



CITY OF CAMPBELL
Community Development Department

October 26, 2019

**NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION
and TREE REMOVAL PERMIT**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

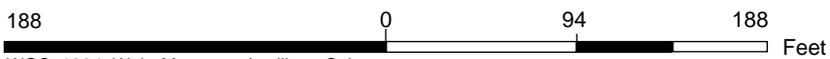
File No.:	PLN2019-144/196
Applicant:	LU Construction
Project Address:	505 Sunnybrook Dr.
Property Owner:	Nbk Investment LLC,
Zoning District:	R-1-6 (Single Family Residential)
General Plan:	Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s):	San Tomas Area Community single family home Coalition
Project Description:	Construction of a 2-story 3,600 square-foot single-family residence and removal of two (2) protected Deodar Cedar trees located in the front yard.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 26, 2019 and ends on November 5, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 5, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@campbellca.gov.



Location Map



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:1,128

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

SUNNYBROOK RESIDENCE

505 SUNNYBROOK DR CAMPBELL CA 95008



D-SQUARE STUDIO
www.d-squarestudio.com
408-625-9171

SUNNYBROOK RESIDENCE
505 SUNNYBROOK DR, CAMPBELL, CA 95008

REVISIONS:
1 PLANNING COMMENTS
OCT. 04, 2019

SHEET TITLE SHEET & SITE PLAN

SCALE AS SHOWN

DATE 6.17.2019

PRJ.No. 2019-04

PREPARED BY:
Juan D Moreno
JDM

www.d-squarestudio.com
408-625-9171

A-0.0

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND SEALED BY BUILDING DEPARTMENT

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (TITLE 24) AND ALL OTHER LOCAL CODES AND ORDINANCES OF THE GOVERNING AUTHORITY HAVING JURISDICTION AND AS REFERRED UNDER APPLICABLE CODES ON THIS SHEET. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY THERETO.
- ALL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EACH OTHER. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCY BETWEEN THE DOCUMENTS, HE SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION OF COVERING CRITICAL. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT FACEMENT, ORIENTATION AND COORDINATION OF WORK. INFORMATION SHOWN BY THE LARGEST GRAPHIC ARE REFERRED TO SUPPLEMENT INFORMATION OF SMALLER, PRECEDING REFERENCE DRAWINGS.
- NOTATIONS MARKED "TYPICAL" (TYP) SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOMENCLATURE, SYMBOLS AND DRAWING INDICATIONS OF LINE OR SIMILAR KIND.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONSTRUCTION CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING FABRICATING AND INSTALLATION OF ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION PRIOR TO COMMENCEMENT OF ASSOCIATED WORK.
- DIMENSIONS ARE RELATED SPECIFICALLY TO FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXTERIOR STUDS, CENTERLINE OF STRUCTURAL COLUMNS AND BEAMS, OR CENTERLINE OF INTERIOR STUDS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS ARE INDICATED FROM FINISHED SURFACES UNLESS OTHERWISE NOTED.
- BUILDING ELEVATION REFERENCES ARE FROM DIRECT APPLICATION OF FINISH FLOORING APPLIED TO THE STRUCTURAL FLOOR SUBSTRATE OF THE GROUND FLOOR DATUM (MAIN ENTRANCES). CONTRACTOR SHALL INCLUDE REQUIRED DEPRESSIONS AND/OR PROJECTIONS IN ACHIEVING REQUIRED ELEVATIONS. CEILING HEIGHTS ARE REFERENCED TO FINISHED SURFACES UNLESS OTHERWISE NOTED.
- KEYNOTES USED ON THE DRAWINGS ARE FOR ASSEMBLIES, MATERIAL REFERENCES AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE RESPECTIVE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE. NOT ALL KEYNOTES REFERENCED MAY BE APPLICABLE TO SIMILAR TYPE DRAWINGS.
- EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER AND CONTRACTOR DO NOT GUARANTEE EXISTING CONDITIONS INDICATED ON THESE DOCUMENTS.
- MATERIALS SUSPECTED OF CONTAINING ASBESTOS THAT ARE DISCOVERED DURING THE COURSE OF THE WORK SHALL BE REPORTED TO THE OWNER. WORK IN THAT PARTICULAR AREA SHALL BE SUSPENDED UNTIL THE OWNER TESTS THE SUSPECTED MATERIAL AND IT IS FOUND TO BE SAFE OR UNTIL THE SUSPECTED MATERIAL HAS BEEN PROPERLY ABATED.
- CONTRACTOR SHALL VERIFY AT SITE ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS. SITE VISITS DURING BIDDING SHALL BE COORDINATED WITH THE OWNER IN ACCORDANCE WITH PROVISIONS OF THE SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK, ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS AND TEXTURES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK PROGRESSES.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS, AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH LOCAL ORDINANCES.

