSIBLE FOR DAMAGES RESULTING FROM CHANGES OR USES NOT AUTHORIZED OR APPROVED BY THE ARCHITECT. THE SIGNING OF THESE DOCUMENTS WILL NOT IMPOSE A LEGAL DUTY OR RESPONSIBILITY TO OBSERVE THE CONSTRUCTION AND / OR INSTALLATION OF THE FIXED WORKS SUBJECT TO THESE DOCUMENTS.
- ALL BRACING NECESSARY FOR CONSTRUCTION PURPOSES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE DESIGN ADEQUACY AND SAFETY OF THE ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO MAINTAIN STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

7. INTENTION
UNLESS NOTED OTHERWISE, THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT & TRANSPORTATION NECESSARY FOR COMPLETE AND PROPER EXECUTION OF THE WORK.

8. SUBSTITUTION
NO SUBSTITUTION SHALL BE MADE WITHOUT THE ARCHITECT'S APPROVAL.

9. CHANGES
THE OWNER OR ARCHITECT MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK. THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY.

10. SCOPE
ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND PERFORM ALL WORK NECESSARY, REASONABLY INFERRED OR REQUIRED BY ANY CODE OR REGULATION ADOPTED BY LOCAL JURISDICTION, TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.

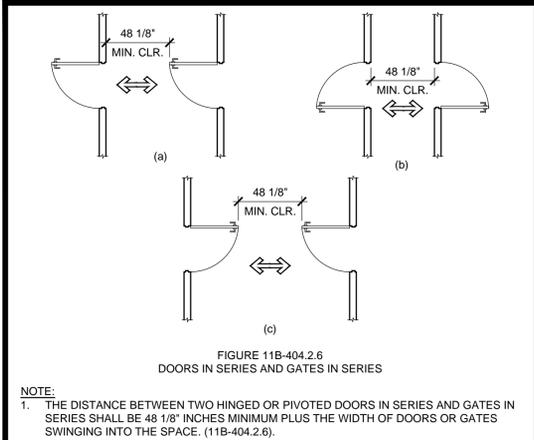
11. CUTTING AND PATCHING
ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.

12. CLEANING
THE CONTRACTOR SHALL CLEANUP, REMOVE AND RECYCLE IN A LEGAL MANNER AND NOT DISPOSE IN LANDFILL. ALL DEBRIS AND WASTE ATTRIBUTED TO THE JOB.

13. (AS-BUILT) DRAWINGS
GENERAL CONTRACTOR TO KEEP AN ACCURATE RECORD OF CHANGES IN FIELD AND SUBMIT A COMPLETE SET OF AS-BUILT DRAWINGS TO THE ARCHITECT FOR HIS / HER REVIEW AND TO THE OWNER. FOREMAN TO HAVE AN ACCURATE FLOOR PLAN AND PROJECT SCHEDULE ON-SITE AT ALL TIMES.

RESPONSIBILITY MATRIX

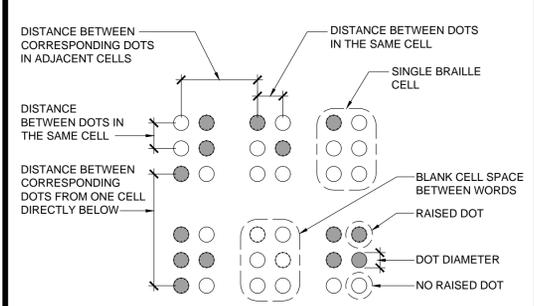
| DESCRIPTION | NOT RECD EXISTING | FURNISH | FRCHS INSTALL | YOGA SIX INSTALL | G.C. FURNISH | REMARKS |
|--|-------------------|---------|---------------|------------------|--------------|---|
| DIVISION 01 - GENERAL REQUIREMENTS | | | | | | |
| 1. BUILDING PERMITS | | ○ | | | ○ | PERMITS & FEES PAID BY G.C. |
| 2. THIRD PARTY INSPECTION | | | | | | ANY 3RD PARTY INSPECTION REQUIRED BY CITY |
| A. TEST AND BALANCE | | | | | | |
| 3. TEMPORARY UTILITIES | | | | | | |
| 4. FINAL CLEAN UP | | | | | | |
| 5. INSURANCE | | | | | | |
| 6. PROTECTION OF ALL FINISHED SURFACES | | | | | | BOTH OWNER AND GENERAL CONTRACTOR |
| 7. TEMPORARY LABOR | | | | | | |
| 8. DUMPSTER | | | | | | |
| 9. STORAGE CONTAINER | | | | | | G.C. TO COORDINATE AND PROVIDE STORAGE CONTAINER FOR OWNER FURNISHED ITEMS DURING LAST 2 WEEKS OF CONSTRUCTION |
| DIVISION 04 - MASONRY | | | | | | |
| DIVISION 05 - METALS | | | | | | |
| DIVISION 06 - WOOD & PLASTICS | | | | | | |
| 1. WOOD FRAMING - STUDS, BACKING | | | | | ○ | |
| 2. WOOD CARPENTRY - CASEWORK, MILLWORK | | | | | ○ | G.C. IS RESP FOR RECEIVING, STORING, AND PROTECTING ALL MILLWORK ON SITE. SEE MILLWORK SHEET FOR SIZE AND UNIT DETAILS. |
| A. RECEPTION DESK | | | | | ○ | G.C. TO SET IN PLACE |
| B. LOCKERS | | | | | ○ | G.C. TO SET IN PLACE |
| C. BENCH | | | | | ○ | G.C. TO SET IN PLACE |
| D. 2 OR 4 - WAY DISPLAY | | | | | ○ | G.C. TO SET IN PLACE |
| E. WEIGHT CABINET & STORAGE SHELVES | | | | | ○ | G.C. TO SET IN PLACE |
| F. SLAT WALL | | | | | ○ | G.C. TO SET IN PLACE |
| DIVISION 07 - THERMAL AND MOISTURE | | | | | | |
| 1. ROOFING PENETRATIONS | | | | | ○ | |
| 2. INSULATION (INTERIOR WALLS) | | | | | ○ | |
| 3. INSULATION (ROOF DECK) | | | | | ○ | |
| DIVISION 08 - OPENINGS | | | | | | |
| 1. INTERIOR DOORS & FRAMES | | | | | ○ | |
| 2. HOLLOW METAL FRAMES | | | | | ○ | |
| 3. DOOR HARDWARE | | | | | ○ | |
| 4. ENTRANCES AND STOREFRONT (IF REQ'D) | | | | | ○ | |
| 5. MIRRORS | | | | | ○ | |
| 6. REAR SERVICE DOOR | | | | | ○ | G.C. TO BRING REAR DOOR TO PROPER WORKING |
| DIVISION 09 - FINISHES | | | | | | |
| 1. RUBBER FLOORING | | | | | ○ | MUST BE ORDERED THROUGH S.P.S. VENDER |
| 2. TILE FLOORING | | | | | ○ | MUST BE ORDERED THROUGH S.P.S. VENDER |
| 3. VINYL FLOORING | | | | | ○ | MUST BE ORDERED THROUGH S.P.S. VENDER |
| DIVISION 10 - SPECIALTIES | | | | | | |
| 1. GRAB BARS | | | | | ○ | |
| 2. HAND TOWEL DISPENSERS IN RESTROOMS | | | | | ○ | |
| 3. TOILET PAPER DISPENSERS | | | | | ○ | |
| 4. SANITARY NAPKIN DISPOSALS (WOMEN'S) | | | | | ○ | |
| 5. RESTROOM & EXERCISE ROOM MIRRORS | | | | | ○ | |
| 6. ADA & HC TACTILE SIGNS PER CODE | | | | | ○ | |
| A. FIRE EXTINGUISHERS | | | | | ○ | |
| 6. ALL SPECIALTY SIGNAGE PER CODE | | | | | ○ | |
| DIVISION 11 - EQUIPMENT | | | | | | |
| 1. WORKOUT EQUIPMENT | | | | | ○ | |
| 2. SPEAKERS | | | | | ○ | |
| DIVISION 12 - FURNISHINGS | | | | | | |
| 1. BENCHES | | | | | ○ | |
| 2. SIGNAGE | | | | | ○ | |
| A. EXTERIOR SIGNAGE | | | | | ○ | |
| B. LOBBY SIGNAGE | | | | | ○ | |
| C. STUDIO SIGNAGE | | | | | ○ | |
| D. WALL GRAPHICS | | | | | ○ | |
| 3. STORAGE ROOM SHELVING | | | | | ○ | |
| DIVISION 22 - PLUMBING | | | | | | |
| 1. WATER CLOSET & LAVATORY / HANDSINK | | | | | ○ | |
| 2. WASHER / DRYER / REFRIGERATOR | | | | | ○ | |
| 3. MOP BASIN (w/ BACK FLOW PREVENTOR) | | | | | ○ | |
| 4. FLOWATER | | | | | ○ | |
| DIVISION 23 - HEATING, VENTILATING, AND AIR CONDITIONING (HVAC) | | | | | | |
| 1. THERMOSTATS AND REMOTE SENSORS | | | | | ○ | |
| 2. RTU'S | | | | | ○ | |
| 3. STUDIO HEATER / HUMIDIFIER | | | | | ○ | |
| 4. RTU FILTER & CHANGE AT CONSTRUCTION TURN OVER TO FRANCHISEE | | | | | ○ | |
| DIVISION 26 - ELECTRICAL | | | | | | |
| 1. LIGHT FIXTURES | | | | | ○ | |
| 2. LIGHT FIXTURE LIGHT BULBS (LAMPS) | | | | | ○ | |
| A. FIRE ALARM SYSTEM (IF REQUIRED) | | | | | ○ | |
| DIVISION 27 - COMMUNICATION | | | | | | |
| 1. TELEPHONE/ INTERNET ROUGH IN & CABLING | | | | | ○ | |
| 2. INTERIOR RECESSED ACCESS PANEL | | | | | ○ | |
| A. TELEPHONE EQUIPMENT INSTALLATION | | | | | ○ | |
| B. TELEPHONE BACKER BOARD AT DEMARK | | | | | ○ | |
| | | | | | | |



ACCESSIBLE DOORS IN A SERIES

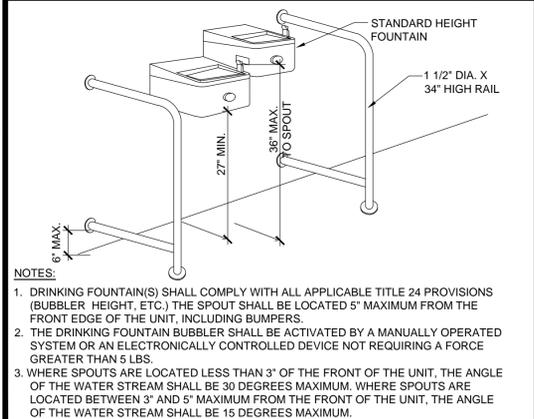
| MEASUREMENT RANGE | MINIMUM IN INCHES | MAXIMUM IN INCHES |
|--|-------------------|-------------------|
| DOT BASE DIAMETER | 0.059 | 0.063 |
| DISTANCE BETWEEN TWO DOTS IN THE SAME CELL | 1 | 0.100 |
| DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS | 1 | 0.300 |
| DOT HEIGHT | 0.025 | 0.037 |
| DISTANCE BETWEEN CORRESPONDING DOTS FROM ONE CELL DIRECTLY BELOW | 1 | 0.395 TO 0.400 |

1. MEASURED CENTER TO CENTER
TABLE 11B-703.3.1 BRAILLE DIMENSIONS



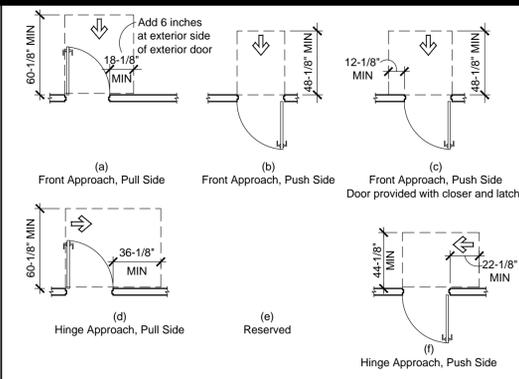
SIGNS / BRAILLE

| | |
|--------|----|
| SCALE | 19 |
| N.T.S. | |



DRINKING FOUNTAIN

| | |
|--------------|----|
| SCALE | 20 |
| 3/8" = 1'-0" | |



ACCESSIBLE DOOR CLEARANCES

| TYPE OF USE | MINIMUM MANEUVERING CLEARANCE | | |
|--------------------|-------------------------------|----------------------------|--|
| APPROACH DIRECTION | DOOR SIDE | PERPENDICULAR TO DOORWAY | PARALLEL TO DOORWAY (beyond latch side unless noted) |
| FROM FRONT | PULL | 60-1/8 INCHES | 18-1/8 INCHES ⁵ |
| FROM FRONT | PUSH | 48-1/8 INCHES | 0 INCHES ¹ |
| FROM HINGE SIDE | PULL | 60-1/8 INCHES | 36-1/8 INCHES |
| FROM HINGE SIDE | PUSH | 44-1/8 INCHES ² | 22-1/8 INCHES ³ |
| FROM LATCH SIDE | PULL | 60-1/8 INCHES | 24-1/8 INCHES |
| FROM LATCH SIDE | PUSH | 44-1/8 INCHES ⁴ | 24-1/8 INCHES |

1. ADD 12 INCHES IF CLOSER AND LATCH ARE PROVIDED.
2. BEYOND HINGE SIDE.
3. ADD 4 INCHES IF CLOSER IS PROVIDED.
4. ADD 6 INCHES AT EXTERIOR SIDE OF EXTERIOR DOORS.
5. DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. (11B-404.2.3)

ACCESSIBLE DOOR CLEARANCES

| APPROACH DIRECTION | MINIMUM MANEUVERING CLEARANCE |
|------------------------|-------------------------------|
| FROM FRONT | 48-1/8 INCHES |
| FROM SIDE | 42-1/8 INCHES |
| FROM POCKET/HINGE SIDE | 42-1/8 INCHES |
| FROM STOP/LATCH SIDE | 42-1/8 INCHES |

1. DOORWAY WITH NO DOOR ONLY.
2. BEYOND POCKET/HINGE SIDE.

ACCESSIBLE DOOR CLEARANCES

| APPROACH DIRECTION | MINIMUM MANEUVERING CLEARANCE |
|------------------------|-------------------------------|
| FROM FRONT | 48-1/8 INCHES |
| FROM SIDE | 42-1/8 INCHES |
| FROM POCKET/HINGE SIDE | 42-1/8 INCHES |
| FROM STOP/LATCH SIDE | 42-1/8 INCHES |

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1. DOORWAY WITH NO DOOR ONLY.
2. BEYOND POCKET/HINGE SIDE.

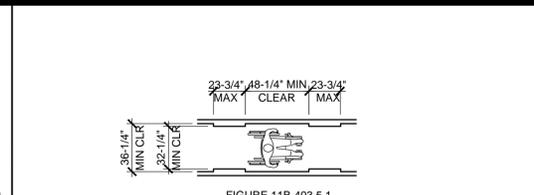
ACCESSIBLE DOOR CLEARANCES

| APPROACH DIRECTION | MINIMUM MANEUVERING CLEARANCE |
|------------------------|-------------------------------|
| FROM FRONT | 48-1/8 INCHES |
| FROM SIDE | 42-1/8 INCHES |
| FROM POCKET/HINGE SIDE | 42-1/8 INCHES |
| FROM STOP/LATCH SIDE | 42-1/8 INCHES |

1. DOORWAY WITH NO DOOR ONLY.
2. BEYOND POCKET/HINGE SIDE.

ACCESSIBLE DOOR CLEARANCES

| APPROACH DIRECTION | MINIMUM MANEUVERING CLEARANCE |
|------------------------|-------------------------------|
| FROM FRONT | 48-1/8 INCHES |
| FROM SIDE | 42-1/8 INCHES |
| FROM POCKET/HINGE SIDE | 42-1/8 INCHES |
| FROM STOP/LATCH SIDE | 42-1/8 INCHES |



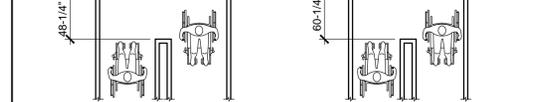
CLEAR WIDTH AT ROUTE / TURN

| | |
|--------|---|
| SCALE | 9 |
| N.T.S. | |



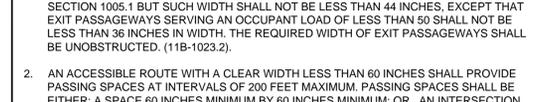
CLEAR WIDTH AT ROUTE / TURN

| | |
|--------|----|
| SCALE | 10 |
| N.T.S. | |



WIDTH OF ACCESSIBLE ROUTE

| | |
|--------|----|
| SCALE | 11 |
| N.T.S. | |



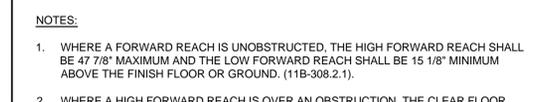
TOE & KNEE CLEARANCE

| | |
|--------|---|
| SCALE | 7 |
| N.T.S. | |



PROTRUDING OBJECTS

| | |
|--------|---|
| SCALE | 8 |
| N.T.S. | |



SIDE REACH

| | |
|--------|----|
| SCALE | 12 |
| N.T.S. | |



FLOOR / GROUND SURFACE

| | |
|--------|---|
| SCALE | 5 |
| N.T.S. | |



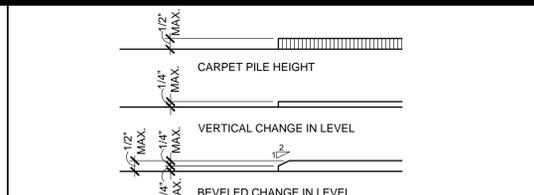
FLOOR / GROUND SURFACE

| | |
|--------|---|
| SCALE | 6 |
| N.T.S. | |



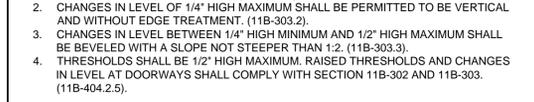
BUILDING ENTRY SIGN

| | |
|--------|---|
| SCALE | 2 |
| N.T.S. | |



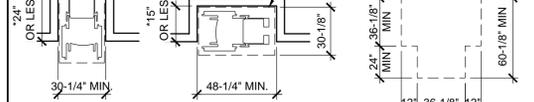
BUILDING ENTRY SIGN

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|--------|---|
| SCALE | 2 |
| N.T.S. | |



