



CITY OF CAMPBELL
Community Development Department

October 11, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 22, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Cresleigh Homes Corporation, for a Zoning Map Amendment (from P-D to C-PD), Planned-Development Permit with a density bonus, Vesting Tentative Subdivision Map, and Tree Removal Permit (PLN2016-378/380/381/382/383) to allow construction of a mixed-use building with 6,512 square feet of ground level commercial space and 59 for-sale residential condominium units on properties located at **540, 558 and 566 East Campbell Avenue and 24 and 34 Dillon Avenue**. A Mitigated Negative Declaration has been prepared for this project.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

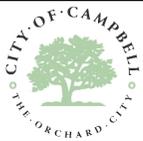
Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **540 E. Campbell Ave et al**



540/558/556 E. Campbell Ave.; 24/34 Dillon Ave. Parkview Mixed Use Development



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.