PROJECT INFORMATION

SITE ADDRESS: 505 SUNNYBROOK DR, CAMPBELL, CA 95008
APN: 004-25-002
ZONING: R-4
SITE AREA: 8,091 SQ.FT.
GROSS LOT SIZE: 8,091 SQ.FT.
NET LOT SIZE: 1,777 SQ.FT.
EXISTING AREA: 1,777 SQ.FT.
EXISTING LOT COVERAGE: 0.22
HOUSE HEIGHT: 24'-1"
NEW HOUSE AREA:
 (N) FIRST FLOOR AREA 1,664 sq.ft.
 (N) SECOND FLOOR AREA 1,519 sq.ft.
 (N) GARAGE 417 sq.ft.
 TOTAL (N) FLOOR AREA 3,600 sq.ft.
 (N) FIRST FLOOR COVERED PORCH: 488 sq.ft.
 (N) SECOND FLOOR COVERED PORCH: 211 sq.ft.
TOTAL (N) LOT COVERAGE: 2,578 sq.ft. (32) + (MAX 3.00)
(E) LOT COVERAGE: 32%
(N) LOT COVERAGE: 32%
(E) FAR: 0.45
(N) FAR: 0.45
DEVELOPMENT DATA:
 BUILDING COVERAGE PROPOSED 2,567 SQ.FT. 32%
 LANDSCAPE COVERAGE PROPOSED 4,411 SQ.FT. 55%
 PAVING COVERAGE PROPOSED 967 SQ.FT. 13%
PERVIOUS AREA: 55%
IMPERVIOUS AREA: 44%
 ALL ADJACENT LAND USES ARE RESIDENTIAL
 2 STANDARD PARKING COVERED SPACES
 4 BERMOBS

PROJECT DESCRIPTION

DEM. EXISTING RESIDENCE 1777 SQ.FT.
 NEW 2 STORY HOME 3600 SQ.FT.

VICINITY MAP



SHEET INDEX

- ARCHITECTURAL**
- A00 TITLE SHEET - SITE PLAN
 - A01 PLANS AND POLYLINE WORKS CONDITIONS OF APPROVAL
 - A02 MEASUREMENTS
 - A03 PRELIM PLAN
 - A04 LOWER LEVEL PLAN
 - A05 UPPER LEVEL PLAN
 - A06 SECTIONS
 - A07 ELEVATIONS
 - A08 ELEVATIONS
 - A09 STREETScape
 - A10 ROOF PLAN
- LANDSCAPE**
- L1 LANDSCAPE PLAN
- TOPOGRAPHIC PLAN**
- 1 BOUNDARY AND TOP SURVEY
 - 1 GRADING PLAN
 - 1 GRADING PLAN
- DEFERRED APPROVAL**
- FIRE SPRINKLER SYSTEM

CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE PROJECT DESIGNER AND/OR ENGINEER FOR REVIEW AND COORDINATION, FOLLOWING THE COMPLETION OF PROJECT DESIGNER ENGINEER REVIEW & COORDINATION. A SUBMITTAL SHALL BE MADE TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL IN ORDER TO OBTAIN AN "AUTOMATIC" SPRINKLER PERMIT.