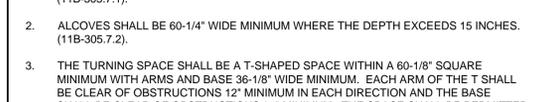
TACTILE EXIT SIGN

| | |
|--------|----|
| SCALE | 19 |
| N.T.S. | |



ACCESSIBLE DOOR CLEARANCES

| | |
|--------|----|
| SCALE | 15 |
| N.T.S. | |



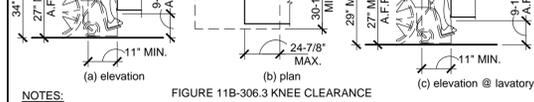
WIDTH OF ACCESSIBLE ROUTE

| | |
|--------|----|
| SCALE | 10 |
| N.T.S. | |



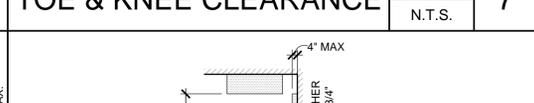
TOE & KNEE CLEARANCE

| | |
|--------|---|
| SCALE | 7 |
| N.T.S. | |



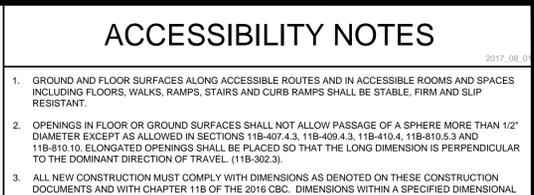
PROTRUDING OBJECTS

| | |
|--------|---|
| SCALE | 8 |
| N.T.S. | |



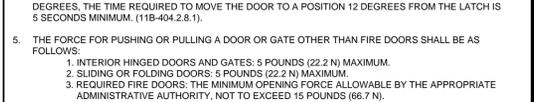
BUILDING ENTRY SIGN

| | |
|--------|---|
| SCALE | 2 |
| N.T.S. | |



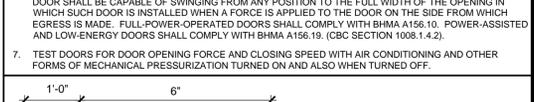
BUILDING ENTRY SIGN

| | |
|--------|---|
| SCALE | 2 |
| N.T.S. | |



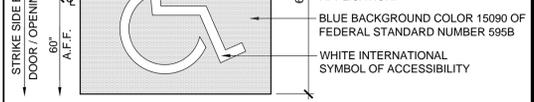
TACTILE EXIT SIGN

| | |
|--------|----|
| SCALE | 19 |
| N.T.S. | |



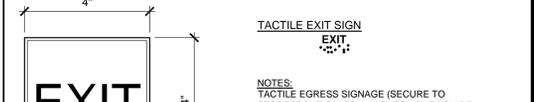
ACCESSIBLE DOOR CLEARANCES

| | |
|--------|----|
| SCALE | 15 |
| N.T.S. | |



WIDTH OF ACCESSIBLE ROUTE

| | |
|--------|----|
| SCALE | 10 |
| N.T.S. | |



TOE & KNEE CLEARANCE

| | |
|-------|---|
| SCALE | 7 |
|-------|---|

| | | | | |
|---|--|---|---|--|
| <p>FRESH CONCRETE AND MORTAR APPLICATION BEST MANAGEMENT PRACTICES FOR</p> <ul style="list-style-type: none"> Masons and bricklayers Sidewalk construction crews Patio construction workers Construction inspectors General contractors Home builders Developers <p>When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.</p> <p>Place hay bales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.</p> <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind. Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff. Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams. <p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Don't mix up more fresh concrete or cement than you will use in a day. Set up and operate small mixers on tarps or heavy plastic drop cloths. | <p>LANDSCAPING, GARDENING, AND POOL MAINTENANCE BEST MANAGEMENT PRACTICES FOR THE:</p> <p>Pool/Fountain/Spa Maintenance</p> <ul style="list-style-type: none"> Landscapers Gardeners Swimming pool/spa service and repair workers General contractors Home builders Developers <p>Never discharge pool or spa water to a street or storm drain.</p> <p>OR</p> <ul style="list-style-type: none"> When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area. Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction. Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant. <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting. Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet. Schedule grading and excavation projects for dry weather. Use temporary check dams or ditches to divert runoff away from storm drains. Protect storm drains with hay bales or other erosion controls. Revegetation is an excellent form of erosion control for any site. | <p>LANDSCAPING/GARDEN MAINTENANCE</p> <ul style="list-style-type: none"> Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash. Dispose of unused pesticide as hazardous waste. Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost. In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste. Do not place yard waste in gutters. Do not blow or rake leaves, etc. into the street. <p>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p> | <p>HEAVY EQUIPMENT OPERATION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Vehicle and equipment operators Site supervisors General contractors Home builders Developers <p>SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE</p> <ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clean up spills immediately when they happen. <p>STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE</p> <p>Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.</p> | <p>PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP</p> <ul style="list-style-type: none"> Painters Paperhangers Plasterers Graphic artists Dry wall crews Floor covering installers General contractors Home builders Developers <p>Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.</p> <p>For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.</p> <p>For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.</p> <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Recycle/reuse leftover paints whenever possible. Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste. Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste. <p>PAINT REMOVAL</p> <ul style="list-style-type: none"> Chemical paint stripping residue is a hazardous waste. Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash. When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. <p>STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES</p> <p>All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.</p> |
|---|--|---|---|--|

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

| | | | | | |
|---|--|---|--|---|--|
| <p>EARTH MOVING ACTIVITIES BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Bulldozers, backhoe, and grading machine operators Dump truck drivers Site supervisors General contractors Home builders Developers <p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Remove existing vegetation only when absolutely necessary. Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned. Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Cover stockpiles and excavated soil with secured tarps or plastic sheeting. <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Schedule excavation and grading work for dry weather. Perform major equipment repairs away from the job site. When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains. Do not use diesel oil to lubricate equipment or parts. | <p>DETECTING CONTAMINATED SOIL OR GROUNDWATER</p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p> <p>WATCH FOR ANY OF THESE CONDITIONS:</p> <ul style="list-style-type: none"> Unusual soil conditions, discoloration, or odor Abandoned underground tanks Abandoned wells Buried barrels, debris, or trash <p>STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES</p> <p>Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.</p> <p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc. Use check dams, ditches, or berms to divert runoff around excavations. | <p>ROADWORK AND PAVING BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Road Crews Driveway/sidewalk/parking lot construction crews Seal coat contractors Operators of: grading equipment paving machines dump trucks concrete mixers Construction inspectors General contractors Developers <p>Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.</p> <p>Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use.</p> <p>Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.</p> <p>Collect and recycle or appropriately dispose of excess abrasive gravel or sand.</p> <p>Avoid over application by water trucks for dust control.</p> <p>ASPHALT/CONCRETE REMOVAL</p> <ul style="list-style-type: none"> Avoid creating excess dust when breaking asphalt or concrete. After breaking old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff. Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary. Never hose down streets to clean up tracked dirt. <p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p> | <p>GENERAL CONSTRUCTION AND SITE SUPERVISION BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down. Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site. Make sure portable toilets are in good working order. Check frequently for leaks. <p>MATERIALS/WASTE/HANDLING</p> <ul style="list-style-type: none"> Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job. Use recyclable materials whenever possible. Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed. <p>STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES</p> <p>Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.</p> | <p>BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION</p> <p>In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or baylands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.</p> <p>Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.</p> <p>Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.</p> <p>Spill Response Agencies</p> <ol style="list-style-type: none"> Dial 911 Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours). <p>Local Pollution Control Agencies</p> <p>Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195</p> <p>Santa Clara Valley Water District (408) 927-0710</p> <p>San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300 Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga</p> <p>Sunnyvale Water Pollution Control Plant (408) 730-7270</p> <p>Palo Alto Regional Water Quality Control Plant (415) 329-2598 Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford</p> | <p>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</p> <p>A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>C. Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p> |
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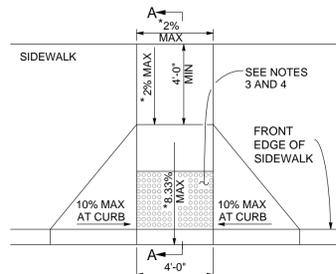
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| No. | | | | | |
| Date: | 07/01/03 | Drawn By: | | Designed By: | |

PLAN FOR THE IMPROVEMENT OF

BLUEPRINT FOR A CLEAN BAY

ENCROACHMENT PERMIT NO.

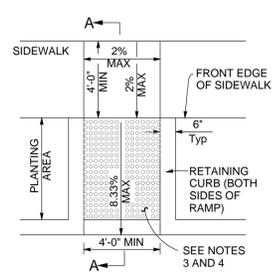
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| SHEET: | T1.4 |



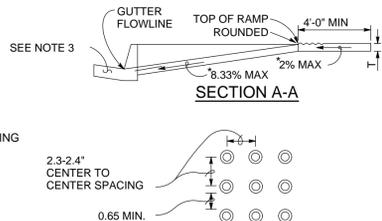
CASE A

- NOTES:**
- TRANSITIONS FROM RAMPS AND LANDING TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
 - MAXIMUM SLOPES OF ADJOINING GUTTERS. THE ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT EXCEED 5 PERCENT WITHIN 4'-0" OF THE TOP AND BOTTOM OF THE CURB RAMP.
 - CURB RAMPS SHALL HAVE A DETECTABLE WARNING SURFACE THAT EXTENDS THE FULL WIDTH OF THE RAMP AND 36" IN THE DIRECTION OF TRAVEL. CASE "C" SHALL HAVE DETECTABLE WARNING SURFACE FULL WIDTH AND 3' DEPTH OF LANDING. DETECTABLE WARNING SURFACES SHALL CONFORM TO 2013 CBC 11-705
 - THE EDGE OF THE DETECTABLE WARNING SURFACE NEAREST THE STREET SHALL BE BETWEEN 6" AND 8" FROM FACE OF THE BOTTOM OF CURB.

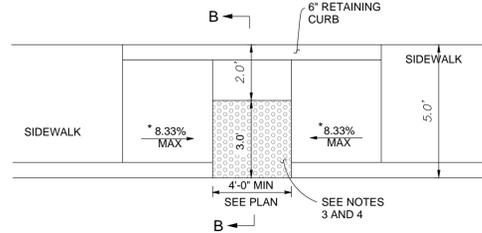
CURB RAMP DETAIL



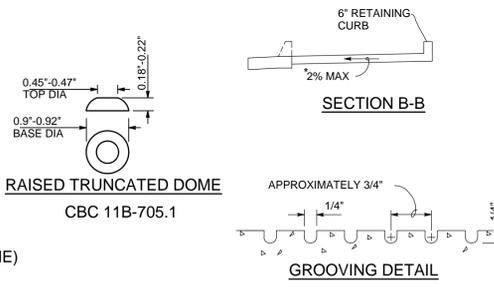
CASE F



RAISED TRUNCATED DOME PATTERN (IN-LINE) DETECTABLE WARNING SURFACE



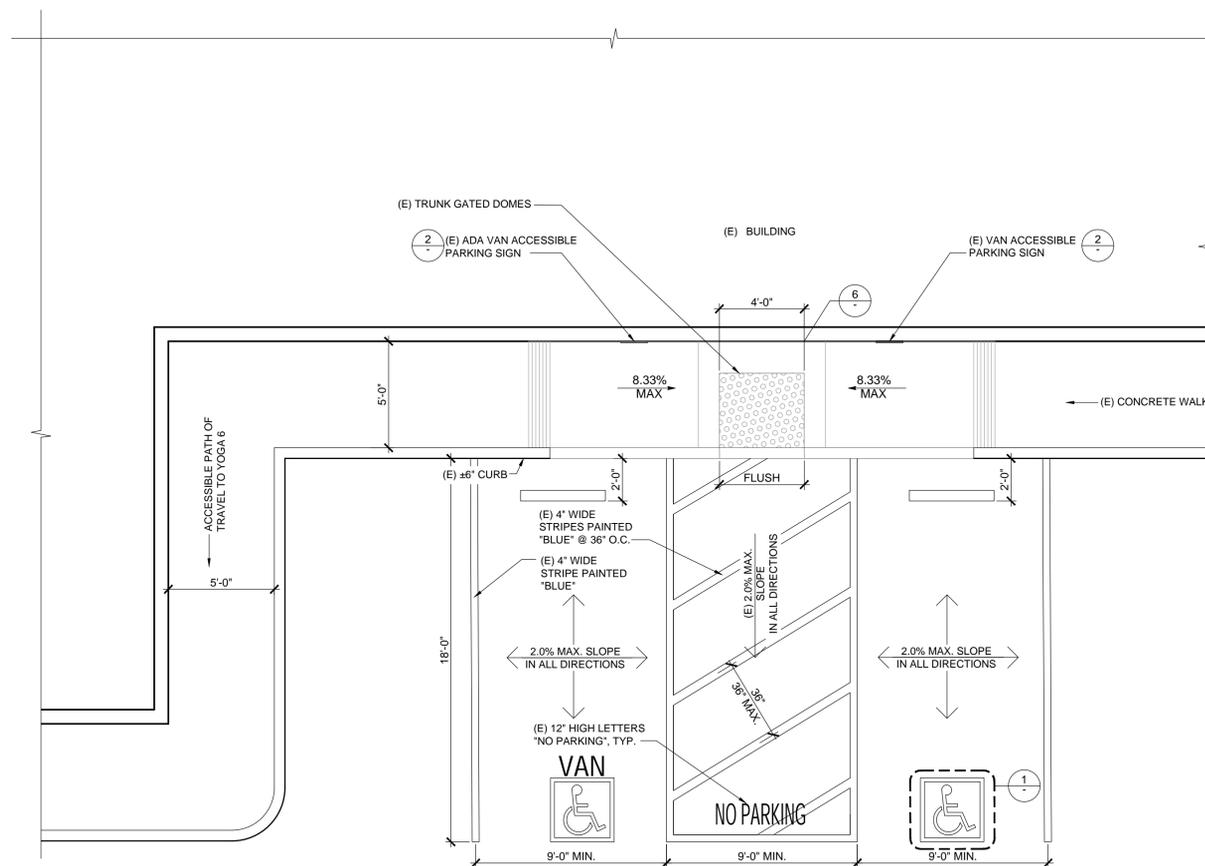
CASE C



GROOVING DETAIL

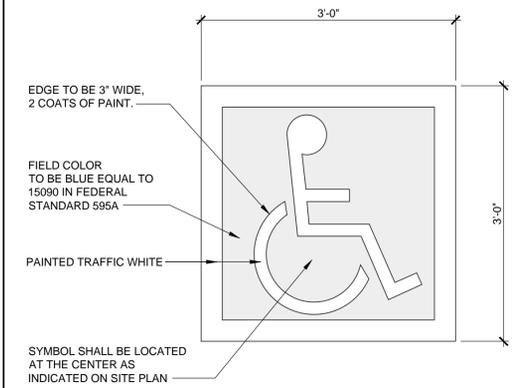
TYP. CURB RAMP DETAILS

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| NTS | |

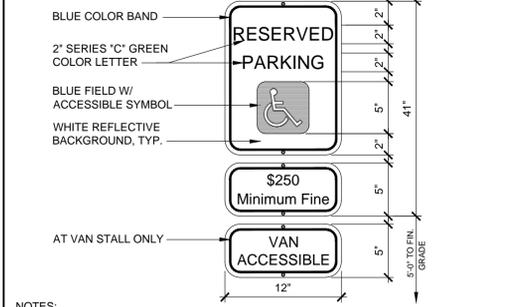


(E) ACCESSIBLE PARKING STALLS

| | |
|--------------|---|
| SCALE | 8 |
| 1/4" = 1'-0" | |



INTERNATIONAL SYMBOL OF ACCESSIBILITY



- NOTES:**
- LOCATE BOTTOM OF SIGN NOT LESS THAN 5'-0" ABOVE GRADE WALL MOUNTED.
 - SIGNS SHOULD BE PROPERLY CENTERED WITHIN THE PARKING SPACE, NO FURTHER THAN SIX FEET FROM THE FRONT OF EACH PARKING SPACE (SEE SITE PLAN).
 - SIGN TO CONFORM TO LOCAL ORDINANCE FOR SIZE AND LETTERING.
 - PROVIDE "VAN ACCESSIBLE" SIGN WHERE REQUIRED.
 - PROVIDE CORROSION RESISTANT EXTERIOR GRADE ANCHORS.
 - WATERPROOF AND SEAL ALL BUILDING PENETRATIONS PER INDUSTRY STANDARDS.

PARKING SIGN DETAIL

| | |
|--------|---|
| SCALE | 2 |
| N.T.S. | |

SITE ACCESSIBLE SIGN

| | |
|------------|---|
| SCALE | 3 |
| 1" = 1'-0" | |

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CONSULTANT

PROJECT LOCATION

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SHEET TITLE

ACCESSIBLE DETAILS

STAMP

DATE SIGNED: 2019/07/30
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REVISIONS

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|---|------------|------------------------|
| △ | 2019-07-23 | PLAN CHECK CORRECTIONS |
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DATE: 2019-07-30
PROJECT NUMBER: A2163

SHEET NUMBER

AS2.1

Printed: 8/12/2019 10:00 AM (monday) File: c5-a2163_wa2_1_site_details.dwg

PERMIT SET: 2019_07_30

DEMOLITION - GENERAL NOTES

SEE SHEET T1.2 FOR GENERAL CONSTRUCTION NOTES

- CODES AND STANDARDS:**
- DEMOLITION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE LANDLORD, CITY, STATE AND FEDERAL SAFETY REQUIREMENTS.
 - GENERAL CONTRACTOR (G.C.) SHALL PROCURE ALL CITY AND STATE PERMITS AND LICENSES AND PAY ALL CHARGES AND FEES UNLESS SPECIFIED OTHERWISE.
 - SITE INVESTIGATION:**
THE G.C. SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF ALL THE WORK AND ANY OTHER MATTERS THAT, IN ANY WAY, MAY AFFECT THE WORK. FAILURE OF THE G.C. TO FAMILIARIZE THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING CONDITIONS WILL NOT RELIEVE THEM FROM FULL RESPONSIBILITY FOR ANY EXCESS IN THE COST OF THE WORK. IMMEDIATELY UPON COMPLETION OF DEMOLITION, ALL CONDITIONS AND DIMENSIONS ARE TO BE CHECKED FOR DISCREPANCIES. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. ANY UNNOTED EXISTING CONDITIONS WHICH MAY CONFLICT WITH THE PROPOSED OF NEW WORK AND MAY REQUIRE MODIFICATION, RE-LOCATION OR REMOVAL SHALL BE IDENTIFIED AND REPORTED TO THE ARCHITECT IMMEDIATELY.

- DEMOLITION:**
- UNLESS NOTED OTHERWISE, NO ALTERATION OF THE LANDLORD'S BUILDING STRUCTURE IS ALLOWED. OPERATIONAL PROCEDURES SHALL BE OPTIONAL AT THE G.C.'S DISCRETION AS LONG AS THE PROCEDURES DO NOT DELAY THE APPROVED WORK SCHEDULE OR COMPROMISE SALVAGE REQUIREMENTS.
 - COORDINATE ANY DEMOLITION REQUIREMENTS AND PROVISIONS WITH THE ARCHITECT IN WRITING PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY IF ANY UNFORESEEN HAZARDS ARE DISCOVERED PRIOR TO COMPLETION OF DEMOLITION.
 - G.C. SHALL NOT DEMOLISH ANY LOAD BEARING AND SHEAR WALLS AND ANY CONSTRUCTION THAT WILL COMPROMISE THE FULL STRUCTURAL INTEGRITY OF THE EXISTING SPACE AND BUILDING. G.C. IS RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY OF ANY STRUCTURAL CONCERNS DURING DEMOLITION AND CONSTRUCTION.
 - REMOVE ALL EXISTING INTERIOR PARTITIONS, DOORS AND DOOR FRAMES DENOTED FOR DEMOLITION. REMOVE ALL MILLWORK, EQUIPMENT, ETC. ATTACHED TO PARTITIONS SCHEDULED FOR DEMOLITION.

- REMOVE ALL FLOOR FINISHES AS SCHEDULED FOR REMOVAL. PREPARE FLOOR FOR INSTALLATION OF NEW FLOORING MATERIAL PER MANUFACTURERS' RECOMMENDATIONS. G.C. MAY NEED TO PERFORM A MOISTURE TEST PRIOR TO ANY DEMOLITION / NEW FLOORING INSTALLATION WHERE REQUIRE.
- REFER TO THE SCOPE OF NEW WORK IN THE DRAWINGS FOR ANY EQUIPMENT, DUCTWORK, REGISTERS, ETC. ENCOUNTERED DURING DEMOLITION NOT SHOWN ON THESE PLANS. NOTIFY ARCHITECT IN WRITING OF ANY ABANDONED AND / OR NOT USED EQUIPMENT, FIXTURES, DUCTWORK, REGISTERS, ETC.
- REMOVE AND DISPOSE OF ALL FIXTURES AND HANGING RAILS UNLESS NOTED TO BE RE-USED. SEE NEW FIXTURE PLAN AND NEW REFLECTED CEILING PLAN FOR ALL EXISTING FIXTURES AND DEVICES DENOTED TO BE RE-USED AND RE-LOCATED.
- REPLACE OR RE-LOCATE, IN ACCORDANCE WITH LOCAL CODES, ALL FIRE SUPPRESSION AND FIRE ALARM EQUIPMENT DISTURBED BY DEMOLITION WORK. MAINTAIN INTEGRITY OF FIRE SUPPRESSION AND FIRE ALARM SYSTEM.