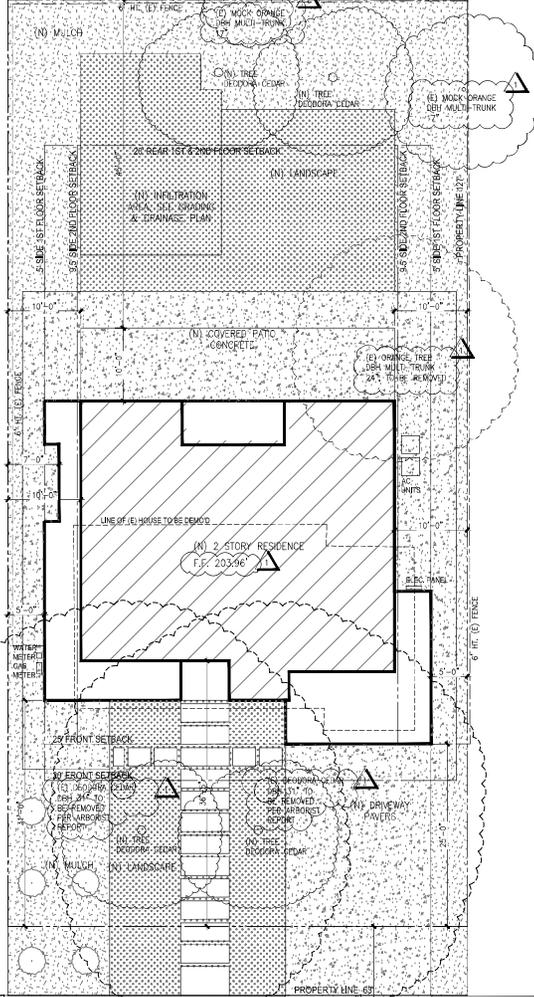
CODES

- APPLICABLE CODES:**
- 2016 CALIFORNIA BUILDING CODE (CBC), (2012 INTERNATIONAL BUILDING CODE)
 - 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2016 CALIFORNIA REFERENCE STANDARDS CODE (CRS)
 - 2016 CALIFORNIA ELECTRICAL CODE (CEC), (2014 NATIONAL ELECTRICAL CODE)
 - 2016 CALIFORNIA MECHANICAL CODE (CMC), (2012 UNIFORM MECHANICAL CODE)
 - 2016 CALIFORNIA PLUMBING CODE (CPC), (2012 UNIFORM PLUMBING CODE)
 - 2016 CALIFORNIA FIRE CODE (FC), (2012 INTERNATIONAL FIRE CODE)
 - 2016 CALIFORNIA ENERGY CODE
 - 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
 - 2016 CALIFORNIA EXISTING BUILDING CODE (CEBC)

City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140

STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

- Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:
- Protective fencing shall be installed no closer to the trunk than the drip-line, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
 - The fence shall be a minimum of six feet in height and shall be set securely in place.
 - The fence shall be chain link without slats to allow visibility to the trunk for inspections and safety.
 - There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
 - The fence may be adjusted as necessary to accommodate work approved within the drip-line provided any excavation is done in accordance with instructions directed by a qualified arborist.
 - The existing grade level around a tree shall normally be maintained out to the drip-line of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
 - Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
 - Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
 - Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
 - Soil compaction of the area under the drip-line of the tree shall be avoided during all phases of site clearing and construction.
 - No soil treatments or wood killer that will inhibit or restrict the tree's growth may be applied in the root area.
 - No signs, wires or any other object shall be attached to the tree.
 - Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
 - The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.



SITE PLAN
SCALE: 1/8" = 1'-0"

SUNNYBROOK DR.

FRESH CONCRETE AND MORTAR APPLICATION		LANDSCAPING, GARDENING, AND POOL MAINTENANCE		LANDSCAPING GARDEN MAINTENANCE		HEAVY EQUIPMENT OPERATION		PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES	
BEST MANAGEMENT PRACTICES FOR:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:	
<ul style="list-style-type: none"> Masons and bricklayers Sidewalk construction crews Paio construction workers Construction inspectors General contractors Home builders Developers 	<ul style="list-style-type: none"> When cleaning up after driveway or sidewalk construction, wash trucks onto dirt areas, not down the driveway or into the street or storm drain. Place hay bales or other erosion control devices to capture runoff carrying mortar or cement before it reaches the storm drain. 	<ul style="list-style-type: none"> Landscapers Gardeners Swimming pool/spa service and repair workers General contractors Home builders Developers 	<ul style="list-style-type: none"> Never discharge pool or spa water to a street or storm drain. OR When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area. 	<ul style="list-style-type: none"> Use up pesticides, rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash. Dispose of unused pesticides as hazardous waste. Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost. In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that accepts yard waste. Do not place yard waste in gutters. Do not blow or rake leaves, etc. into the street. 	<ul style="list-style-type: none"> Never hose down dirty pavement or impermeable surfaces Site supervisors General contractors Home builders Developers 	<ul style="list-style-type: none"> Never hose down dirty pavement or impermeable surfaces Site supervisors General contractors Home builders Developers 	<ul style="list-style-type: none"> Primer Paperhangers Plumbers Graphic artists Dry wall crews Floor covering installers General contractors Home builders Developers 	<ul style="list-style-type: none"> Never clean brushes or rags; paint containers into a street, gutter, storm drain, or stream. 	
<ul style="list-style-type: none"> Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff. Wash out concrete mixers only in designated washout area in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams. 	<ul style="list-style-type: none"> When breaking up paving, be sure to pick up all the pieces and dispose properly. Recycle large chunks of broken concrete at a landfill. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash. Never bury waste material. 	<ul style="list-style-type: none"> Protect stoeps and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting. Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet. Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant. 	<ul style="list-style-type: none"> Remove the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction. In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that accepts yard waste. Do not place yard waste in gutters. Do not blow or rake leaves, etc. into the street. 	<ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or shop cloths to catch drips and spills. Collect all spent fluids, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clean up spills immediately when they happen. 	<ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or shop cloths to catch drips and spills. Collect all spent fluids, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clean up spills immediately when they happen. 	<ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or shop cloths to catch drips and spills. Collect all spent fluids, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clean up spills immediately when they happen. 	<ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or shop cloths to catch drips and spills. Collect all spent fluids, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clean up spills immediately when they happen. 	<ul style="list-style-type: none"> For water based paints, paint out brushes to the extent possible, flush out brushes with water, and solvents. Dispose of excess brushes and residue in hazardous waste. For oil based paints, paint out brushes to the extent possible. Flush out brushes with water, and solvents. Dispose of excess brushes and residue in hazardous waste. 	
<ul style="list-style-type: none"> Do not drink up any fresh concrete or cement than you will use in a day. Set up and operate small mixers on tarps or heavy plastic drop cloths. 	<p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.</p>	<p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Protect storm drains with hay bales or other erosion controls. Revegetation is an excellent form of erosion control for any site. 	<p>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p>	<p>STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE</p> <p>Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by installing equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.</p>	<p>PAINT REMOVAL</p> <ul style="list-style-type: none"> Chemical paint stripping residue is a hazardous waste. Chips and dust from mastic paints or paints containing lead or other toxic materials are hazardous waste. Dry sweep and dispose of appropriately. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash. When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and pads into soil. Or, check with the local wastewater treatment authority to find out if you can collect (trap or contain) building cleaning water and dispose of the sanitary sewer. 				
<p>STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES</p> <p>All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and bays. Toxic chemicals may come from liquid or solid products or from cleaning residue or rags. It is especially important not to use brushes in an area where paint residue can flow to a gutter, street, or storm drain.</p>									
<p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Recycle excess leftover paint, oil, or use up. Dispose of excess liquid, including sludges, as hazardous waste. Recycle reuse water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste. Rouse leftover raked paint. Dispose of excess liquid, including sludges, as hazardous waste. 									
<p>DATE: 07/27/03</p>									
<p>REVISION:</p>									
<p>BY:</p>									
<p>DATE:</p>									
<p>DESIGNED BY:</p>									