- DISCONNECTION OF SERVICES:**
- G.C. TO COORDINATE WITH YOGA SIX VENDORS TO DISCONNECT AND RECONNECT ANY AND ALL COMPUTER AND PHONE HARDWARE.
 - EXISTING SERVICES THAT WILL BE DISRUPTED BY CONSTRUCTION WORK SHALL BE RE-ROUTED AS NECESSARY TO PROVIDE TEMPORARY CONTINUATION OF SERVICE. DISCONNECTED SERVICES SHALL BE PLUGGED AND SEALED IN SAFE AND APPROVED MANNER.
 - REMOVE ALL EXISTING SPEAKERS, CAMERA DEVICES AND EQUIPMENT
 - RE-USE EXISTING ELECTRICAL DEVICES, OUTLETS, TELEPHONE AND DATA JACKS AND THERMOSTATS: MODIFY EXISTING WIRING AS REQUIRED BY NEW CONSTRUCTION OR, IF NOT REQUIRED, TERMINATE AND CAP OFF AT NEAREST PANEL OR SOURCE ABOVE CEILING.
 - THE G.C. IS RESPONSIBLE TO FIELD VERIFY AND LOCATE ALL WET AND DRY UTILITIES CONNECTION POINTS PRIOR TO ANY DEMOLITION OR CONSTRUCTION. (I.E. GAS, WATER AND SEWER, CLEAN OUTS, ETC.

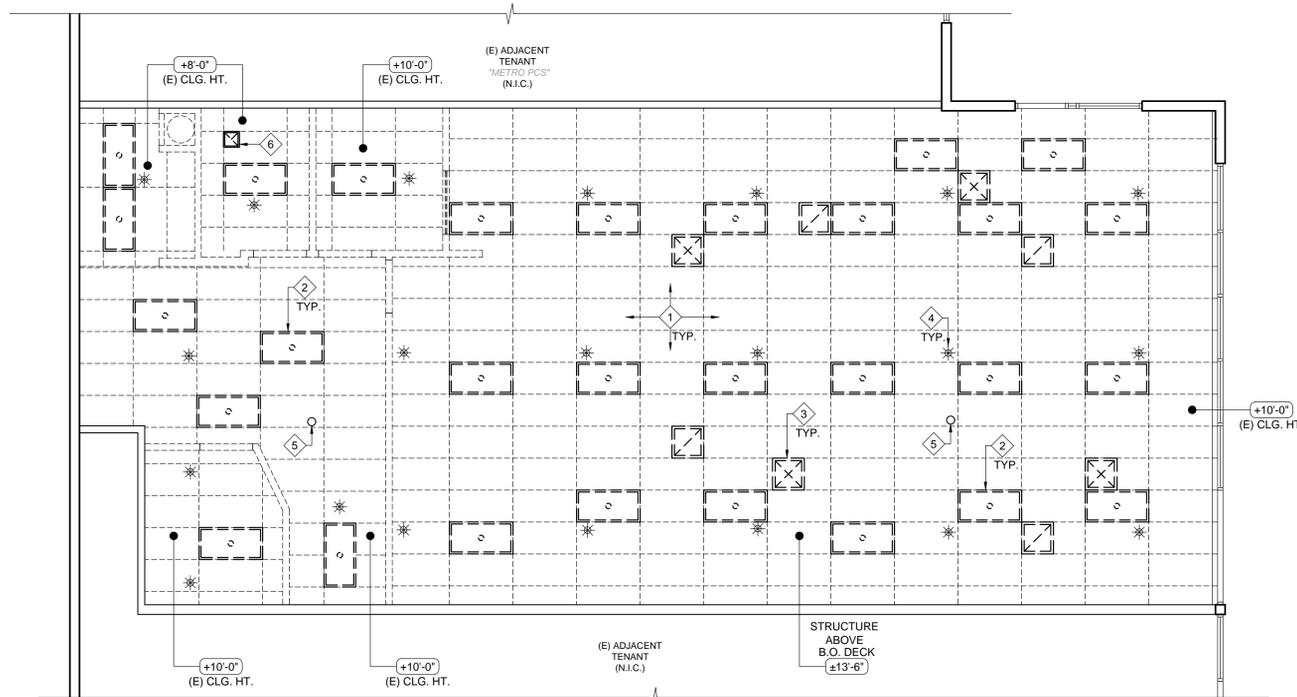
- CLEAN UP:**
- GENERAL CONTRACTOR SHALL LEAVE THE AREA OF WORK AND AREAS AFFECTED BY WORK IN A CLEAN CONDITION. SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. WHERE APPLICABLE, THE G.C. SHALL REPAIR, REPLACE, PATCH AND MATCH ANY ADJACENT TENANT WALL, LOBBY FLOORING, ETC., TO THE SATISFACTION OF INVOLVED PARTIES DAMAGED BY THE DEMOLITION OR CONSTRUCTION PROCESS.
 - PROVIDE TRASH CONTAINER AS REQUIRED AT LOCATION TO SUIT YOGA SIX REQUIREMENT. REMOVE DEBRIS DAILY AND HAUL AWAY FROM THE SITE AT TIME CONVENIENT TO YOGA SIX.
 - ALL REMOVED MATERIALS, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOME THE PROPERTY OF THE CONTRACTOR, WHO SHALL REMOVE THEM FROM THE SITE AND SALVAGE / RECYCLE ACCORDING TO YOGA SIX'S PROTOCOL.
 - PROVIDE A SMOOTH, NEAT, CONTINUOUS APPEARANCE WHERE DEMO WORK MEETS ADJACENT (E) WORK. REMOVE (E) FINISHES AS REQUIRED TO PROVIDE NEAT, STRAIGHT SEAMS AND TRANSITIONS BETWEEN (E) AND MATCHING NEW FINISHES. PREPARE (E) FLOORS, WALLS, AND CEILING ELEMENTS AS REQUIRED FOR NEW FINISHES.

RCP LEGEND - DEMO

- | | | | |
|--|--|--|---|
| | (E) FLUORESCENT LIGHT - CEILING MOUNTED TO BE REMOVED | | (E) SUSPENDED CEILING GRID TO REMAIN. (U.N.O.) |
| | (E) TRACK LIGHT - CEILING MOUNTED TO BE REMOVED | | (E) SUPPLY / RETURN AIR DIFFUSER TO BE RE-LOCATED |
| | (E) RECESSED CAN LIGHT / DOWNLIGHT | | (E) SUPPLY / RETURN AIR DIFFUSER TO REMAIN |
| | (E) WALL SCONCE / LIGHT | | (E) TRANSFER DIFFUSER TO REMAIN |
| | (E) EMERGENCY LIGHT FIXTURE TO REMAIN. U.N.O. | | (E) SECURITY CAMERA |
| | (E) EMERGENCY LIGHT FIXTURE w/ EXIT SIGN TO REMAIN. U.N.O. | | (E) SPEAKER |
| | (E) ILLUMINATED EXIT SIGN TO REMAIN. U.N.O. | | (E) MOTION DETECTOR |
| | (E) FIRE SPRINKLER HEAD TO REMAIN. U.N.O. | | |
| | (E) PENDANT LIGHT TO BE REMOVED | | |

DEMO RC PLAN - KEYNOTES

- REMOVE (E) CEILING TILES & GRID
- (E) LIGHT FIXTURES TO BE REMOVED
- (E) HVAC GRILLES & DUCTING TO BE REMOVED
- (E) FIRE SPRINKLER TO REMAIN
- (E) STRUCTURAL COLUMN TO REMAIN
- (E) EXHAUST FAN TO BE REMOVED



DEMOLITION - REFLECTED CEILING PLAN

SCALE
3/16" = 1'-0"

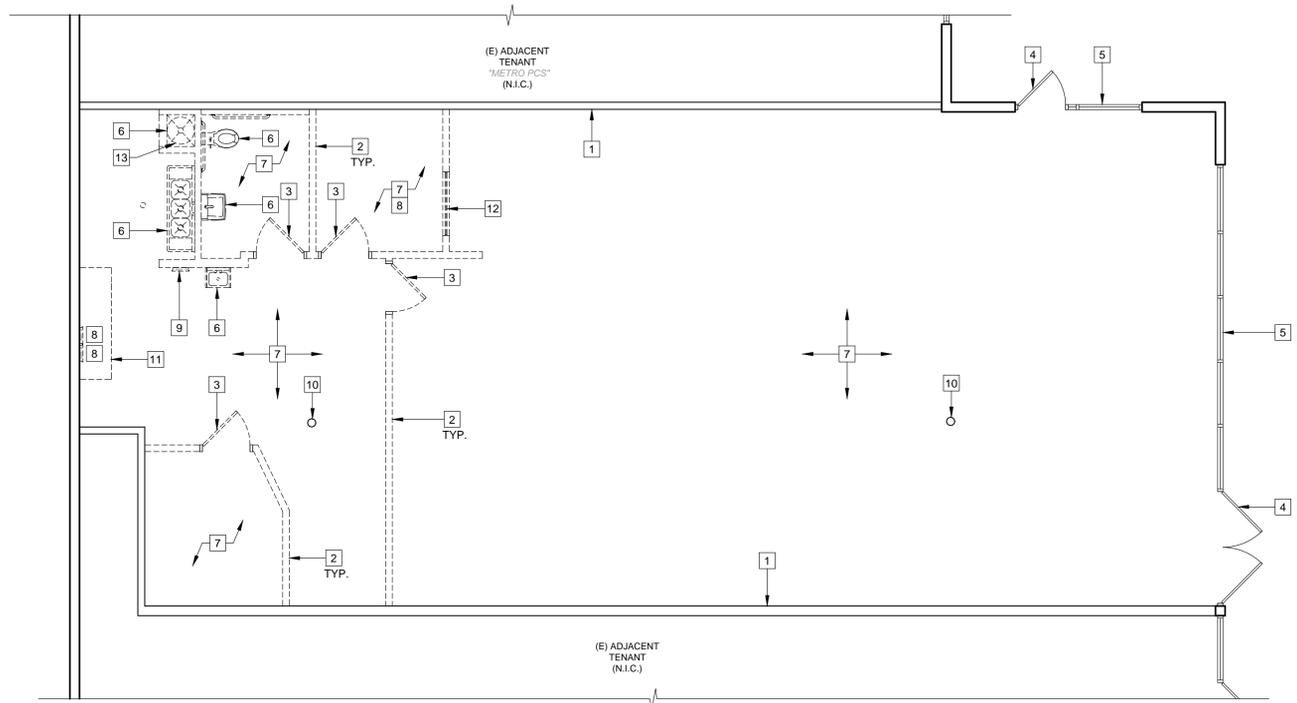
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FLOOR PLAN LEGEND - DEMO

- | | | | |
|--|--|--|---|
| | (E) DOOR TO BE REMOVED | | (E) DOOR TO REMAIN |
| | (E) WALL TO BE REMOVED | | (E) EXTERIOR WALL TO REMAIN |
| | (E) FIXTURE TO BE REMOVED / RE-LOCATED | | (E) INTERIOR PARTITION TO REMAIN |
| | (E) THERMOSTAT TO REMAIN. U.N.O. | | (E) FIRE EXTINGUISHER (E) F. E. CABINET |
| | (E) DUPLEX RECEPTACLE (E) QUAD OUTLET | | (E) FIRE STROBE LIGHT |
| | (E) 2-GANG DATA BLACK BOX (E) PHONE JACK | | (E) FIRE ALARM PULL STATION |
| | | | (E) FIRE ALARM |
| | | | (E) WALL-MOUNTED ADA PUSH PLATE |

DEMO FLOOR PLAN - KEYNOTES

- (E) DEMISING WALL TO REMAIN. PATCH, REPAIR AND PREPARE SURFACE AS REQUIRED TO RECEIVE (N) FINISH
- (E) (NON-BEARING, NON SHEAR) WALL PARTITION TO BE REMOVED
- (E) DOOR & FRAME TO BE REMOVED
- (E) DOOR TO REMAIN
- (E) STOREFRONT SYSTEM TO REMAIN
- (E) PLUMBING FIXTURES AND ACCESSORIES TO BE REMOVED
- REMOVE (E) FLOOR FINISHES AND PREPARE SURFACE AS REQUIRED TO RECEIVE NEW FINISH
- (E) ELECTRICAL PANELS TO REMAIN
- (E) RECESSED ELECTRICAL PANELS TO BE REMOVED & RELOCATED - SEE ELECTRICAL DWGS.
- (E) STRUCTURAL COLUMN TO REMAIN
- (E) MILLWORK TO BE REMOVED
- (E) WINDOW & FRAME TO BE REMOVED
- (E) WATER HEATER TO BE REMOVED



DEMOLITION - FLOOR PLAN

SCALE
3/16" = 1'-0"

8

NOTE:
ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING TO BE REMOVED AND/ OR REROUTED PER NEW FLOOR AND REFLECTED CEILING PLANS.

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PROJECT LOCATION
SHEET TITLE
DEMOLITION - FLOOR PLAN & REFLECTED CEILING PLAN

STAMP
LICENSED ARCHITECT
WILLIAM A. AMOR
C - 24421
8/31/2019
RENEWAL DATE
STATE OF CALIFORNIA

DATE SIGNED: 2019/07/30
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REVISIONS

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DATE
2019-07-30
PROJECT NUMBER
A2163
SHEET NUMBER

AD1.1

GENERAL NOTES

- SEE REFLECTED CEILING PLAN FOR SOFFIT AND LIGHTING INFORMATION.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT EVER SCALE DRAWINGS.
- DIMENSIONS ARE FROM THE FACE OF FINISHED WALL (GWB) TO FACE OF FINISHED WALL (GWB), UNLESS OTHERWISE NOTED ON PLANS.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND/OR INSTRUCTIONS.
- ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE ARCHITECT, OWNER, AND LANDLORD UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY ALL LABOR, MATERIALS EQUIPMENTS, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF WORK.
- THE CONTRACTOR WARRANT TO THE OWNER AND TO THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORKS SHALL BE AS SPECIFIED AND FREE OF DEFECTS.
- ALL OUTSIDE CORNERS AT DRYWALL PARTITION AND FURRING TO HAVE METAL CORNER BEADS SPACKLE AND SMOOTH.
- PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL NEW DOORS, GLAZING HEADS AND JAMBS AS REQUIRED TO MAKE ASSEMBLY RIGID.
- THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE AREA OF WORK AND AREA AFFECTED BY CONSTRUCTION; TO INCLUDE BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE WALL MOUNTED TELEVISIONS AND GRAPHIC SIGNAGE TO PROVIDE BLOCKING FOR MOUNTING.
- ALL WET / PLUMBING WALLS ARE TO BE PROVIDED w/ MOISTURE RESISTANT GYPSUM BOARD. PROVIDE CEMENT BACKER BOARD WHEN TILE IS IN USE.
- ALL PLUMBING WALLS ARE TO BE 6" METAL STUD FRAMING. PROVIDE REQUIRED BLOCKING FOR WALL MOUNTED FIXTURES, GRAB BARS, SHELVING, CABINETRY, ETC.
- THERE SHALL BE NO PENETRATIONS TO A DEMISING WALL, U.O.N. IF PENETRATIONS ARE TO BE NOTED, THEN ALL PENETRATIONS INCLUDING CONDUITS, PIPES, DUCTWORK, ETC. SHALL BE UL RATED PER CURRENT CODE REQUIREMENTS.
- NO PLUMBING IS ALLOWED IN DEMISING WALLS. FURRED OUT AS REQUIRED.
- ALL (E) DEMISING WALLS FOR TENANT SEPARATION ARE NOT TO BE DISTURBED OR MODIFIED IN ANY WAY.
- SEE SHEET K1-1 FOR EQUIPMENT, FURNITURE, FIXTURES AND PLUMBING FIXTURES.

LEGEND

CEILING

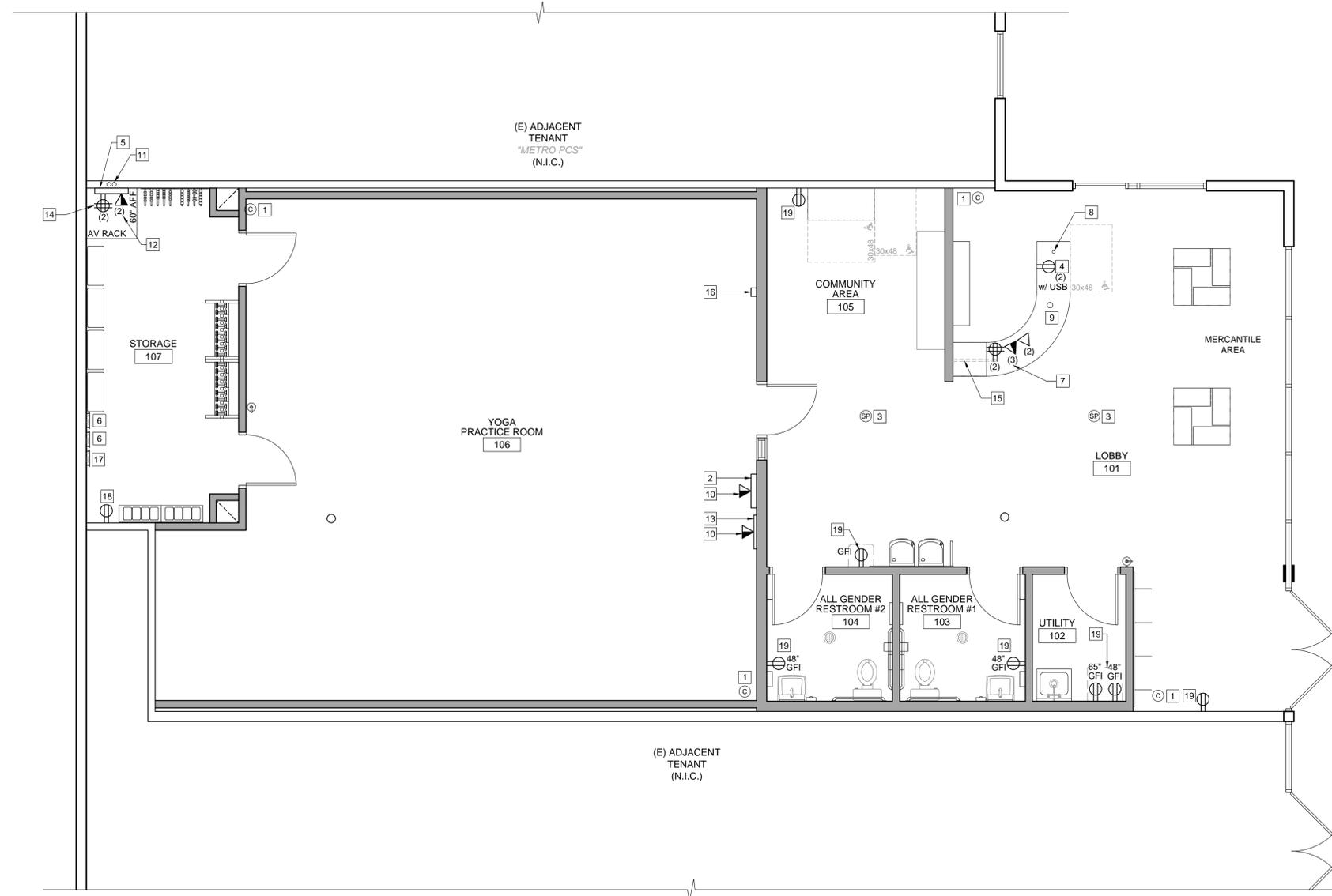
- (C) CAMERA
- (SP) SPEAKER

WALL

- C/E 120V, 20A DUPLEX RECEPTACLE
- GFCI C = CEILING MOUNTED FLUSH IN CEILING TILE / E = EXISTING
- GFCI GFCI = GROUND FAULT CIRCUIT INTERRUPT
- 120V, 20A QUAD OUTLET
- 2-GANG DATA JACK
- J-BOX
- ELECTRICAL PANEL
- PHONE JACK

KEYNOTES

- (N) FIXED DIRECTIONAL VIDEO CAMERA CAT6 PLENUM CABLE WITH 10' OF SLACK. COORDINATE EXACT LOCATION AND DIRECTION OF CAMERAS WITH OWNER.
- (N) INSTRUCTOR'S CONTROL PANEL. G.C. TO ENSURE PROPER BACKING
- (N) PENDANT SPEAKERS SUSPENDED FROM (E) STRUCTURE. 16/2 PLENUM SPEAKER CABLE.
- x2 CAT6 PLENUM DATA DROPS TERMINATED WITH KEYSTONE JACKS AND RAN BACK TO AV RACK.
- (N) 36" x 36" BACKING FOR WALL MOUNTED RACK. G.C. TO ENSURE PROPER BACKING
- (E) ELECTRICAL PANEL TO REMAIN
- FRONT DESK - 120V POWER OUTLET, (3) CAT 6 DATA PORTS (2) CAT 6 TELEPHONE PORTS
- 1" HOLE DRILLED IN DESK TOP FOR USB POWER ACCESS
- 2" HOLE DRILLED IN DESKTOP FOR MONITOR ARM MOUNT.
- DOUBLE GANG CUT IN RING FOR TOUCH PANEL. CAT6 PLENUM PULLED THROUGH CUT IN RING @ 48" AFF.
- x2 1.5" CONDUITS STUBBED OUT 6" ABOVE ACCESSIBLE CEILING.
- x2 CAT6 PLENUM CABLES RAN FROM INTERNET MODEM TO AV RACK.
- SINGLE GANG CUT IN RING FOR CIJ3 @ 48" A.F.F. CAT6 PLENUM PULLED THROUGH CUT IN RING AND RUN BACK TO AV RACK. GC TO ENSURE PROPER BACKING.
- x2 20AMP CIRCUIT 60" A.F.F.
- FLEX CONDUIT FOR POWER DATA AND TELEPHONE MIN. 5'
- IPAD WITH 22/2 PLENUM CABLE @ 50" AFF OR @ SWITCH HEIGHT WITH 22/2 PLENUM MIC LINE PULLED FROM LOCATION TO AV RACK
- (N) LOCATION OF (E) ELECTRICAL PANEL
- STORAGE - (1) CAT 6 DATA PORT, 120v OUTLETS
- 120v POWER OUTLET

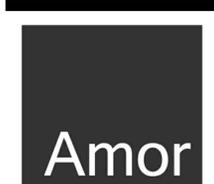


NOTE: ALL CAT6 PLENUM CABLES AND 16/2 PLENUM SPEAKER CABLES TO BE RAN BACK TO AV RACK WITH 15' OF SLACK AT RACK AND 10' OF SLACK AT FIELD LOCATIONS. (UNLESS TERMINATED WITH KEYSTONE JACKS).

(N) AUDIO, VISUAL & POWER PLAN

SCALE
1/4" = 1'-0"

8



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PROJECT LOCATION

(N) AUDIO, VISUAL & POWER PLAN



DATE SIGNED: 2019/07/30
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| REVISIONS |
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DATE
2019-07-30
PROJECT NUMBER
A2163

SHEET NUMBER

A1.2

GENERAL NOTES

- EMERGENCY LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT.
- ALL LIGHT FIXTURES INCLUDING EXIT LIGHTS, EMERGENCY LIGHTS, ETC., SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- ALL FINISHING AND PAINTING REQUIREMENTS SHALL BE DIRECTED TO THE FINISH SCHEDULE SPECIFICATIONS AND INTERIOR ELEVATIONS.
- CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS, CEILINGS AND SUSPENDED GRIDS.
- ELECTRICAL CONTRACTOR TO VERIFY IF SERVICE PROVIDED IS ADEQUATE. NOTIFY ARCHITECT IMMEDIATELY IF NOT.
- ALL EQUIPMENT SHALL BEAR U.L. LABELS.
- ELECTRICAL CONTRACTOR MUST PROVIDE AN IDENTIFICATION NAME PLATE ON TENANT'S MAIN ELECTRICAL SERVICES FUSIBLE DISCONNECT SWITCH IN LANDLORD'S DISTRIBUTION PANEL AND RTU. NAMEPLATE MUST BE 1/8" THICK PLASTIC, BLACK ON WHITE ETCHED TO LEAVE WHITE LETTERS. THE SIZE SHALL BE ONE INCH HIGH BY REQUIRED LENGTH, WITH TENANT'S SPACE NUMBER ENGRAVED ON IT. PERMANENTLY AFFIX TO DISTRIBUTION PANEL.
- DIFFUSERS AND LIGHTS TO HAVE HANG WIRES ON ALL FOUR CORNERS.
- ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW. DUCT FIRE DAMPER MUST BE INSTALLED WITH A BREAKAWAY CONNECTION PLENUM THAT CANNOT CONTAIN ANY COMBUSTIBLES.
- GENERAL CONTRACTOR TO INSTALL ACCESS DOORS AS NECESSARY AND CONFIRM EXACT LOCATIONS. ACCESS PANEL MUST BE FLUSH, FRAMELESS GYPSUM PANELS IN SALES AREA. G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
- ALL LIGHTING SHOULD BE IN WORKING ORDER AND ALL COVERS / LENSES IN PLACE.
- GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES.
- GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS AND NOTIFY ARCHITECT AS SOON AS POSSIBLE OF ANY DISCREPANCIES.
- FIRE ALARM, FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL.

FIXTURE SCHEDULE

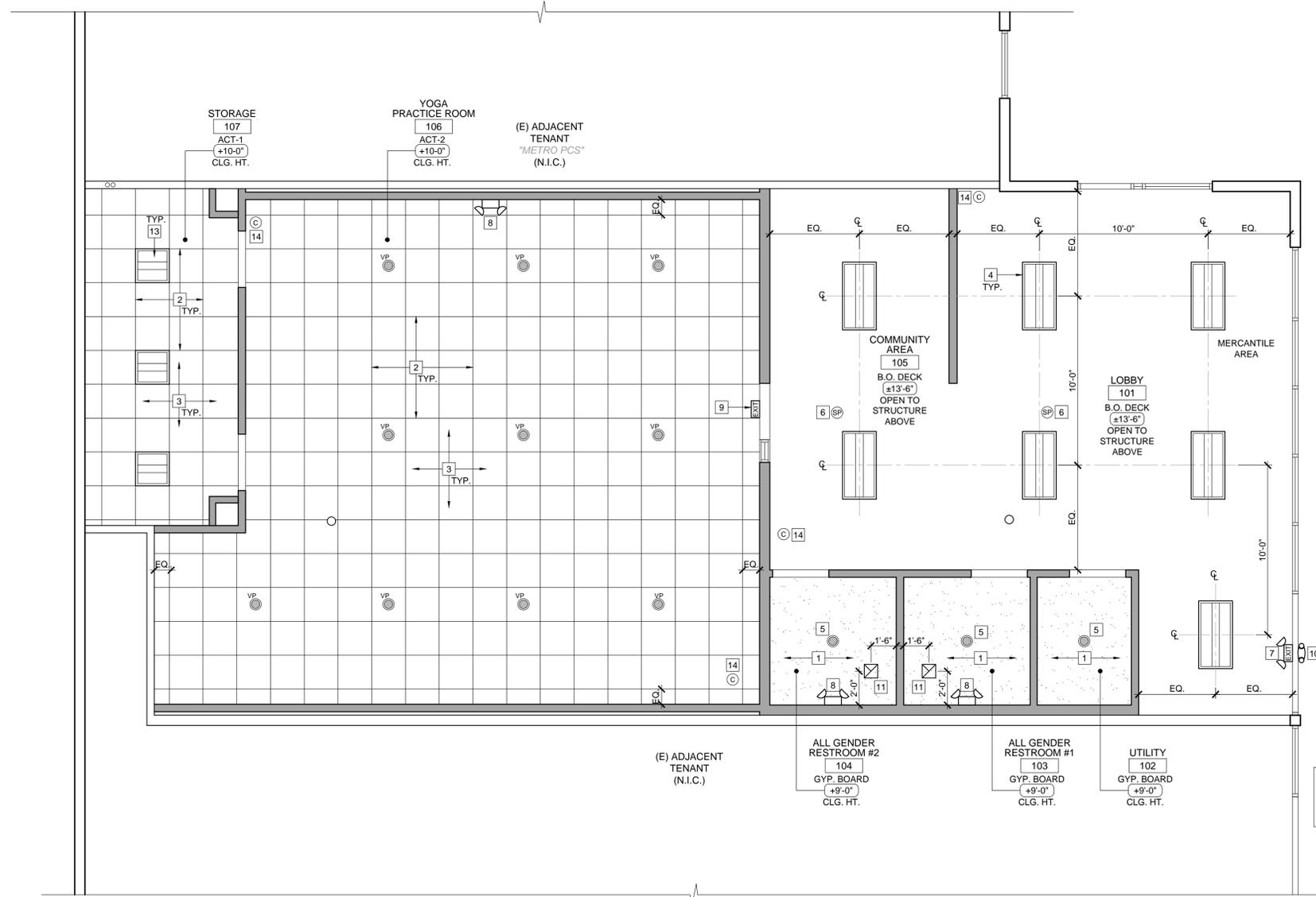
| Luminaire Schedule (Issue: January 12th, 2019) | | Project No. 81103 | | Yoga Six - Prototype | | | | | |
|--|-----------------|--|--------------------|-------------------------|--|---------------|-----------------|---|---|
| Fixture Type | Reference Image | Description | Dimming Interface | Product Registration ID | Lamps, CCT, Lumen, Optics, CRI | Input Voltage | Fixture Wattage | Mounting, Finishes, Remarks & Other Notes | |
| ARCHITECTURAL FIXTURE TYPES | | | | | | | | | |
| A | | 6" Recessed LED Downlight | 0-10V (1%) | CLI-NAYSA | LED Module, 3500K, 3000 lm, 80 CRI | 120 | 26 | Recessed mount in gyp. Ceiling. | |
| B | | 6" Recessed LED Downlight, Wet location rated | 0-10V (1%) | CLI-NAYSB | LED Module, 3500K, 3000 lm, 80 CRI | 120 | 26 | Recessed mount in gyp. Ceiling. In Yoga practice room and any other location that requires vapor sealing. | |
| C | | Recessed 2x4 LED Troffer, Direct/Indirect | 0-10 (10% Default) | CLI-NAYSB | LED Module, 3500K, 4500 lm | 120/277 | 35 | Recessed mount in gyp. ceiling. | |
| D | | Recessed 2x2 LED Troffer, Direct/Indirect | 0-10 (10% Default) | CLI-NAYSD | LED Module, 3500K, | 120-277 | 24 | Recessed mount in gyp. Ceiling. | |
| T1 | | 6" Track | N/A | CLI-NAYST1 | N/A | 120 | N/A | 6' long, single circuit track. Suspended at 11" AFF. Finish to be white. Finish to be confirmed with architect. | |
| TH1 | | LED Track head | ELV | CLI-NAYSTH1 | LEDM, 3000K, 720lm, 38° beam spread, 80CRI | 120 | 10 | Adjustable track head. Mounted to track. Finish to be white. Finish to be confirmed with architect. | |
| EMERGENCY FIXTURE TYPES | | | | | | | | | |
| EM | | 2-Head LED Emergency Light, high lumen, remote capable | N/A | CLI-NAYSEM | LED Incl | | DV | 2 | Wall mount. Self Diagnostics. Finish color to be verified by Architect. |
| EMW | | 2-Head LED Emergency Light, Wet Location, remote capable | N/A | CLI-NAYSEMW | LED & 2-LED | | DV | 6 | Wall Mount. Finish color to be verified by Architect. |
| EXEM | | Exit, Sng/Dbi, Red letters, emergency light combination, high lumen, universal mount, Self Powered, remote capable | N/A | CLI-NAYSEXM | 2-LED Incl | | DV | 3 | Universal Wall or Ceiling. Finish color to be verified by Architect. |
| EX | | Exit Sign, Sng/Dbi, Red letters, emergency light combination, universal mount | N/A | CLI-NAYSEX | LEDM | | DV | TBD | Universal Wall or Ceiling. Finish color to be verified by Architect. Damp location rated. |

LEGEND

- 2X4 RECESSED LED TROFFER (SEE SCHEDULE)
- 2X2 RECESSED LED LUMINAIRE (METALUX #24FR LED)
- 6" RECESSED LED DOWNLIGHT (VAPOR PROOF) COORDINATE WITH CITY CODE OR TITLE 24 WHEN APPLIES
- 6" RECESSED LED DOWNLIGHT
- ILLUMINATED EXIT SIGN
- EMERGENCY LIGHT w/ ILLUMINATE EXIT SIGN
- EMERGENCY LIGHT SELF-DIAGNOSTICS
- MECHANICAL VENTILATION LIGHT ACTIVATED -WOMEN MIN. 50 CFM/ 70 UNIT -MEN MIN. 100 CFM/ 70 UNIT
- CAMERA
- SPEAKER

KEYNOTES

- (N) GYPSUM BOARD CEILING
- (N) CEILING GRID
- (N) 2' x 2' CEILING TILES. SEE FINISH SCHEDULE
- (N) 2' x 4' LIGHT FIXTURE. SEE LEGEND
- (N) RECESSED LED LIGHT FIXTURE. SEE LEGEND
- (N) PENDANT SPEAKERS SUSPENDED FROM (E) STRUCTURE
- (N) EMERGENCY LIGHT FIXTURE w/ ILLUMINATED EXIT SIGN, 90 MIN. SEE LEGEND
- (N) EMERGENCY LIGHT FIXTURE. 90 MIN. SEE LEGEND
- (N) ILLUMINATED EXIT SIGN. SEE LEGEND
- (N) EXTERIOR EGRESS LIGHT FIXTURE. SEE LEGEND
- (N) EXHAUST FAN
- (N) FIXED DIRECTION CAMERA
- (N) 2' x 2' LIGHT FIXTURE. SEE LEGEND



NOTE:
EXISTING SPRINKLERS TO REMAIN.
IF SPRINKLERS CONFLICT WITH NEW PROPOSED WORK, G.C. TO COORDINATE AND RELOCATE AS REQUIRED

REFLECTED CEILING PLAN

SCALE
1/4" = 1'-0" 8

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CONSULTANT

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REFLECTED CEILING PLAN

PROJECT LOCATION

SHEET TITLE

STAMP



DATE SIGNED: 2019/07/30
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DATE

2019-07-30

PROJECT NUMBER

A2163

SHEET NUMBER

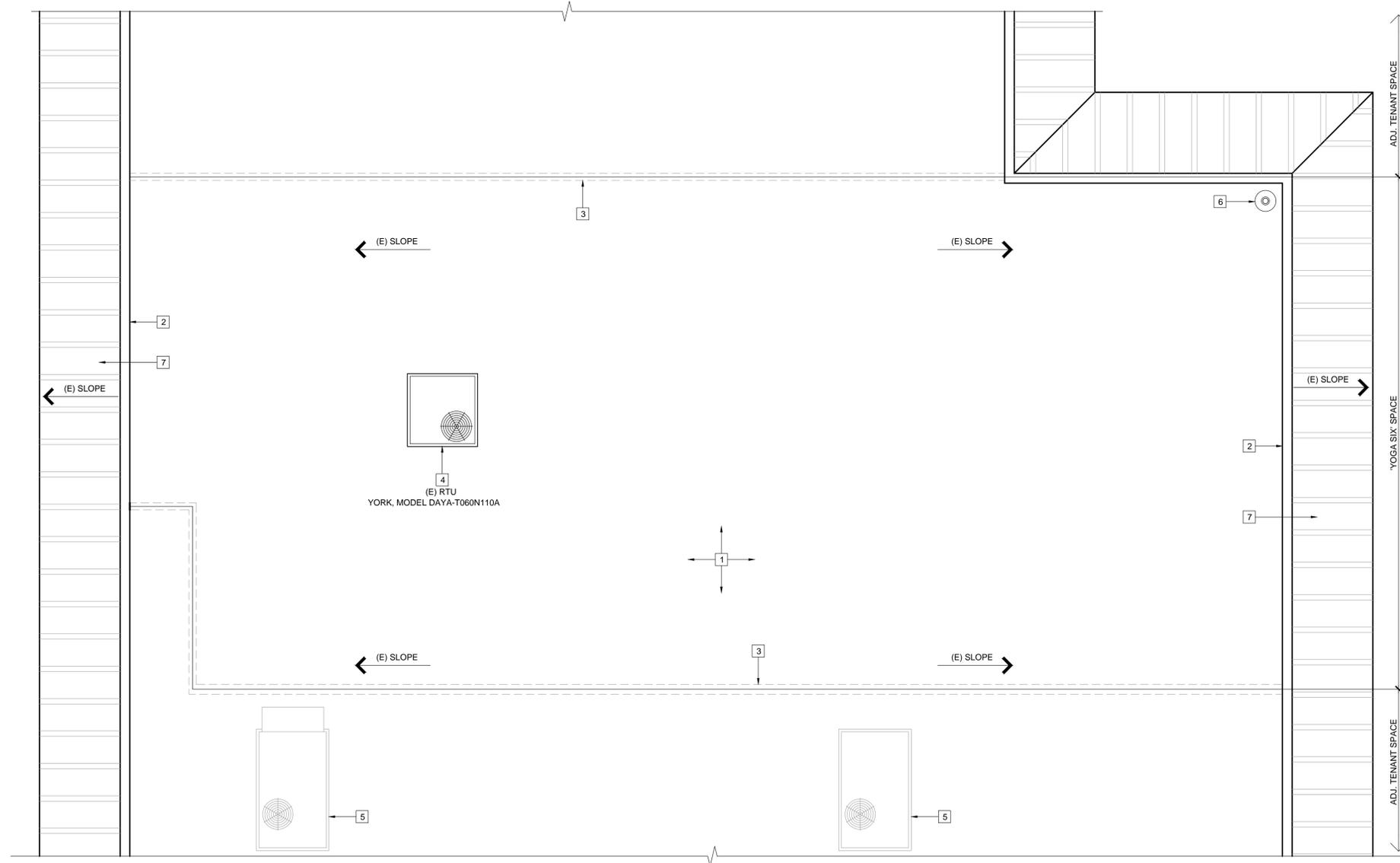
A2.1

GENERAL NOTES

1. PROVIDE TAPERED INSULATION CRICKET - 1/2"-12" AT ALL NEW UNITS.
2. SEE MECHANICAL DRAWINGS FOR PIPE PENETRATION TO ROOF AND ADDITIONAL INFORMATION NOT SHOWN HERE
3. VERIFY ROOF SYSTEM AND MATCH EXISTING WHERE NEW WORK TO BE IMPLEMENTED MEMBRANE ROOF (CLASS A PER SPECIFICATIONS). SLOPE 1/4":12"(MIN.), TYP.

KEYNOTES

- 1 (E) BUILT-UP ROOF TO REMAIN
- 2 (E) PARAPET WALL
- 3 OUTLINE OF (E) DEMISING WALL BELOW
- 4 (E) 9 TON ROOF TOP UNIT WITH CURB AND CRICKET DESIGNATED FOR YOGA SIX SPACE. SEE MECHANICAL DWGS.
- 5 (E) ROOF TOP UNIT WITH CURB AND CRICKET DESIGNATED FOR ADJACENT TENANT SPACES. SEE MECHANICAL DWGS.
- 6 (E) ROOF DRAIN TO REMAIN
- 7 (E) METAL ROOF TO REMAIN



PARTIAL ROOF PLAN

SCALE
1/4" = 1'-0"

8

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ROOF PLAN

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| REVISIONS |
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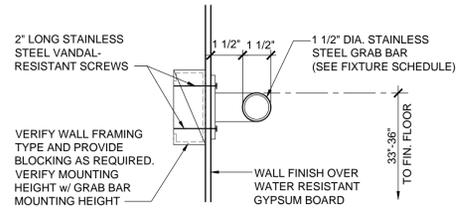
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PROJECT NUMBER
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SHEET NUMBER

A3.1

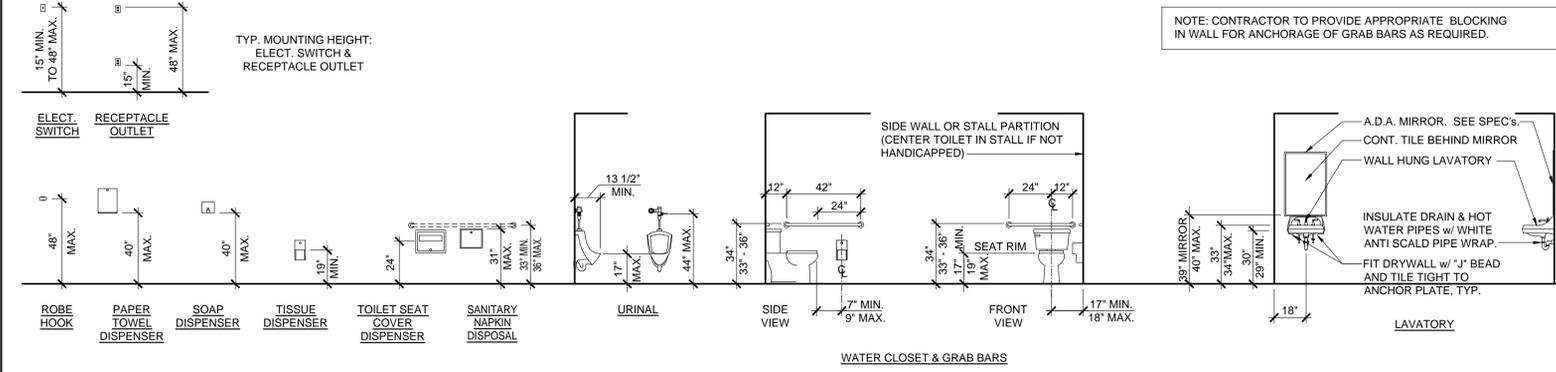
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NOTES:
 GRAB BARS AT WATER CLOSET (#11-1A-9)
 1. ONE AT SIDE 42" LONG EXTENDING 24" IN FRONT OF WATER CLOSET; ONE AT REAR OF WATER CLOSET 36" LONG; BOTH MOUNTED 33" ABOVE FINISH FLOOR.
 (EXCEPTION: REAR GRAB BAR OVER TANK TYPE WATER CLOSER MAY BE UP TO 36" ABOVE FINISH FLOOR)
 2. BARS SHALL BE 1-1/4" TO 1-1/2" IN DIAMETER WITH 1-1/2" CLEARANCE TO WALL.
 3. BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 LBS. POINT LOAD IN BENDING, SHEAR TENSION. ROTATION IN FITTING NOT ALLOWED.
 4. SURFACE OF WALL ADJACENT TO GRAB BAR IS TO BE FREE OF SHARP OR ABRASIVE ELEMENTS.