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

EARTH MOVING ACTIVITIES		ROADWORK AND PAVING		GENERAL CONSTRUCTION AND SITE SUPERVISION		BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION		ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL	
BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:	
<ul style="list-style-type: none"> Buildings, backhoe, and grading machine operators Dump truck drivers Site supervisors General contractors Home builders Developers 	<p>DETECTING CONTAMINATED SOIL OR GROUNDWATER</p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before paving. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p>	<ul style="list-style-type: none"> Road Crews Driveway/sidewalk parking lot construction crews Soil coat contractors Operators of grading equipment paving machines dump trucks concrete trucks Construction inspectors General contractors Developers 	<ul style="list-style-type: none"> Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area. Cover stoeps (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms. Catch drips from power with drip pans or absorbent material (cloth, rags, etc.) placed under machines when not in use. Clean all oil spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil. Collect and recycle or appropriately dispose of excess asphalt gravel or sand. Avoid over application by water trucks for dust control. 	<ul style="list-style-type: none"> Construction Industry 	<p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for soil parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize trash. Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Never hose down "dirty" pavement or curbsides where materials have spilled. Use dry cleaning methods whenever possible. If you must use water, use just enough to keep the dust down. Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site. Make sure portable toilets are in good working order. Check frequently for leaks. 	<ul style="list-style-type: none"> Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job. Use recyclable materials whenever possible. Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an approved landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed. 	<p>SPILL RESPONSE AGENCIES</p> <ul style="list-style-type: none"> 1. Dial 911 2. Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710. 3. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours). 	<p>Local Pollution Control Agencies</p> <ul style="list-style-type: none"> Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195 Santa Clara Valley Water District (408) 927-0710 San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300 Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga Sunnyvale Water Pollution Control Plant (408) 730-7270 Palo Alto Regional Water Quality Control Plant (415) 234-2399 Serving East Palo Alto, Los Altos, Los Altos Hills, Menlo Park, Palo Alto, and San Carlos 	<p>A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorney's fees, associated with the negotiation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorney's fees, associated with the negotiation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>
<ul style="list-style-type: none"> Remove existing vegetation only when absolutely necessary. Consider phasing temporary vegetation for erosion control on slopes where construction is not immediately planned. Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Cover stoeps and excavated soil with secured tarps or plastic sheeting. 	<p>WATCH FOR ANY OF THESE CONDITIONS:</p> <ul style="list-style-type: none"> Unusual soil conditions, discoloration, or odor Abandoned underground tanks Abandoned wells Buried barrels, debris, or trash 	<p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Develop and implement erosion/sediment control plans for embankments. Schedule excavation and grading work for dry weather. Check for and repair leaking equipment. Perform major equipment repairs in designated areas at your yard, away from the construction site. When refueling or vehicle equipment maintenance must be done on site, designate a location away from storm drains and creeks. Do not use diesel oil to lubricate equipment or parts. Recycle used oil, concrete, broken asphalt, etc. whenever possible. 	<p>ASPHALT CONCRETE REMOVAL</p> <ul style="list-style-type: none"> Avoid creating excess dust when breaking asphalt or concrete. After breaking old pavement, be sure to remove all chunks and pieces. Make sure site broken pavement does not come in contact with rainfall or runoff. Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary. Never hose down streets to clean up tracked dirt. 	<p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excess material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excess material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excess material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excess material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excess material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excess material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>

PLAN FOR THE IMPROVEMENT OF BLUEPRINT FOR A CLEAN BAY EROSION/CONTROL PERMIT NO.