GRAB BAR DETAIL

SCALE
3" = 1'-0" 17



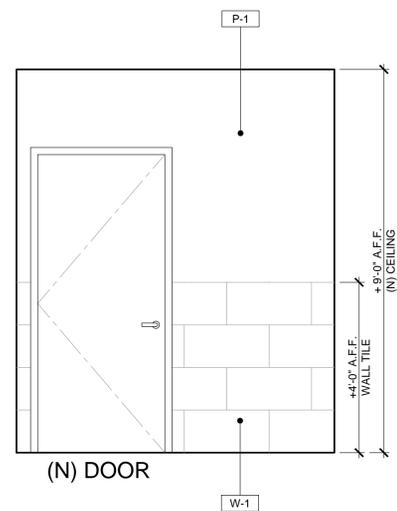
TYP. MOUNTING HEIGHT: RESTROOM ACCESSORIES AND FIXTURES

SCALE
1/4" = 1'-0" 5

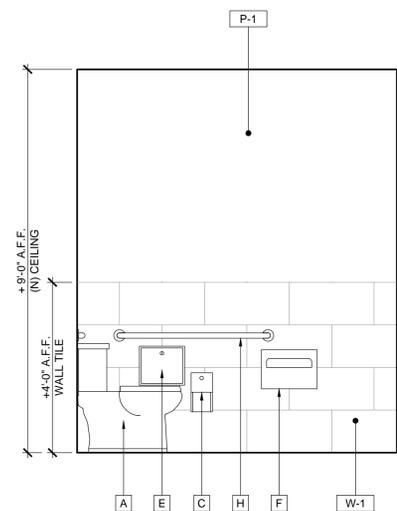
GENERAL NOTES

- PROVIDE 1-1/2" CLEARANCE BETWEEN WALL AND GRAB BARS.
- DRAIN AND HOT WATER PIPES UNDER ALL LAVATORIES TO BE INSULATED.
- GRAB BARS SHALL BE DESIGNED TO SUPPORT A 250# LOAD AND SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- FLUSH VALVE CONTROL ON WATER CLOSET SHALL BE OPERABLE BY AN OSCILLATING HANDLE WITH MAXIMUM FORCE OF 5 LBS. TOP OF ALL ELECTRICAL SWITCHES AND CONVENIENCE OUTLET NOT TO EXCEED 40", TYPICAL THROUGH-OUT.
- NO SHARP OR ABRASIVE SURFACES IN FRONT OF LAVATORIES.
- A CLEAR SPACE OF 30" X 48" SHALL BE PROVIDED IN FRONT OF LAVATORY TO ALLOW A FORWARD APPROACH TO COMPLY WITH.
- OPERATING PARTS OF DISPENSING AND DISPOSAL FIXTURES (TOWELS, WASTE, COIN SLOTS, ETC.) ARE TO BE AT 40" A.F.F. MAX.
- MIRRORS - MOUNT MIRRORS AT 39" ABOVE FINISH FLOOR TO BOTTOM OF REFLECTIVE SURFACE. (MAXIMUM 40" A.F.F.)
- THE RESTROOM DOORS MUST BE WELL FITTING AND SELF-CLOSING.
- PROVIDE SUFFICIENT VENTILATION IN RESTROOMS BY MEANS OF A WINDOW OR MECHANICAL CEILING VENTILATION.
- TOILET ACCESSORIES LOCATED ON OR WITHIN WALLS BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.
- FAUCET CONTROLS AND OPERATING MECHANISM (OPERABLE W/ ONE HAND) SHALL BE OF TYPE NOT REQUIRING TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST AND AN OPERATING FORCE NOT EXCEEDING 5 LBS.
- LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34" ABOVE THE FINISHED FLOOR & WITH A CLEARANCE OF AT LEAST 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MIN. OF 30" IN WIDTH & 8" MIN. DEPTH AT THE TOP. TOE CLEARANCE SHALL BE A MIN. OF 9" HIGH FROM THE FLOOR & A MIN. OF 17" DEEP FROM THE FRONT OF THE LAVATORY.
- CONTROLS FOR WATER CLOSET FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS.
- REGARDLESS OF STALL CONFIGURATION, A 48" LONG MINIMUM CLEARANCE FLOOR SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET.
- SEE FIXTURE AND STANDARD ACCESSIBILITY MOUNTING HEIGHTS DETAIL 5 / A6.1.
- WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32" WHEN LOCATED AT THE END & 34" WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- THE INSIDE & OUTSIDE OF THE COMPARTMENT DOOR SHALL BE EQUIPPED W/ A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH SHALL FLIP OVER STYLE, SLIDING OR OTHER HARDWARE NOT REQUIRING THE USER TO GRASP OR TWIST.

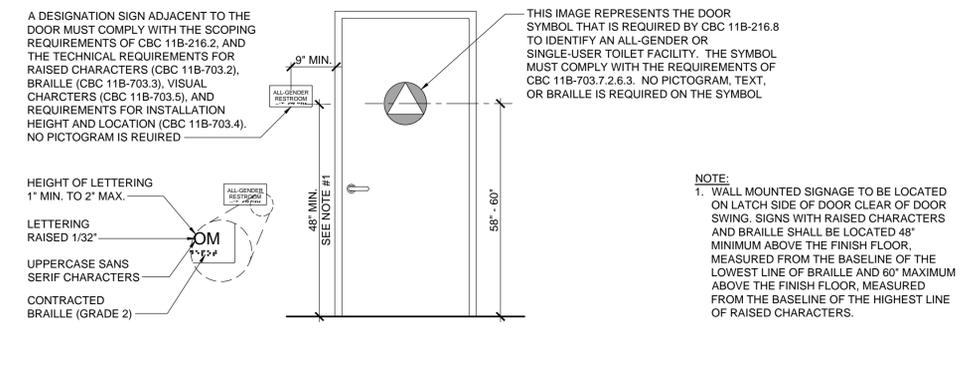
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ELEVATION - A

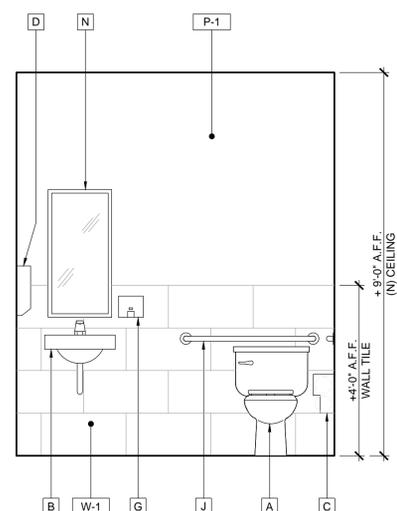


ELEVATION - B

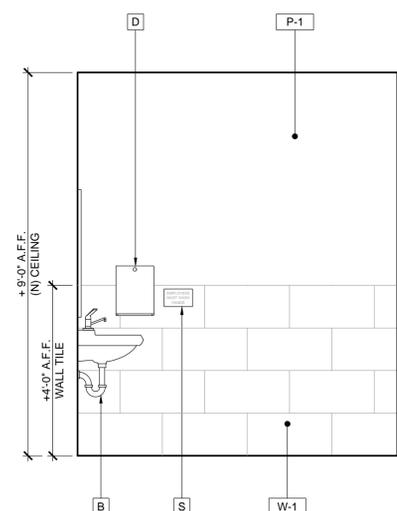


DOOR SIGNAGE STANDARDS

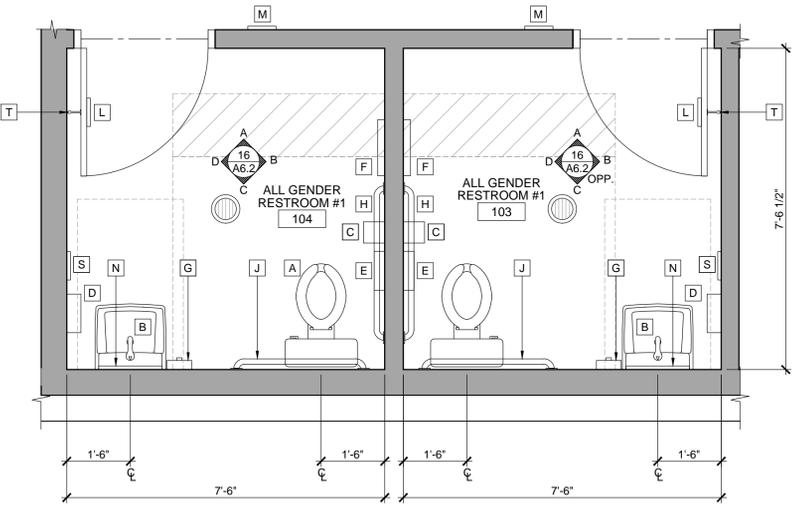
SCALE
1/2" = 1'-0" 6



ELEVATION - C



ELEVATION - D



ENLARGED RESTROOM PLAN

SCALE
1/2" = 1'-0" 8

RESTROOM ACCESSORIES

| MARK | QTY | ITEMS | REMARKS |
|------|-----|--|--|
| A | 2 | FLOOR MOUNTED ELONGATED TOILET | AMERICAN STANDARD 1.28 GPF ELONGATED TOILET OR EQUAL |
| | 2 | WALL MOUNTED LAVATORY | AMERICAN STANDARD COMRADE MODEL #0124.024 |
| B | 2 | ELECTRONIC LAVATORY FAUCET | SLOAN MODEL #EAF-200 OR EQUAL |
| | 2 | INSULATE DRAIN AND HOT WATER PIPES | |
| C | 2 | SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER | CINTAS - SIGNATURE SERIES SANDSTONE |
| D | 2 | PAPER TOWEL DISPENSER | CINTAS - SIGNATURE SERIES SANDSTONE |
| E | 2 | SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL | BOBRICK MODEL #B-270 CONTURA SERIES (SATIN FINISH) |
| | 2 | RECESSED SANITARY NAPKIN DISPOSAL | BOBRICK MODEL #B-4353 CONTURA SERIES (SATIN FINISH) OR EQUAL |
| F | 2 | SURFACE MOUNTED SEAT-COVER DISPENSER | BOBRICK MODEL #B-221 CLASSICS SERIES (SATIN FINISH) |
| G | 2 | SURFACE MOUNTED SOAP DISPENSER | CINTAS - SIGNATURE SERIES SANDSTONE |
| H | 2 | 3'-6" GRAB BAR | BOBRICK MODEL #B-6806x42" (SATIN FINISH) |
| J | 2 | 3'-0" GRAB BAR | BOBRICK MODEL #B-6806x36" (SATIN FINISH) |
| K | - | 1'-6" VERTICAL GRAB BAR | BOBRICK MODEL #B-6806x 18" (SATIN FINISH), OR EQUAL |
| L | 2 | DOOR MOUNTED SIGNAGE | |
| M | 2 | DOOR STRIKE SIDE MOUNTED ACCESSIBLE SIGNAGE | |
| N | 2 | MIRROR | BOBRICK MODEL #B-290 1836 SERIES (SATIN FINISH) |
| P | - | TRASH CAN | CINTAS - SIGNATURE SERIES SANDSTONE |
| S | 2 | SIGNAGE | SIGNAGE - CREW MUST WASH HANDS |
| T | 2 | COAT HOOK w/ BUMPER | BOBRICK MODEL #B-212 (SOLID CAST ALUM. w/ MATTE FINISH) |

REFER TO SHEET A8.2 FOR FINISH PLAN AND SCHEDULE.

YOGA SIX
 1777 S. Bascom Ave.
 Unit C
 Campbell, CA 95008
 PROJECT LOCATION
 SHEET TITLE
ENLARGED RESTROOM PLAN AND DETAILS

STAMP
 LICENSED ARCHITECT
 AMOR
 C - 24421
 8/31/2019
 RENEWAL DATE

DATE SIGNED: 2019/07/30
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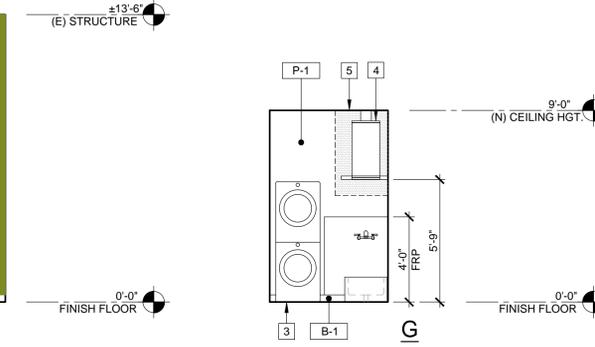
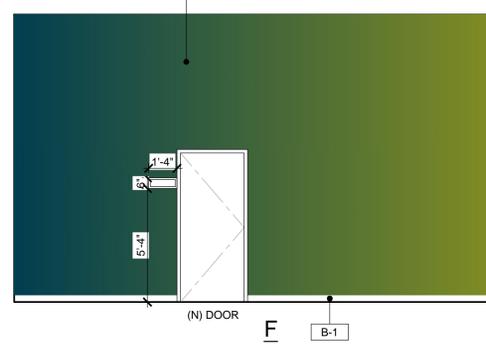
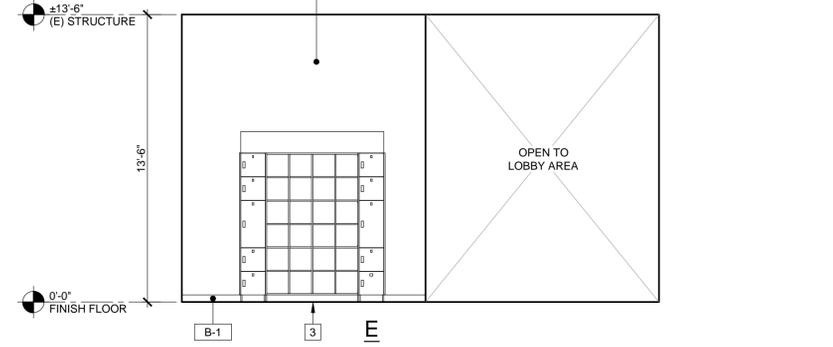
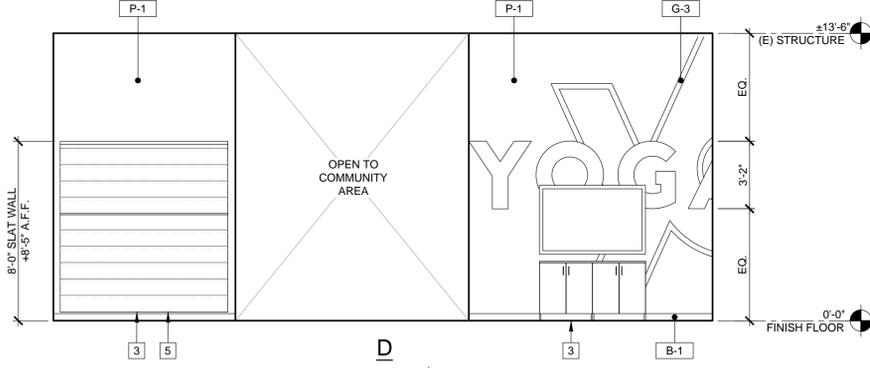
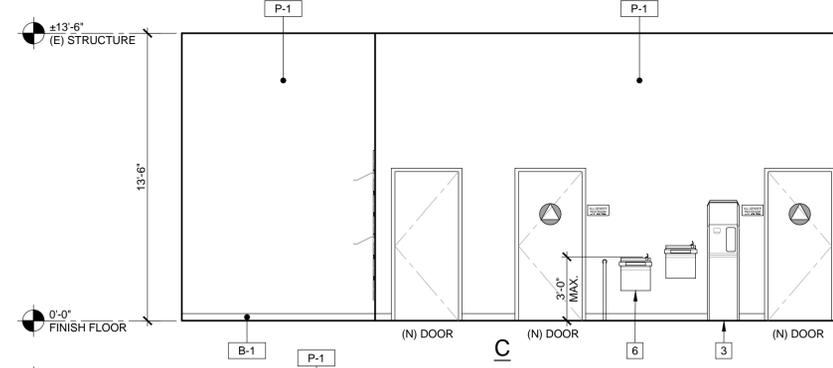
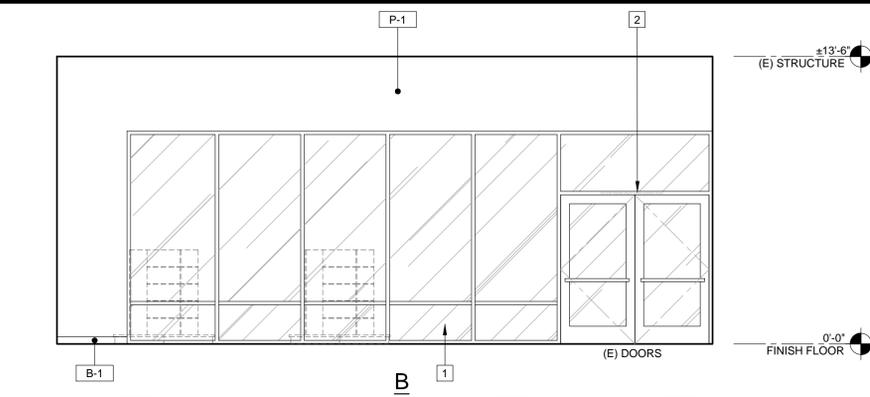
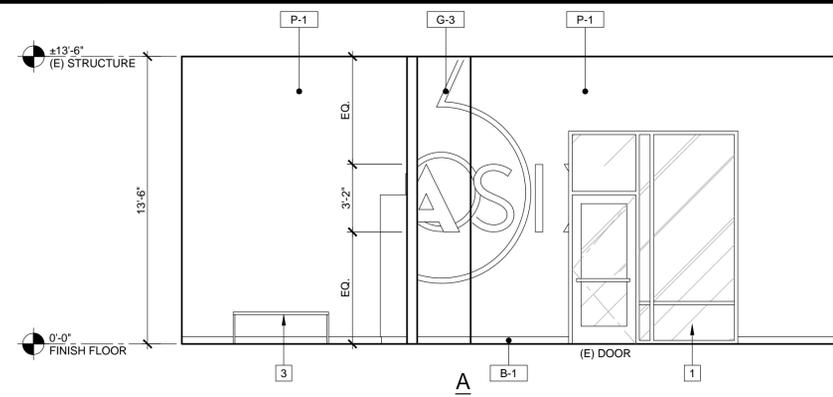
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 PROJECT NUMBER
A2163