SCALE: N.T.S.

SHEET: 1 OF X

**FIRE DEPARTMENT
SANTA CLARA COUNTY**

14700 Winchester Blvd., Los Gatos, CA 95022-1812
(408) 378-6111 • (408) 378-6182 (fax) • www.sccfd.org

DATE: 10/16/2019
TIME: 10:16 AM

DEVELOPMENTAL REVIEW COMMENTS

Plans and Scope of Review:

This project shall comply with the following:

The California Fire (CFC) & Building (CBC) Code, 2016 edition, as adopted by the City of Campbell Municipal Code (MC) and California Code of Regulations (CCR).

The scope of this project includes the following:

Proposed new 4608 SF two-story single-family residence with attached garage.

Plan Status:

Plans are APPROVED with the following conditions.

Plan Review Comments:

- Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
- Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-story addition to an existing building that does not total more than 1,800 square feet of building area. 2) in all new townhouses and in existing townhouses that are expanded by more than 50%. NOTE: The general occupant(s) and any contractor(s) responsible for complying with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (E-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fee to this department for review and approval prior to beginning their work. CFC Sec. 1313.2 as adopted and amended by CRRM.

DATE	BY	REVISION	DESCRIPTION
10/16/2019	1	1	Design Review

Submitted by: 505 Sunnybrook Drive, Campbell, CA 95008
Submitted to: 505 Sunnybrook Drive, Campbell, CA 95008
Submitted on: 10/16/2019 at 10:16 AM
Submitted by: [Signature]
Submitted to: [Signature]
Submitted on: 10/16/2019 at 10:16 AM
Submitted by: [Signature]
Submitted to: [Signature]
Submitted on: 10/16/2019 at 10:16 AM

**FIRE DEPARTMENT
SANTA CLARA COUNTY**

14700 Winchester Blvd., Los Gatos, CA 95022-1812
(408) 378-6111 • (408) 378-6182 (fax) • www.sccfd.org

DATE: 10/20/2019
TIME: 10:16 AM

DEVELOPMENTAL REVIEW COMMENTS

- Water Supply Requirements:** Potable water supplies shall be protected from exhaustion caused by fire protection water supplies. It is the responsibility of the applicant and any contractor and subcontractors to contact the water purveyor supplying the site of each project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and (a) fire suppression water supply systems of storage containers that may be physically attached in any manner to an appliance capable of raising, containing, or distributing the potable water supply or the purveyor of record. Final approval of the project(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
- Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification 33.7. Provide appropriate notification on subsequent plan submissions, as appropriate to the project. CFC Chap. 33
- Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.3 inch (7.6 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel provisions of the fire code in other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. (CFC, Ch.1, 103.3.4)

DATE	BY	REVISION	DESCRIPTION
10/20/2019	1	1	Design Review

Submitted by: 505 Sunnybrook Drive, Campbell, CA 95008
Submitted to: 505 Sunnybrook Drive, Campbell, CA 95008
Submitted on: 10/20/2019 at 10:16 AM
Submitted by: [Signature]
Submitted to: [Signature]
Submitted on: 10/20/2019 at 10:16 AM

MEMORANDUM **CITY OF CAMPBELL**

TO: Cindy McCormick, Senior Planner **DATE:** 8/28/2019

FROM: Roger Sters, Senior Civil Engineer *RJS*

SUBJECT: DRC APPLICATION

Site Address: 505 Sunnybrook Drive
For File No.: PLN2019-144

Project Description: New 2-story, 3,600 square foot single-family dwelling with attached garage.

Applicant: Yotam Schwartzbard

PUBLIC WORKS DEPARTMENT CONDITIONS OF APPROVAL

- The scope of this project triggers the requirement for Fringing Improvements as required by Campbell Municipal Code 11.24.040. However the existing fringing improvements (rolled curb and gutter) meet the requirements of the San Tomas Area Neighborhood Plan (STANP).
- Storm Drain Area Fee:** Prior to issuance of any grading or building permits for the site, the applicant shall pay the required Storm Drain Area fee, currently set at \$2,120.00 per net acre, which is \$39.00.
- Stormwater Pollution Prevention Measures:** Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay. Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003, *Short of the Source, A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Association (BASMAA), 1999, and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality, A Companion Document to Start at the Source* ("Using Site Design Techniques") by BASMAA, 2003.
- The following conditions only apply if the applicant has a need to install/upgrade utility services (water, sewer, gas, etc.) to the street:
 - Utility Encroachment Permit:** Separate permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
 - Utility Coordination Plan:** Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the

Page 1 of 2

505 Sunnybrook Drive (PLN2019-144)

City Engineer for initiation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines, indicate which utilities and services are to remain, which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.

- Permit Restoration:** The applicant shall restore the pavement in compliance with City standard requirements. As Sunnybrook Drive has been recently shure sealed, the project will be subject to the City's Street Curb Abatement. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Curb Abatement. The City's Pavement Maintenance Program website (<http://www.sccampbell.org/215>) has detailed information on the streets currently under restoration and the enhanced restoration requirements.
- Water Meter(s) and Sewer Cleanout(s):** Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line.
- Existing Public Improvements:** Should the existing rolled curb and gutter and/or pavement be damaged during construction, the applicant will be required to pull an encroachment permit and make the necessary repairs to the satisfaction of the City Engineer.

Page 2 of 2



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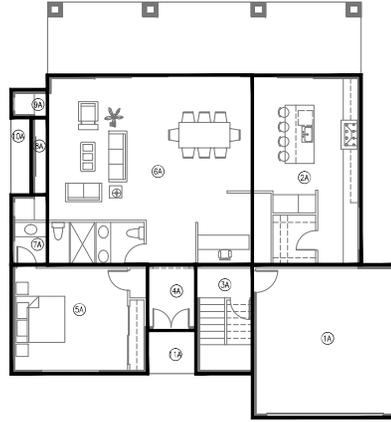
REVISIONS:
A PLANNING COMMENTS
OCT. 04, 2019

SHEET FIRE & PUBLIC WORKS CONDITIONS OF APPROVAL
SCALE
DATE 6.17.2019
PRJ.No. 2019-04

PREPARED BY: Juan D Moreno
JDM
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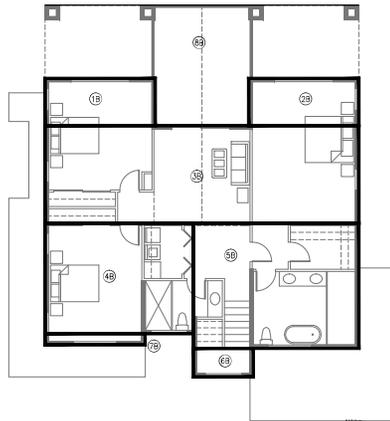
A-0.1

PLEASE DO NOT FORGE/ALTER/DELETE/REPLACE APPROVED AND STAMPED BY BUILDING DEPARTMENT



LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

LOWER LEVEL AREA CALCULATIONS		
TAG #	CALCULATION	AREA
GARAGE		
1A	19'-11" X 20'-11"	417 SQ. FT.
LOWER FLOOR PLAN		
2A	14'-11" X 26'-0"	387 SQ. FT.
3A	7'-0" X 14'-11"	116 SQ. FT.
4A	6'-3 1/2" X 9'-0"	60 SQ. FT.
5A	18'-8 1/2" X 14'-11"	279 SQ. FT.
6A	28'-1" X 26'-0"	730 SQ. FT.
7A	5'-0" X 9'-7"	48 SQ. FT.
8A	2'-5" X 10'-1"	24 SQ. FT.
9A	5'-0" X 3'-11"	20 SQ. FT.
TOTAL FIRST FLOOR AREA		1,664 SQ. FT.
COVERED PATIO / PORCH / AREAS		
10A	2'-9" X 10'-1"	29 SQ. FT.
11A	6'-7 1/2" X 5'-11"	39 SQ. FT.
TOTAL COVERED PATIO / PORCH / AREAS		488 SQ. FT.

UPPER LEVEL AREA CALCULATIONS		
TAG #	CALCULATION	AREA
UPPER FLOOR PLAN		
10	15'-1" X 6'-6"	98 SQ. FT.
2B	15'-1" X 6'-6"	98 SQ. FT.
3B	43'-0" X 13'-4 1/2"	575 SQ. FT.
4B	30'-4" X 15'-1 1/2"	307 SQ. FT.
5B	22'-8" X 17'-1 1/2"	388 SQ. FT.
6B	8'-2 1/2" X 3'-11"	32 SQ. FT.
7B	13'-8 1/2" X 1'-6"	21 SQ. FT.
TOTAL SECOND FLOOR AREA		1,519 SQ. FT.
COVERED DECK		
8B	13'-0" X 10'-0"	138 SQ. FT.
TOTAL SECOND FLOOR COVERED DECK		138 SQ. FT.

NEW FLOOR AREA AND FAR		
TAG #	CALCULATION	AREA
NEW GARAGE		
		417 SQ. FT.
NEW LOWER LEVEL		
		1,664 SQ. FT.
NEW UPPER LEVEL		
		1,519 SQ. FT.
TOTAL		3,600 SQ. FT.
NEW FAR		45%

PROPOSED LOT COVERAGE CALCS		
NEW LOWER LEVEL		
		1,664 SQ. FT.
GARAGE		
		417 SQ. FT.
TOTAL COVERED PATIO / PORCH / AREAS		
		488 SQ. FT.
TOTAL SECOND FLOOR COVERED DECK		430 SQ. FT.
		2,579 SQ. FT.
TOTAL EXISTING LOT COVERAGE		32%