SHEET NUMBER

A6.1

PERMIT SET: 2019_07_30

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KEYNOTES

- 1 (E) FIXED STOREFRONT WINDOW TO REMAIN
- 2 ADD (N) DECAL - "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"
- 3 (N) EQUIPMENT AND MILLWORK, REFER TO EQUIPMENT LIST ON SHEET A1.1
- 4 (N) WATER HEATER AND SUSPENDED PLATFORM WITH DRAIN PAN. PROVIDE CLEARANCE AS REQUIRED PER MANUFACTURER'S DETAIL FOR SERVICING BETWEEN CEILING AND TANK.
- 5 GENERAL CONTRACTOR TO PROVIDE SOLID BACKING FOR WALL MOUNTED EQUIPMENT.
- 6 (N) HIGH/LOW DRINKING FOUNTAIN $\frac{20}{11.3}$

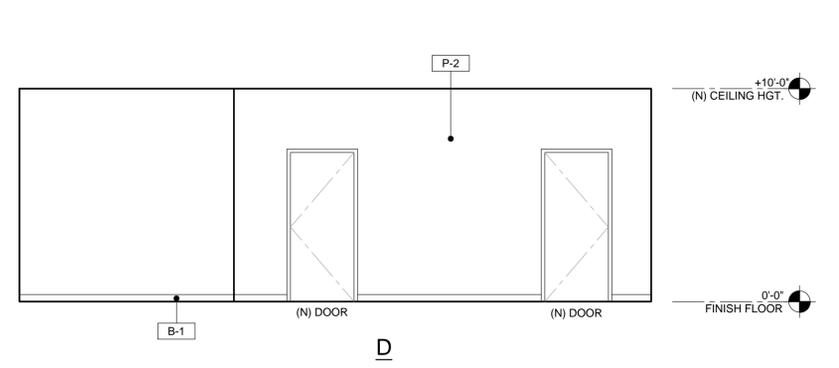
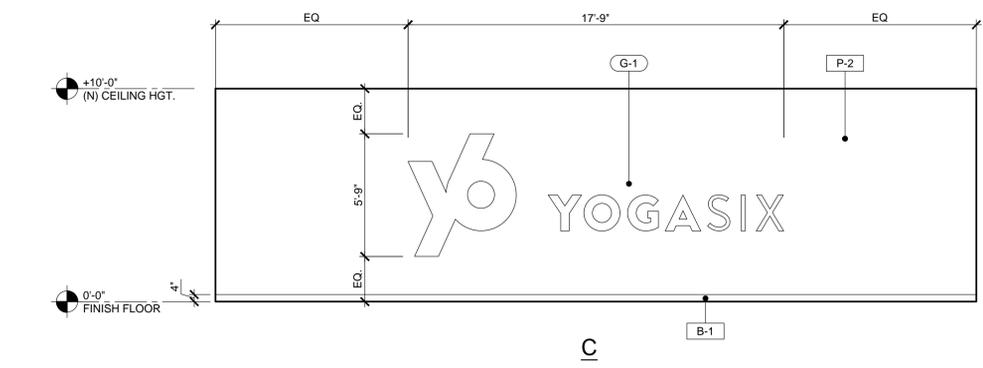
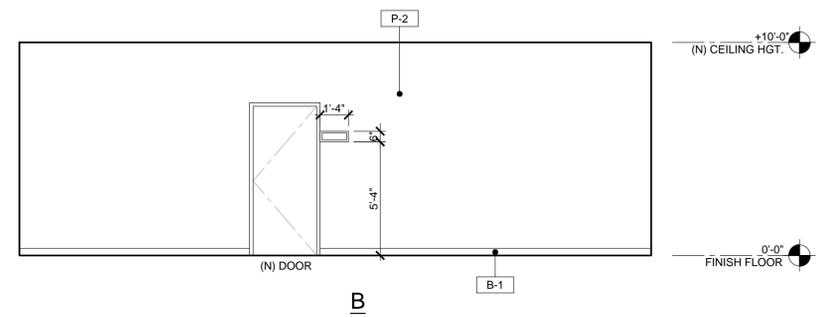
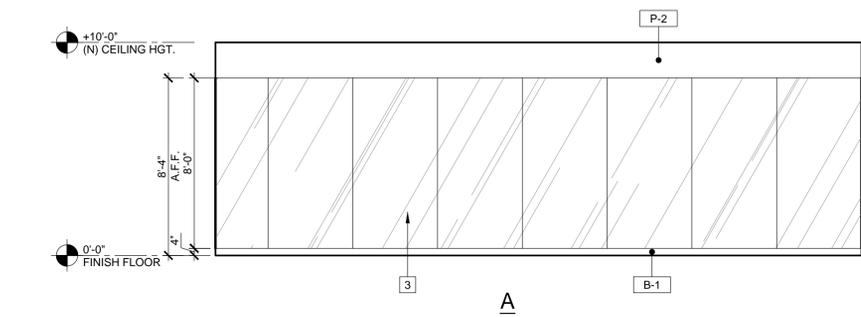
SIGNAGE/ GRAPHICS LEGEND

- REFER TO GRAPHIC KEY ON SHEET A8.3
- G-1 WALL GRAPHIC - HORIZONTAL (YOGA PRACTICE ROOM)
 - G-2 WALL GRAPHIC - GRADIENT WALL
 - G-3 WALL GRAPHIC - OVERSIZED LOGO

INTERIOR ELEVATIONS @ LOBBY / COMMUNITY AREA / LAUNDRY

SCALE
1/4" = 1'-0" 6

NOTE:
SEE DETAILS FOR MILLWORK ON SHEET A8.3
SEE DETAILS FOR GRAPHICS AND SIGNAGE ON SHEET A8.3
GENERAL CONTRACTOR TO PROVIDE AND INSTALL SOLID WOOD BLOCKING OR PLYWOOD FOR ALL WALL MOUNTED ITEMS: SIGNAGE, EQUIPMENT, MILLWORK, ETC. COORDINATE EXACT LOCATIONS w/ YOGA SIX CONSTRUCTION REPRESENTATIVE AS REQUIRED.



INTERIOR ELEVATIONS @ YOGA PRACTICE ROOM

SCALE
1/4" = 1'-0" 8

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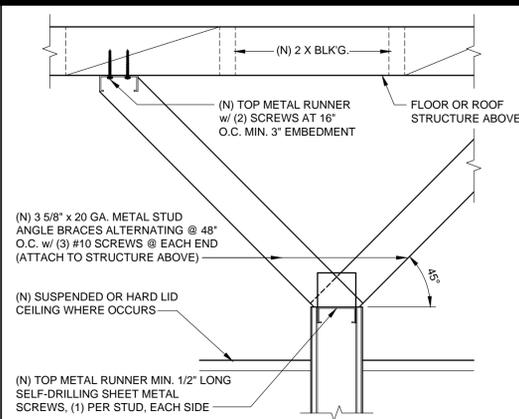
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Unit C
Campbell, CA 95008
INTERIOR ELEVATIONS

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SHEET TITLE
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WILLIAM A. AMOR
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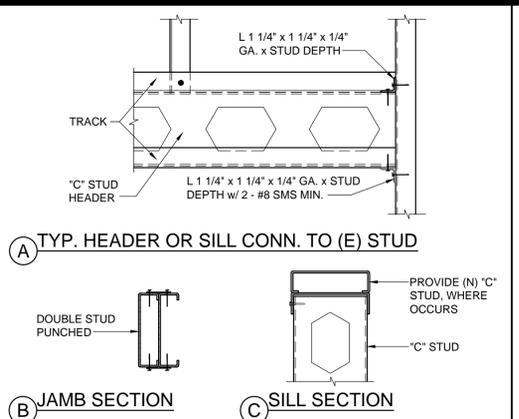
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PROJECT NUMBER
A2163
SHEET NUMBER

A6.2
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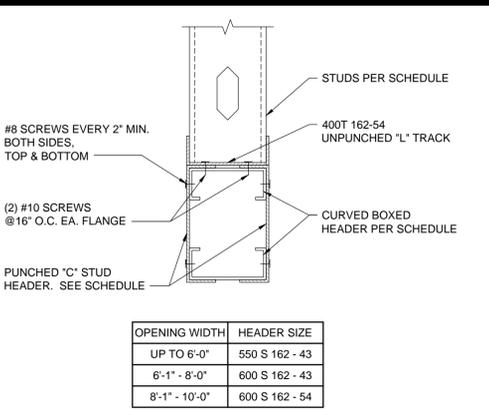
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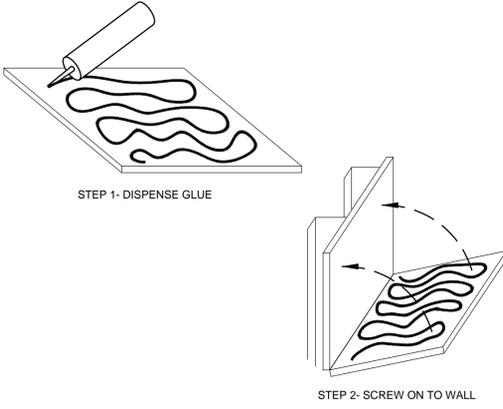
BRACING @ ROOF JOIST SCALE 1 1/2" = 1'-0" 13



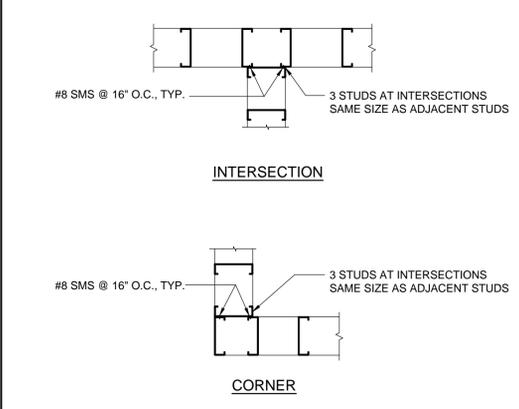
STUD CONNECTION SCALE 3" = 1'-0" 9



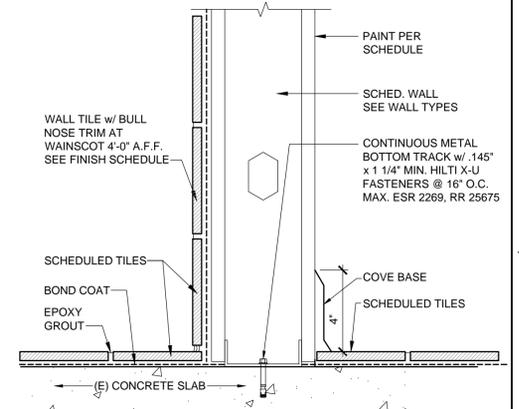
BOX HEADER SCALE 3" = 1'-0" 5



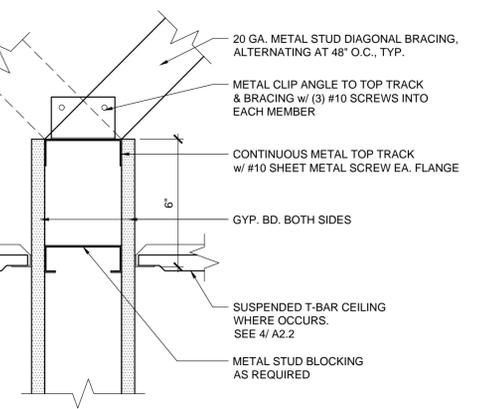
QUIET GLUE SCALE NTS 18



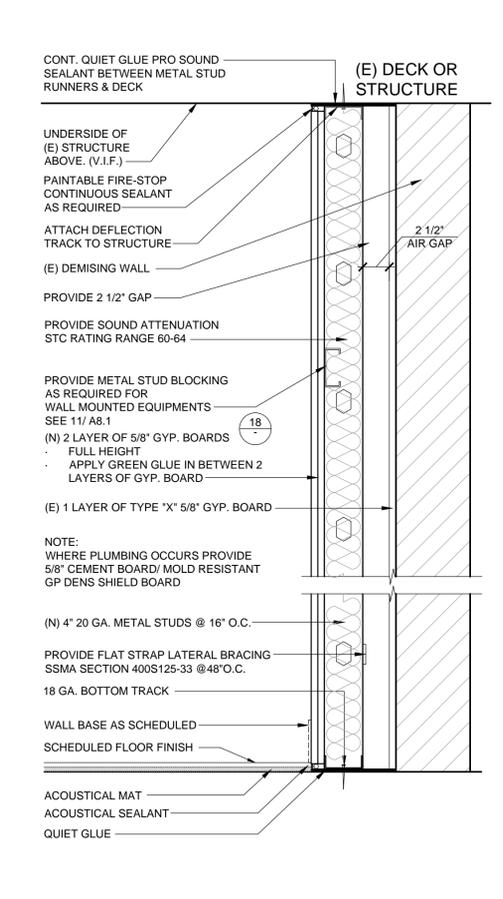
TYP. STUD FRAMING SCALE 1 1/2" = 1'-0" 14



WALL BASE DETAIL SCALE 3" = 1'-0" 10



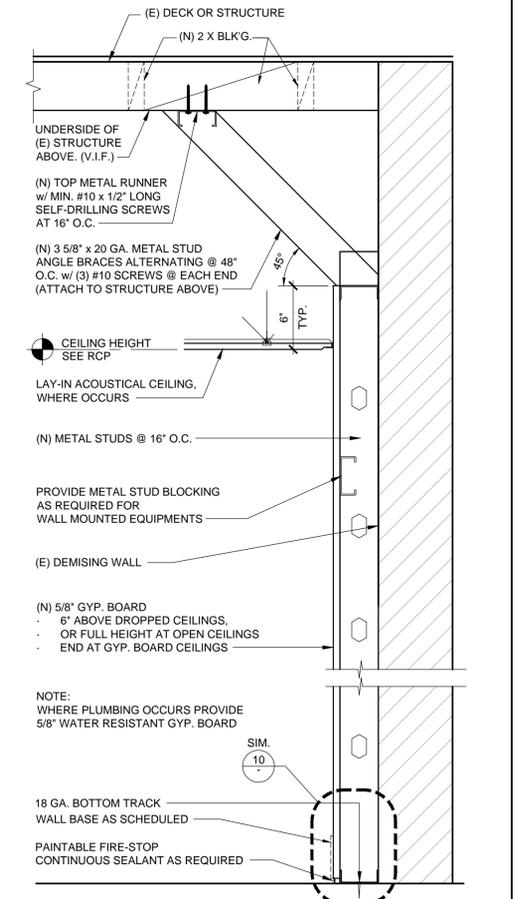
TOP TRACK BRACING SCALE 3" = 1'-0" 6



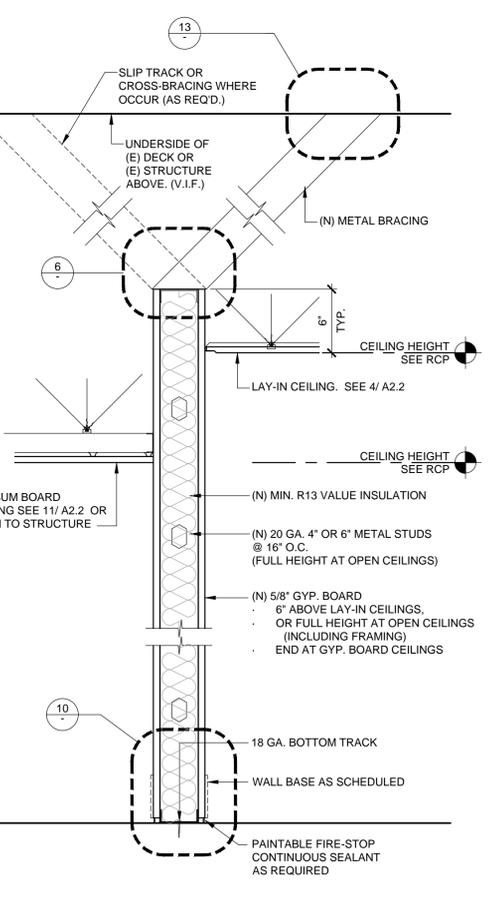
WALL FURRING @ DEMISING WALL SCALE 1 1/2" = 1'-0" 20



WALL FURRING SCALE 1 1/2" = 1'-0" 12



WALL PARTITION NON RATED SCALE 1 1/2" = 1'-0" 8



WALL PARTITION NON RATED SCALE 1 1/2" = 1'-0" 8

- ### FRAMING NOTES
- GALVANIZED STEEL MUST MEET THE MINIMUM REQUIREMENTS OF ASTM A446 GRADE D (F_y=50KSI) FOR 12 GAUGE, ASTM A446 GRADE A (F_y=33KSI) FOR 14 & 16 GAUGE, AND LIGHTER FOR THE ITEM AND USE INTENDED. GALVANIZED COATINGS MUST MEET THE ASTM A525 SPECIFICATIONS.
 - CARBON SHEET STEEL MUST MEET THE MINIMUM REQUIREMENTS OF ASTM A570 GRADE 50 KSI FOR 12 GAUGE AND ASTM A570 GRADE 50 KSI OR GRADE 33 KSI FOR 14 & 16 GAUGE AND LIGHTER FOR THE ITEM AND USE INTENDED. CARBON SHEET STEEL PRODUCTS MUST BE THOROUGHLY COATED WITH A RUST INHIBITIVE PAINT.
 - ALL STRUCTURAL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE (AISI) "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" 2010 EDITION WITH SUPPLEMENT 2.
 - METAL STUDS AND / OR JOISTS:
 - FOR METAL STUD WALLS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS, PROVIDE STANDARD PUNCHED STEEL MEMBERS OF THE GAUGES SHOWN ON THE DRAWINGS.
 - USE ONLY ONE TYPE THROUGHOUT THE WORK, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFICALLY APPROVED IN ADVANCE BY THE ENGINEER AND/OR ARCHITECT.
 - ACCESSORIES: PROVIDE ALL ACCESSORIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, TRACKS, CLIPS, WEB STIFFENERS, ANCHORS, FASTENING DEVICES, RESILIENT CLIPS, AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, AND AS RECOMMENDED BY THE MANUFACTURER FOR THE STEEL MEMBERS USED.
 - FASTENING OF COMPONENTS SHALL BE WITH SELF-DRILLING SCREWS OR WELDING SCREWS OR WELDS SHALL BE OF SUFFICIENT SIZE TO INSURE THE STRENGTH OF THE CONNECTION. ALL WELDS OF GALVANIZED STEEL SHALL BE TOUCHED UP WITH A ZINC RICH PAINT. ALL WELDS OF CARBON SHEET STEEL SHALL BE TOUCHED UP WITH PAINT.
 - PROVIDE A GOOD GRADE OF COMMERCIAL GROUT FOR LEVELING THE FLOOR RUNNER MEMBER OF STEEL STUD PARTITIONS AS REQUIRED.