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OCT. 04, 2019

SHEET AREA CALCS

SCALE 3/4" = 1'-0"

DATE 6.17.2019

PRJ.No. 2019-04

PREPARED BY:
Juan D Moreno

JDM

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A-1.0

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT



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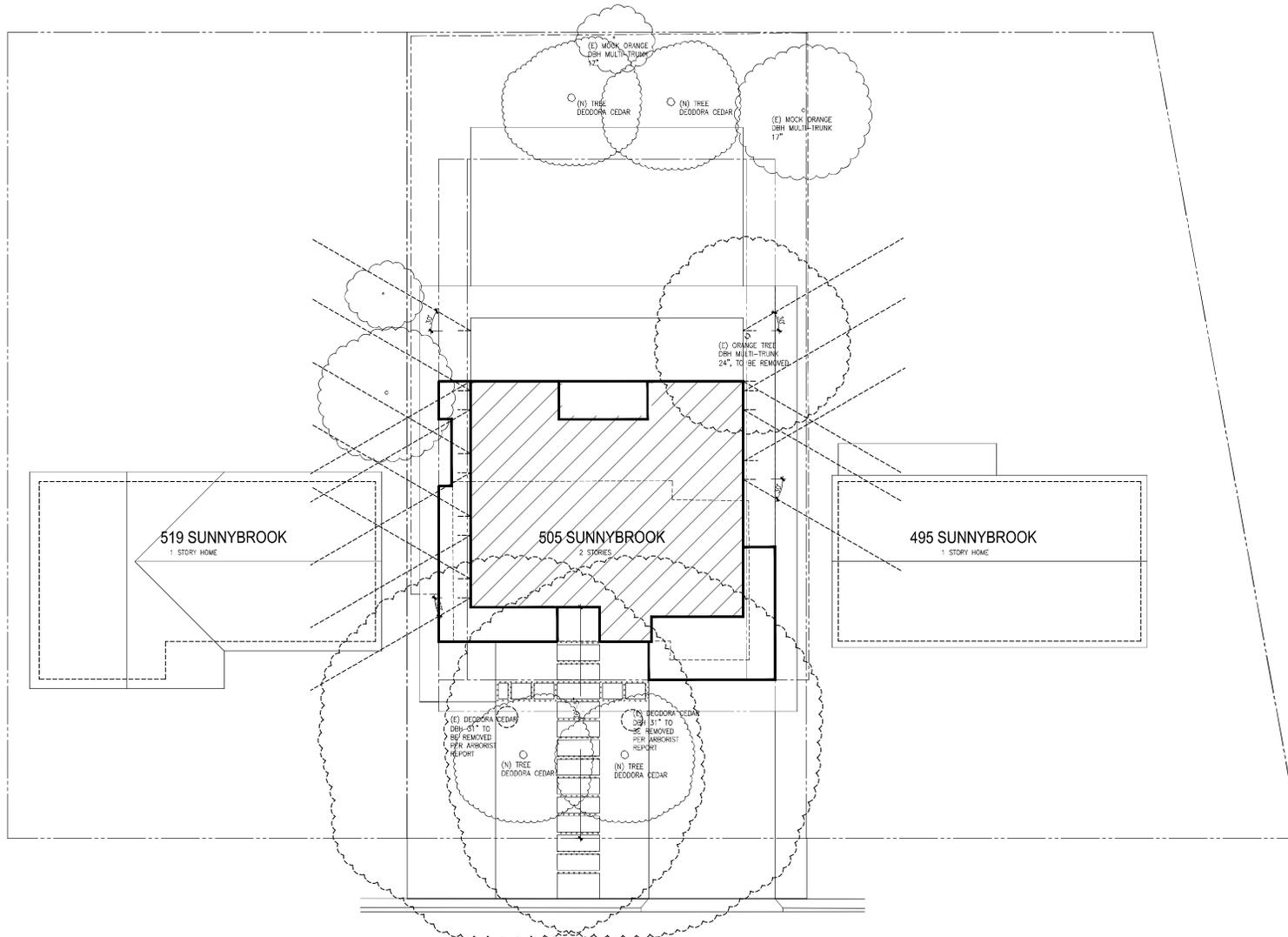
SHEET	PRIVACY PLAN
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

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A-1.1

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PRIVACY PLAN
 SCALE: 1/8" = 1'-0"