PARTITION SCHEDULE

- ALL THE METAL STUDS USED SHALL BE "ICC-ES" TYPE OR APPROVED EQUAL.
- THE BRIDGING, BLOCKING OR END BEARING STIFFENERS SHALL BE AS REQUIRED BY THE MANUFACTURER UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL THE STUDS SHALL CONFORM TO "ICC-ES EVALUATION REPORT" ESR-3064P OR APPROVED EQUAL.
- UNLESS OTHERWISE NOTED ON THE PLANS, USE THE FOLLOWING GUIDELINE FOR STUD SIZE & SPACING FOR INTERIOR PARTITIONS.
- TOP TRACK SIZE WILL BE 20 GA. MINIMUM FOR PARTITION, U.N.O.
- SCAFCO SLOTTED TRACK, 400SLT250-43, 18 GA. "ICC-ES EVALUATION REPORT" ESR-3064P OR APPROVED EQUAL.

| SIZE | MAXIMUM PARTITION HEIGHT (5psf L/240) | | | |
|----------------|---------------------------------------|--------------------|--------------------|-----------------------|
| | SPACING | HEIGHT (COMPOSITE) | HEIGHT (NON-COMP.) | HEIGHT (BRACED 48"OC) |
| 362 S 125 - 33 | 16" | 17' - 5" | 16' - 0" | 16' - 1" |
| 400 S 125 - 33 | 16" | 18' - 3" | 17' - 3" | 17' - 4" |
| 600 S 125 - 33 | 16" | 25' - 6" | 23' - 9" | 23' - 11" |

METAL JOIST SCHEDULE

- USE "ICC-ES EVALUATION REPORT" ESR-3064P OR APPROVED EQUAL.
- USE 600S125-43 @ 16" O.C. UP TO 16'-0" MAXIMUM SPAN WHERE CEILING SUPPORTED TOILET PARTITIONS OCCUR.
- STUD TRACKS SHALL BE UNPUNCHED STUDS OF SAME GAUGE AS STUD UNLESS NOTED OTHERWISE.
- ACOUSTIC CEILING TIES (SEE FINISH SCHEDULE) WITH 1 - #8 SCREWS AT EACH JOIST.

| GYPSUM BOARD CEILING | CEILING TIES (BRACING) SPACING | SIZE | MAXIMUM SPAN | |
|----------------------|--------------------------------|----------------|--------------|----------|
| | | | SPACING | SPAN |
| | 4' - 0" | 362 S 125 - 30 | 16" | 8' - 0" |
| | 3' - 6" | 550 S 125 - 30 | 16" | 11' - 0" |
| | 3' - 6" | 600 S 125 - 30 | 16" | 16' - 0" |

REVISIONS

| NO. | DATE | DESCRIPTION |
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DATE: 2019-07-30
 PROJECT NUMBER: A2163
 SHEET NUMBER: **A7.1**

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SHEET TITLE

WALL AND MISCELLANEOUS DETAILS

STAMP

DATE SIGNED: 2019/07/30
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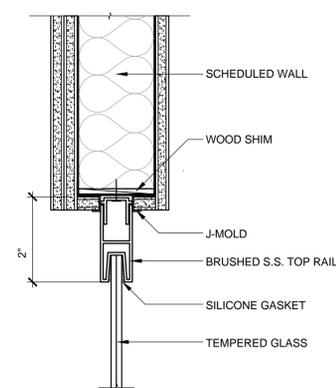
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DOOR SCHEDULE

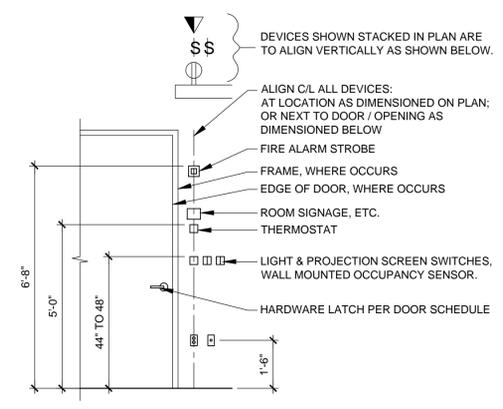
| NO. | ROOM NAME | DOOR | | | | | HDW. SET NO. | FRAME | | | REMARKS | |
|-----|------------------------|---------------|--------|------|-------|---------|--------------|-------|---------|--------|---------|------|
| | | SIZE | THK. | TYPE | MAT'L | FINISH | | MAT'L | FINISH | HEAD | | JAMB |
| 101 | LOBBY | 3'-0" x 7'-0" | (E) | (E) | (E) | (E) | 1 | (E) | (E) | (E) | (E) | |
| 102 | UTILITY | 3'-0" x 7'-0" | 1-3/4" | A | S.C. | P-5/P-6 | 4 | H.M. | P-5/P-6 | 4/A8.1 | 8/A8.1 | |
| 103 | ALL GENDER RESTROOM #1 | 3'-0" x 7'-0" | 1-3/4" | A | S.C. | P-5/P-6 | 2 | H.M. | P-5/P-6 | 4/A8.1 | 8/A8.1 | |
| 104 | ALL GENDER RESTROOM #2 | 3'-0" x 7'-0" | 1-3/4" | A | S.C. | P-5/P-6 | 2 | H.M. | P-5/P-6 | 4/A8.1 | 8/A8.1 | |
| 105 | YOGA PRACTICE ROOM | 3'-0" x 7'-0" | 1-3/4" | B | S.C. | P-5/P-6 | 3 | H.M. | P-5/P-6 | 4/A8.1 | 8/A8.1 | |
| 106 | STORAGE | 3'-0" x 7'-0" | 1-3/4" | A | S.C. | P-6 | 4 | H.M. | P-6 | 4/A8.1 | 8/A8.1 | |
| 107 | STORAGE | 3'-0" x 7'-0" | 1-3/4" | A | S.C. | P-6 | 4 | H.M. | P-6 | 4/A8.1 | 8/A8.1 | |

DOOR AND HARDWARE NOTES

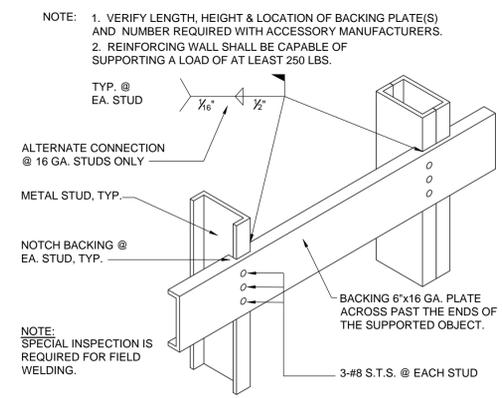
- FINISH NOTES:**
- ALL NEW DOORS AND FRAMES TO BE PAINTED. SEE FINISH LEGEND ON SHEET A8.2 FOR REFERENCE.
 - DOOR / HARDWARE NOTES:
 - ALL KEYING TO BE PER LANDLORD AND FRANCHISEE'S REQUIREMENTS - EXTERIOR DOORS AND SUITE ENTRANCES ALSO KEYED LIKE BUILDING MASTER MAIN DOOR(S) ARE PERMITTED TO BE EQUIPPED WITH A KEY-OPERATED LOCKING DEVICE FROM THE EGRESS SIDE IF THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED AND REDILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" THE SIGN SHALL BE IN LETTER 1" HIGH ON CONTRASTING BACKGROUND.
 - MANUALLY OPERATED OR SURFACE MOUNTED FLUSH BOLTS SHALL NOT BE INSTALLED ON EGRESS DOORS.
 - ALL DOOR AND WINDOW GLAZING SHALL BE 1/4" MINIMUM CLEAR TEMPERED, UNLESS NOTED OTHERWISE.
 - DOOR CLOSERS SHALL TAKE AT LEAST THREE SECONDS TO MOVE TO A POINT THREE INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
 - ALL DOORS NOT LABELED ARE EXISTING AND ARE TO REMAIN AS IS.
 - NEW DOORS SHALL BE LOCATED 5' FROM ADJACENT WALL UNLESS NOTED OTHERWISE, OR AS REQUIRED FOR HARDWARE INSTALLATION.
 - DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MAXIMUM HEIGHT OF 34 INCHES ABOVE THE FINISHED FLOOR. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
 - ALL MEANS OF EGRESS DOORS SHALL BE OF A SIDE-SWINGING TYPE.
 - ALL DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR WHERE SERVING A HIGH-HAZARD OCCUPANCY.
 - THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS. THESE FORCES DO NOT APPLY TO THE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD A DOOR IN A CLOSED POSITION. FOR THE OTHER SWINGING DOOR, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO 30 POUND FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15 POUND FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE OF THE DOOR.
- SET #1: UTILITY DOOR**
- | | | | | |
|---|-------------------|-----------------------------|-------|-------------------------|
| 3 | HINGES | FBB179-4 1/2 x 4 1/2 NRP | US26D | STANLEY |
| 1 | STOREROOM LOCKSET | OCL271 478S LC | 626 | STANLEY COMMERCIAL BEST |
| 1 | CYLINDER | OWNER STANDARD | 626 | BEST |
| 1 | KICK PLATE | K0050 10"x2" LDWX X CSK B4E | 630 | TRIMCO |
| 1 | WALL BUMPER | 1270WV | 630 | TRIMCO |
| 3 | DOOR SILENCERS | 1229 SERIES | GREY | TRIMCO |
- SET #2: STORAGE DOOR**
- | | | | | |
|---|-------------------|-----------------------------|-------|----------------------------------|
| 3 | HINGES | FBB179-4 1/2 x 4 1/2 NRP | US26D | STANLEY |
| 1 | STOREROOM LOCKSET | OCL271 478S LC | 626 | STANLEY COMMERCIAL HARDWARE BEST |
| 1 | CYLINDER | OWNER STANDARD | 626 | BEST |
| 1 | KICK PLATE | K0050 10"x2" LDWX X CSK B4E | 630 | TRIMCO |
| 1 | WALL BUMPER | 1270WV | 630 | TRIMCO |
| 3 | DOOR SILENCERS | 1229 SERIES | GREY | TRIMCO |
- SET #3: YOGA PRACTICE ROOM DOOR**
- | | | | | |
|---|----------------|--------------------------|-------|----------------------------------|
| 3 | HINGES | FBB179-4 1/2 x 4 1/2 NRP | US26D | STANLEY |
| 1 | STUDIO LOCKSET | OCL255 E 478S | 626 | STANLEY COMMERCIAL HARDWARE BEST |
| 1 | CYLINDER | OWNER STANDARD | 626 | BEST |
| 1 | WALL BUMPER | 1270WV | 630 | TRIMCO |
| 3 | DOOR SILENCERS | 1229 SERIES | GREY | TRIMCO |
- SET #4: RESTROOM DOOR**
- | | | | | |
|---|-----------------|-----------------------------|-------|----------------------------------|
| 3 | HINGES | FBB179-4 1/2 x 4 1/2 NRP | US26D | STANLEY |
| 1 | PRIVACY LOCKSET | OCL240 E 478S | 626 | STANLEY COMMERCIAL HARDWARE BEST |
| 1 | CLOSURE | 8916-AFP | 689 | DORMA |
| 1 | KICK PLATE | K0050 10"x2" LDWX X CSK B4E | 630 | TRIMCO |
| 1 | WALL BUMPER | 1270WV | 630 | TRIMCO |
| 3 | DOOR SILENCERS | 1229 SERIES | GREY | TRIMCO |
- SET #5: ENTRY/EXITING DOOR**



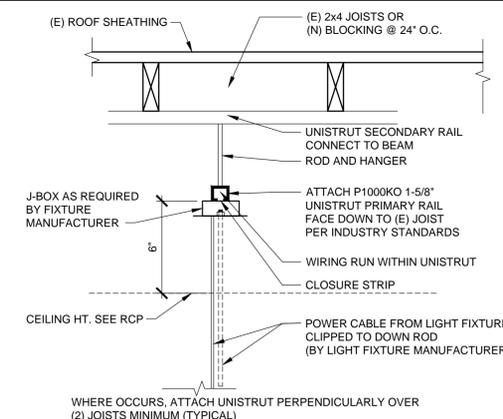
PEEP WINDOW DETAIL SCALE 3" = 1'-0" 9



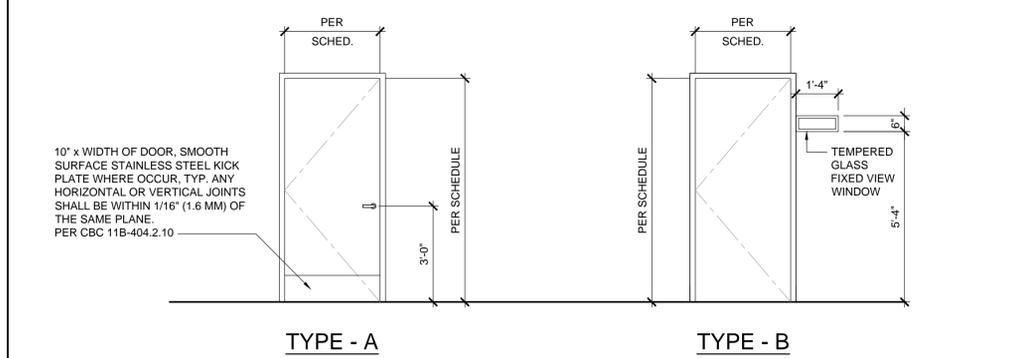
TYPICAL ELECTRICAL HEIGHTS SCALE NTS 10



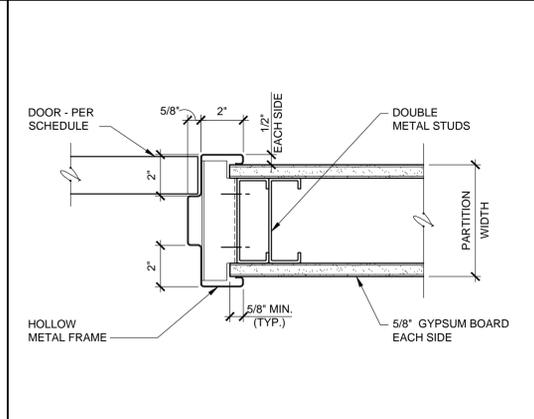
BACKING PLATE @ METAL STUD SCALE 3" = 1'-0" 11



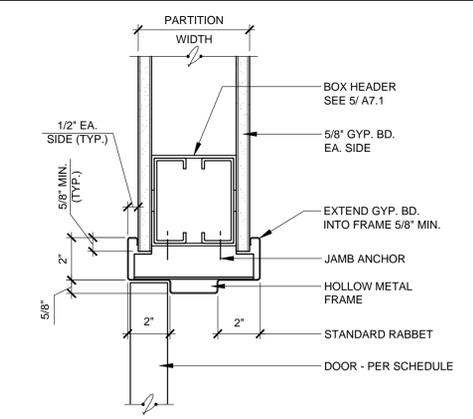
FIXTURE CONNECTION SCALE 1 1/2" = 1'-0" 12



DOOR TYPES SCALE 3/8" = 1'-0" 3



INTERIOR DOOR JAMB SCALE 3" = 1'-0" 8



INTERIOR DOOR HEAD SCALE 3" = 1'-0" 4

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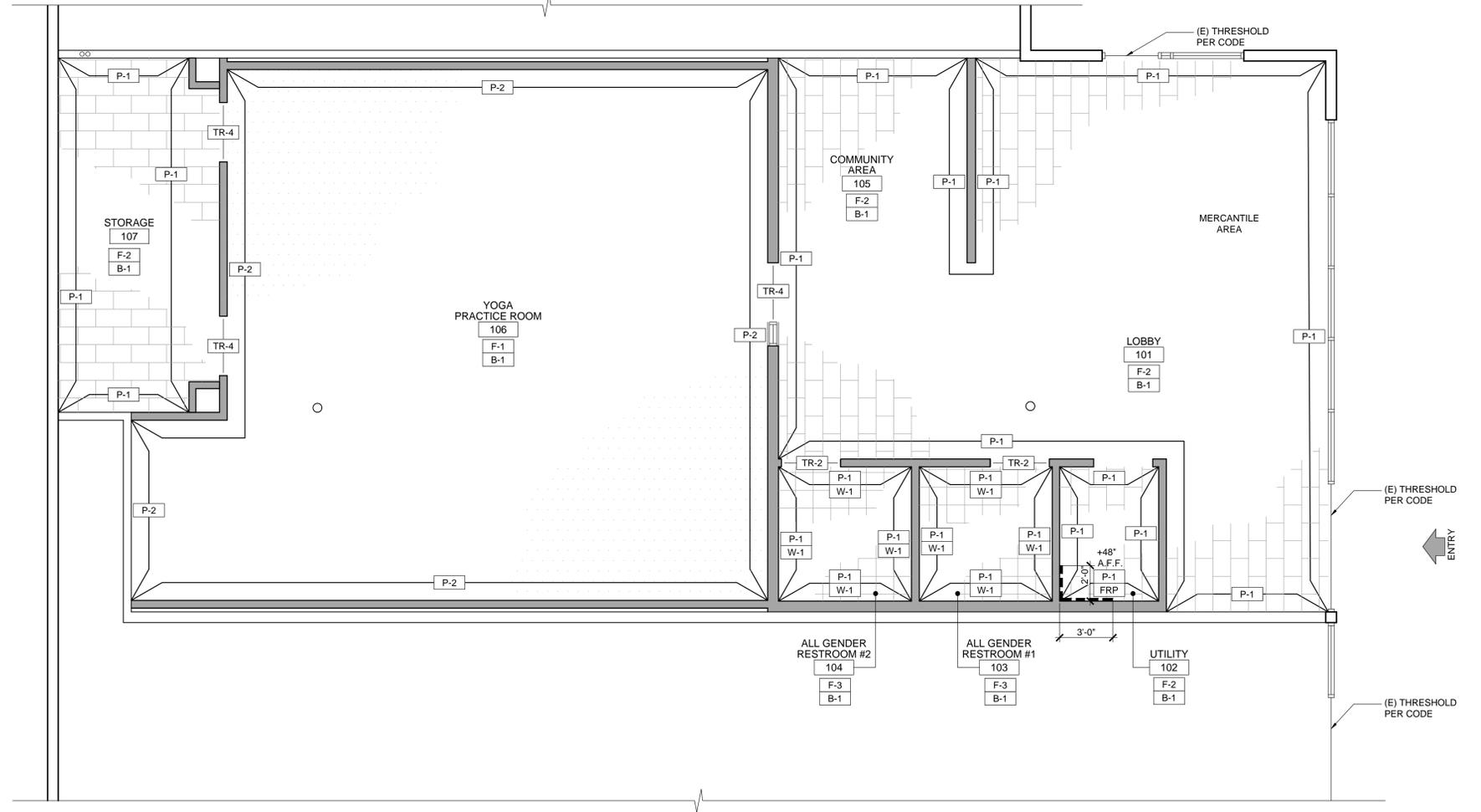
| FINISH SCHEDULE | | | | | | | | | | | | | | | | |
|-----------------|------------------------|-------|------|----------|-------|----------|-------|----------|-------|----------|-------|----------|-------|---|--------|--|
| ROOM NO. | ROOM NAME | FLOOR | BASE | WALLS | | | | | | | | CEILING | | REMARKS (NUMBERS REFER TO LEFT SIDE) | | |
| | | | | A | | B | | C | | D | | MATERIAL | PAINT | | HEIGHT | |
| | | | | MATERIAL | PAINT | MATERIAL | PAINT | MATERIAL | PAINT | MATERIAL | PAINT | | | | | |
| 101 | LOBBY | F-2 | B-1 | GWB | P-1 | GWB | P-1 | FRP/GWB | P-1 | GWB | P-1 | (E) | P-2 | | | |
| 102 | UTILITY | F-2 | B-1 | GWB | P-1 | GWB | P-1 | FRP/GWB | P-1 | GWB | P-1 | (E) | P-2 | | | |
| 103 | ALL GENDER RESTROOM #1 | F-3 | TR-1 | W-1/GWB | P-1 | W-1/GWB | P-1 | W-1/GWB | P-1 | W-1/GWB | P-1 | (E) | P-2 | | | |
| 104 | ALL GENDER RESTROOM #2 | F-3 | TR-1 | W-1/GWB | P-1 | W-1/GWB | P-1 | W-1/GWB | P-1 | W-1/GWB | P-1 | (E) | P-2 | | | |
| 105 | COMMUNITY AREA | F-2 | B-1 | GWB | P-1 | GWB | P-1 | GWB | P-1 | GWB | P-1 | (E) | P-2 | | | |
| 106 | YOGA PRACTICE ROOM | F-1 | B-1 | GWB | P-1 | GWB | P-1 | GWB | P-1 | GWB | P-1 | (E) | P-2 | | | |
| 107 | STORAGE | F-1 | B-1 | GWB | P-2 | GWB | P-2 | GWB | P-2 | GWB | P-2 | (E) | P-2 | | | |

FINISH SCHEDULE REMARKS

- ① REFERENCE INTERIOR ELEVATIONS AND ROOM FINISH PLAN FOR EXTENT OF FINISHES
- ② PATCH AND REPAIR (E) GYPSUM BOARD CEILING TO AS NEW CONDITION
- ③ ALL GYPSUM BOARD TO BE 5/8" THICK TAPED, SPACKLED, SANDED AND READY FOR PAINT
- ④ G.C. TO REPAIR / PROVIDE INSULATION AS REQUIRED PRIOR TO PAINT
- ⑤ ALL SURFACES AT UNDERSIDE OF ROOF DECK TO RECEIVE PAINT
- ⑥ WATER AND MOLD RESISTANT GYPSUM BOARD
- ⑦ ALL SURFACES AT UNDERSIDE OF EXPOSED CEILING/ROOF DECK TO RECEIVE BLACK SCRIM SHEET, OR PAINT (PT-4) WHERE NEEDED (U.N.O.)

| FINISH LEGEND | | | | | | |
|---------------|--------------------------|--------------------------------|-----------------------------|---|--------------------|--|
| TYPE | MARK | MANUFACTURER | MATERIAL NAME | PRODUCT / SERIES | COLOR | REMARKS |
| FLOORING | F-1 | SUPERIOR PERFORMANCE SURFACING | YOGA PRACTICE ROOM FLOORING | SPS SHEET VINYL SV-1 | GRAY | FLOORING AT YOGA PRACTICE ROOM |
| | F-2 | SUPERIOR PERFORMANCE SURFACING | SPS LVT | 12"x24" | GRAY | INSTALLATION: LVT TO BE INSTALLED RUNNING PARALLEL TO STOREFRONT LOCATION: LOBBY AND UTILITY ROOM |
| | F-3 | SUPERIOR PERFORMANCE SURFACING | SPS CERAMIC FLOOR TILE | 12"x24" | WHITE | FLOORING AT RESTROOMS - STACKED/ CORNER TO CORNER |
| WALLS | W-1 | SUPERIOR PERFORMANCE SURFACING | SPS CERAMIC WALL TILE | 12"x24" | WHITE | AT RESTROOM WALLS INSTALL: STAGGERED/ 1/2 OFFSET |
| | P-1 | SHERWIN-WILLIAMS | PAINT | SW-7005 | PURE WHITE | FINISH: SEMI-GLOSS NOTE: LOBBY, RESTROOM, UTILITY |
| | P-2 | SHERWIN-WILLIAMS | PAINT | SW-7005 (EXTERIOR) | PURE WHITE | FINISH: SEMI-GLOSS EXTERIOR GRADE NOTE: YOGA PRACTICE ROOM |
| | FRP | MARLITE OR EQUAL | FIBER REINFORCED PLASTIC | S100G | WHITE | STANDARD FRP, SMOOTH SURFACE. INSTALL w/ PVC TRIM @ 4'-0" A.F.F. |
| | ACT-1 | ARMSTRONG | CEILING TILES & GRID | FINE FISSURED REGULAR TILES OR APPROVED EQUAL | WHITE FINISH | 2' x 4' ACOUSTIC SUSPENDED CEILING GRID: PRELUDE XL 15/16" EXPOSED TEE SYSTEM |
| BASE | B-1 | ROPPE | COVE BASE | 700 SERIES 4" COVE | CHARCOAL 123 | 4" COVE BASE; ENTIRE SPACE |
| | P-3 | SHERWIN-WILLIAMS | PAINT | SW-7005 | PURE WHITE | FINISH: SEMI-GLOSS NOTE: LOBBY, RESTROOM, UTILITY |
| CEILING | P-4 | SHERWIN-WILLIAMS | PAINT | SW-7005 | PURE WHITE | FINISH: SEMI-GLOSS NOTE: YOGA PRACTICE ROOM |
| | ACT-2 | ARMSTRONG | CEILING TILES & GRID | 24" x 24" SMOOTH WASHABLE | WHITE FINISH | 2' x 2' SMOOTH WASHABLE ACOUSTIC SUSPENDED CEILING GRID: PRELUDE XL 15/16" EXPOSED TEE SYSTEM |
| TRANSITIONS | TR-1 | SCHLUTER | | SCHLUTER AE100 | | HORIZONTAL WAINSCOT AND VERTICAL CORNERS AT CERAMIC TILE TO LVT |
| | TR-2 | SCHLUTER | | RENO U AEU100 | | CERAMIC TILE TO LVT |
| | TR-3 | ROPPE | | ROPPE #22 | BLACK | LVT TO CONCRETE |
| | TR-4 | ROPPE | | ROPPE #66 | BLACK | F-1 TO F-2 |
| | TR-5 | ROPPE | | ROPPE #196 | BLACK | F-1 TO CONCRETE |
| GR-1 | CUSTOM BUILDING PRODUCTS | FLOOR AND WALL GROUT | NON-SANDED | PLATINUM 115 | | GROUT AT TILE 1/8" GROUT JOINT |
| DOORS | P-5 | SHERWIN-WILLIAMS | PAINT | SW-9060 | CONNER'S LAKEFRONT | FINISH: SEMI-GLOSS NOTE: LOBBY, RESTROOM, UTILITY |
| | P-6 | SHERWIN-WILLIAMS | PAINT | SW-7005 (EXTERIOR) | PURE WHITE | FINISH: SEMI-GLOSS EXTERIOR GRADE NOTE: INSIDE YOGA PRACTICE ROOM |

NOTES:
 1. SPS STANDS FOR SUPERIOR PERFORMANCE SURFACING VENDOR.
 2. ALL GROUTS JOINT TO BE 1/8", UNLESS NOTED OTHERWISE.
 3. ALL GROUT TO BE CUSTOM BUILDING PRODUCTS, NON-SANDED GROUT. COLOR: PLATINUM 115



ROOM FINISH PLAN



SCALE
1/4" = 1'-0"

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SHEET TITLE
ROOM FINISH PLAN, SCHEDULE & LEGEND AND GRAPHIC KEYS

STAMP

 WILLIAM A. AMOR
 C-24421
 8/31/2019
 RENEWAL DATE
 STATE OF CALIFORNIA

DATE SIGNED: 2019/07/30
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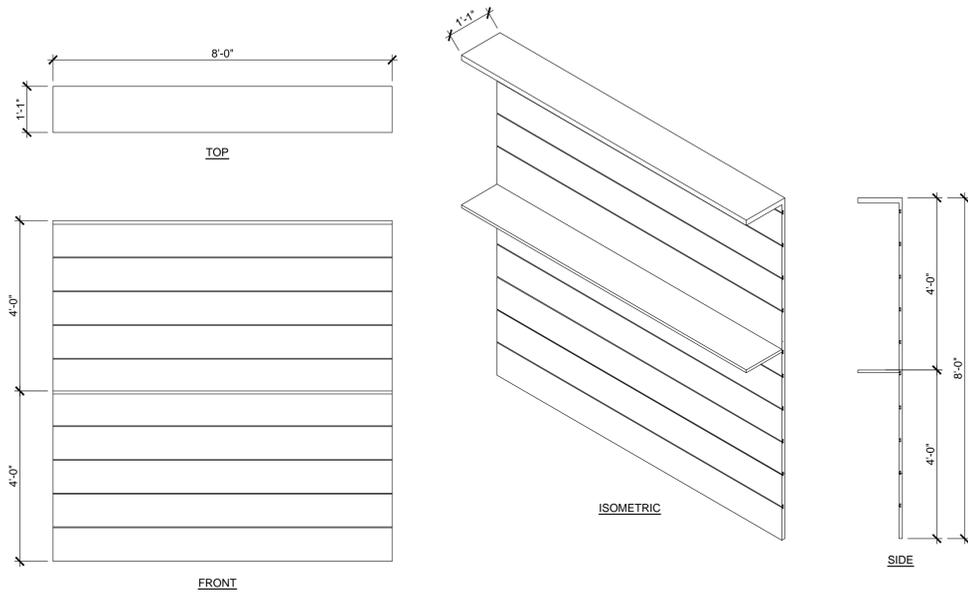
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A8.2

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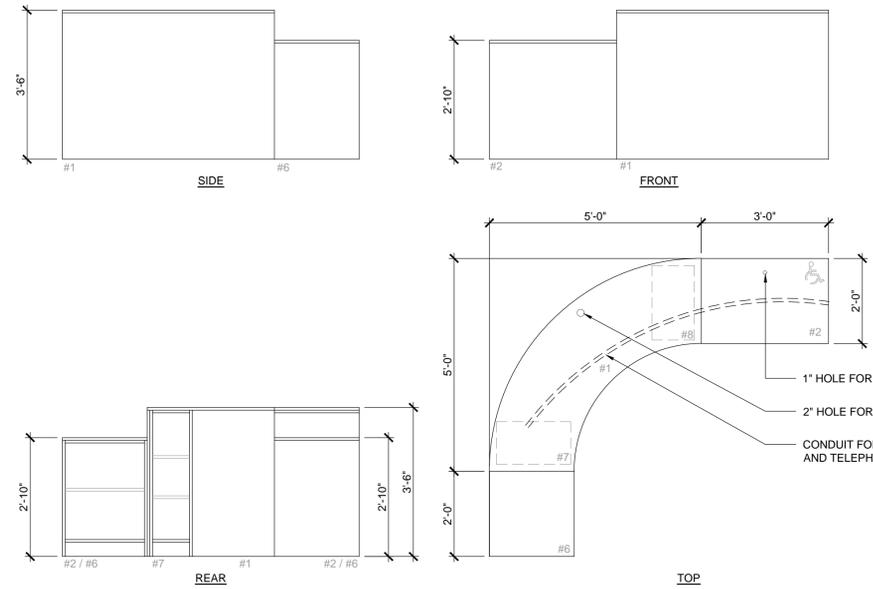
G-1



FRONT

ISOMETRIC

SIDE



SIDE

FRONT

REAR

TOP

1" HOLE FOR IPAD CHECK IN
2" HOLE FOR MONITOR
CONDUIT FOR POWER, DATA, AND TELEPHONE

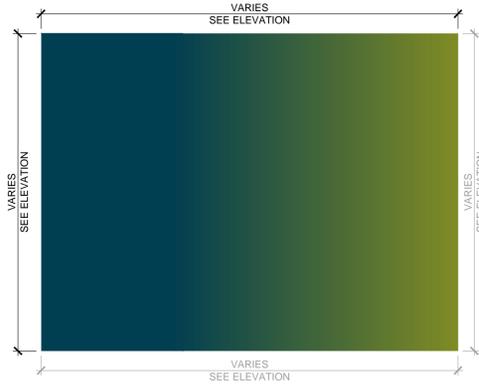
WALL GRAPHICS-HORIZONTAL (YOGA PRACTICE ROOM)

LOBBY - SLAT WALL

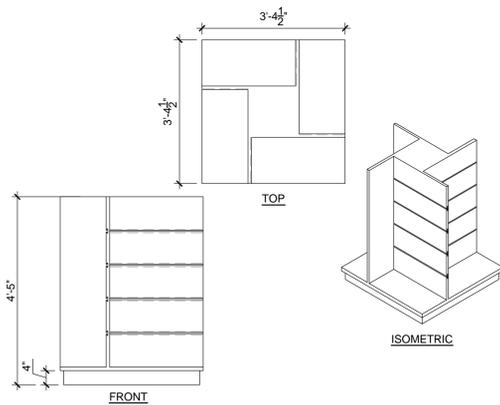
SCALE
1/2" = 1'-0" 4

LOBBY - FRONT DESK

SCALE
1/2" = 1'-0" 1



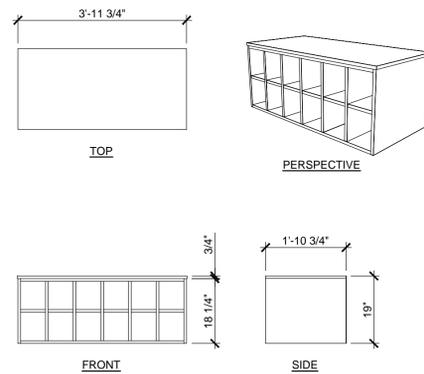
G-2



FRONT

TOP

ISOMETRIC

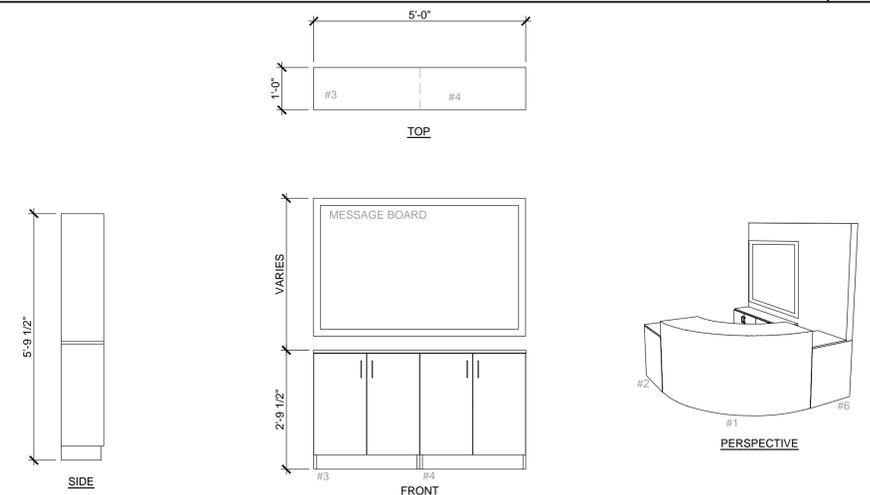


FRONT

SIDE

TOP

PERSPECTIVE



TOP

SIDE

FRONT

PERSPECTIVE

WALL GRAPHICS-GRADIENT WALL

LOBBY - 4-WAY DISPLAY

SCALE
1/2" = 1'-0" 8

SHOE CUBBY BENCH

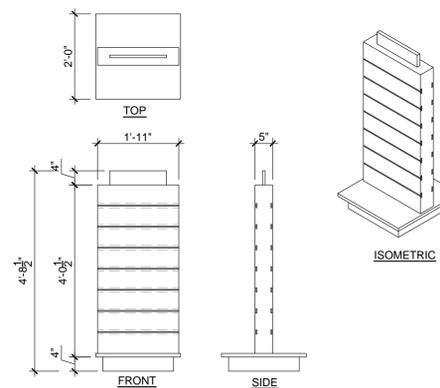
SCALE
1/2" = 1'-0" 5

LOBBY - TOWEL CABINET

SCALE
1/4" = 1'-0" 2



G-3

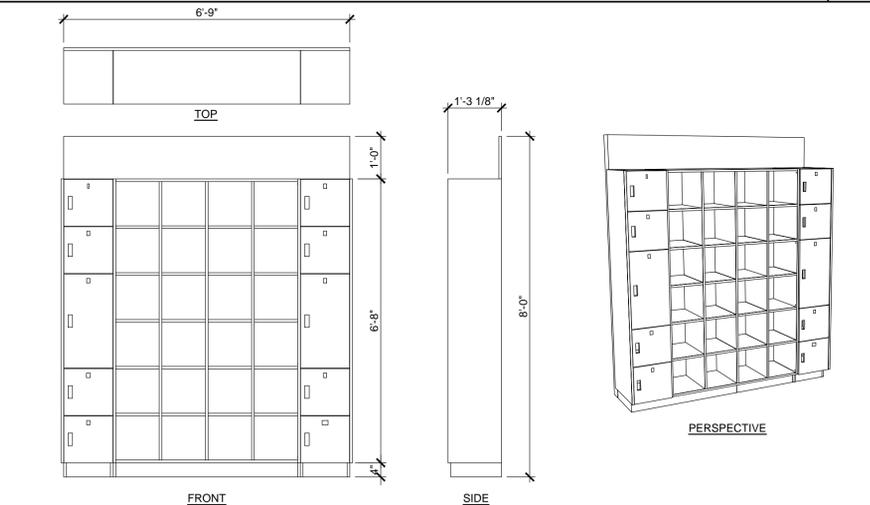


FRONT

SIDE

TOP

ISOMETRIC



TOP

FRONT

SIDE

PERSPECTIVE

WALL GRAPHICS-OVERSIZED LOGO

LOBBY - 2-WAY DISPLAY

SCALE
1/2" = 1'-0" 6

LOBBY - LOCKERS

SCALE
1/4" = 1'-0" 3

Filename: 8/12/2019 10:01 AM (mrmrmd) File: 18_a07163_dwg 3 millwork details & wall graphics.dwg

Amor

Architectural Corporation

9483 HAVEN AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
P. 909.259.9971 | F. 909.944.8409
www.AmorArch.com

WEST COAST | CENTRAL | EAST COAST

CLIENT



1777 S. BASCOM AVENUE
UNIT C
CAMPBELL, CA 95008

Ajnavi Kumar
PHONE : (408) 306-0106
ajnavi.kumar@yogasix.com

CONSULTANT

PROJECT LOCATION
YOGA SIX
1777 S. Bascom Ave.
Unit C
Campbell, CA 95008

SHEET TITLE
MILLWORK DETAILS, WALL SIGNAGE & GRAPHICS (FOR REFERENCE ONLY)



DATE SIGNED: 2019/07/30
SHEETS BEARING THIS SEAL AND NET SIGNATURE ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OLDER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

| REVISIONS |
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DATE
2019-07-30
PROJECT NUMBER
A2163

SHEET NUMBER

A8.3

PERMIT SET: 2019_07_30

STATE OF CALIFORNIA
ENVELOPE COMPONENT APPROACH
 CECS-NRCC-ENV-01-E (Revised 01/16)

Project Name: **Yoga Six** Date Prepared: **7/26/2019**

Project Location: **1777 S. Bascom Ave. Unit C, Campbell, 95008**

CA City and Zip Code: **95008**

Climate Zone: **4**

Total Conditioned Floor Area: **2,072**

Building Type: **01**

Compliance Method: Unconditioned (See Affixes) 0 dBq Building Front Orientation (See Affixes) New Construction Alteration Nonresidential High-Rise Residential Hotel/Motel Guest Room

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CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance

January 2016

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F. AIR BARRIER

| Tag/ID | Assembly Type | Material | Thickness (inches) | U-Factor | U-Factor from Tables 1403.3.8, C or D | Field Inspection Comments |
|--------|---------------|----------|--------------------|----------|---------------------------------------|---------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |

G. PENETRATION PROPOSED AREAS AND EFFICIENCIES

| Tag/ID | Penetration Type | Material | Thickness (inches) | U-Factor | U-Factor from Tables 1403.3.8, C or D | Field Inspection Comments |
|--------|------------------|----------|--------------------|----------|---------------------------------------|---------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |

H. ENVELOPE MANDATORY MEASURES

Indicate location on building plans of Mandatory Envelope Measures Note Block: ENV-AMM

INSTRUCTIONS TO APPLICANT ENVELOPE COMPLIANCE & WORKSHEETS (check box if worksheet are included)

NRCC-ENV-01-E Certificate of Compliance. Required on plans for all submittals.

NRCC-ENV-04-E Use minimum daylight requirements for large enclosed spaces are required in climate zones 2 through 15. Optional on plans.

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D. ENVELOPE DETAILS - MASS

| Tag/ID | Assembly Type | Material | Thickness (inches) | U-Factor | U-Factor from Tables 1403.3.8, C or D | Field Inspection Comments |
|--------|---------------|----------|--------------------|----------|---------------------------------------|---------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |

E. ROOFING PRODUCTS (COOL ROOF)

| Tag/ID | Product Type | Material | Thickness (inches) | U-Factor | U-Factor from Tables 1403.3.8, C or D | Field Inspection Comments |
|--------|--------------|----------|--------------------|----------|---------------------------------------|---------------------------|
| 01 | 02 | 03 | 04 | 05 | 06 | 07 |

1. Once the low-e aged solar reflectance was not available in the Cool Roof Rating Council's latest Product Directory, then use the equation in Section 110.8(9)(3) where the initial reflectance is the aged solar reflectance and the aged solar reflectance is the aged solar reflectance value. Where R_p is the initial solar reflectance and $R_{p,aged}$ is the aged solar reflectance value.

2. Calculate the SR Value by using the SR Calculator Worksheet at https://www.energy.ca.gov/publications/energy_efficiency/energy_efficiency_tools/sr_calculator and enter the resulting value in the SR column above and attach a copy of the SR Worksheet (NRCC-ENV-03-E) to the compliance document.

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B. ENVELOPE DETAILS - FRAMED

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C. ENVELOPE DETAILS - NON-FRAMED

| Tag/ID | Assembly Type | Material | Thickness (inches) | U-Factor | U-Factor from Tables 1403.3.8, C or D | Field Inspection Comments |
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CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance

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CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance

January 2016

SHEET NUMBER
A8.4

DATE
2019-07-30
PROJECT NUMBER
A2163

REVISIONS
 2019-07-23 PLAN CHECK CORRECTIONS

STAMP
 LICENSED ARCHITECT
 WILLIAM A AMOR
 C-24421
 8/31/2019
 RENEWAL DATE

PROJECT LOCATION
YOGA SIX
 1777 S. Bascom Ave.
 Unit C
 Campbell, CA 95008

TITLE 24 ENVELOPE COMPLIANCE
 SHEET TITLE

Amor
 Architectural Corporation
 9483 HAVEN AVENUE, SUITE 100
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 CONSULTANT