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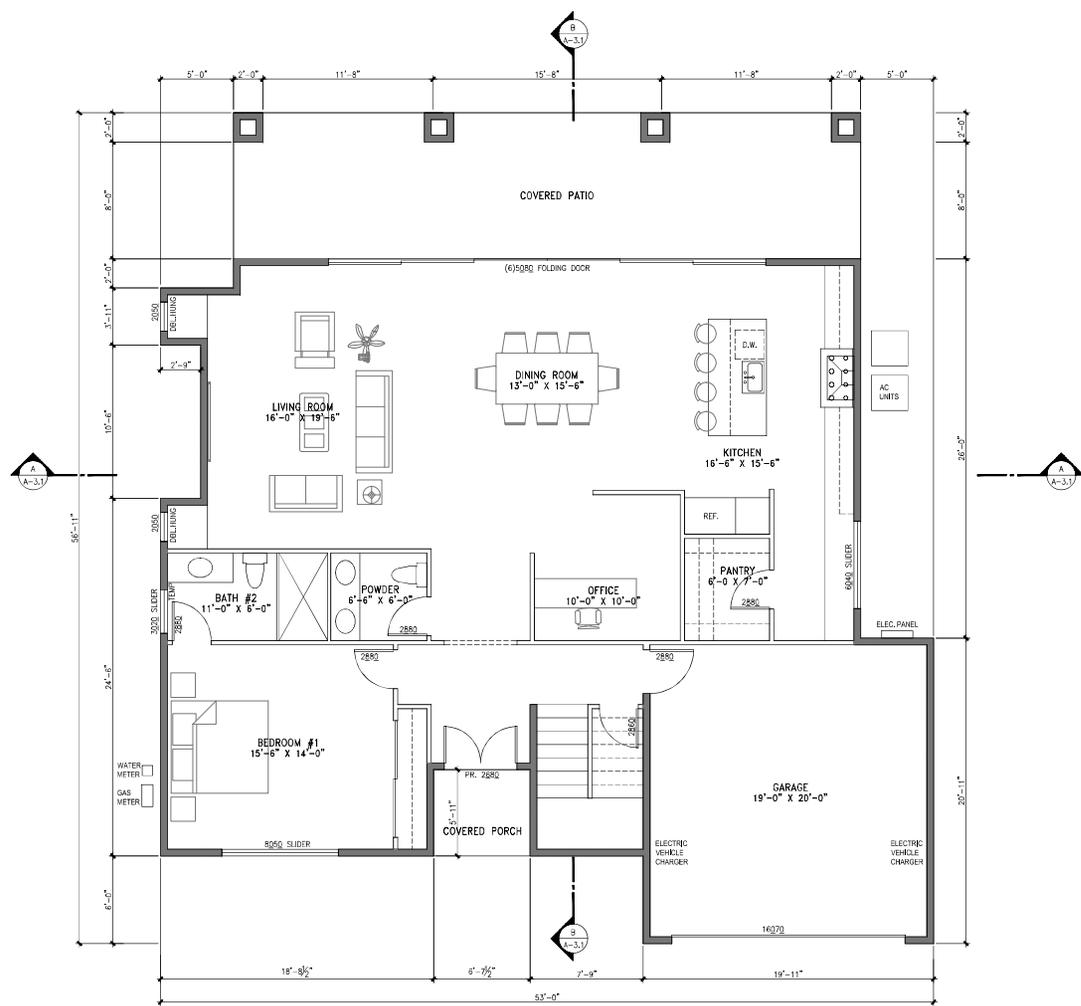
SHEET	LOWER LEVEL
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

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PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT



GENERAL NOTES

- A. LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 36" DEEP PER CBC 1008.4. THE LANDING SHALL NOT BE MORE THAN 7.37' BELOW THE TOP OF THE THRESHOLD PER CBC 1008.4.4. THRESHOLDS SHALL NOT EXCEED 2" MAX. DOWN FOR OUTWARD SWINGING DOORS, 7/8" FOR SLIDERS, AND 1/2" MAX. FOR INWARD SWINGING DOORS PER CBC R311.2
- B. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE RESCUE WINDOW. EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. CLR. HT. OF 20" AND A MIN. CLEAR WIDTH OF 20". BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR. PER CBC SECTION 1008.
- C. SEE CAL GRISE SHEET FOR WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)
- D. PROVIDE 30" (W) MIN & 24" IN FRONT MIN CLR FOR ALL TOILETS
- E. PROVIDE DOOR STOPS FOR ALL INTERIOR DOORS
- F. PROVIDE MOISTURE RESISTANT, GYP.B.O. & FIRE RATED IN ALL WET LOCATIONS
- G. WHERE DEMOLITION AND NEW WORKS OCCUR, PATCH AND REPAIR (E) FINISHES TO MATCH IN CONSTRUCTION.
- H. EXTEND DEMOLITIONS NOT LIMITED TO THE ITEMS NOTED. REMOVE ADDITIONAL ITEMS ADJACENT TO THE NEW CONSTRUCTION AS REQUIRED
- I. REMOVE FLOOR IN AREAS AFFECTED BY WALL DEMOLITION
- J. DRYER TO BE VENTED TO THE EXTERIOR WITH A BACKDRAFT DAMPER
- K. SAFETY GLAZING IN WALLS CONTAINING SHOWERS AND BATHUBS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
- L. SAFETY GLAZING AT HAZARDOUS LOCATIONS - SUCH AS IN DOORS AND WINDOWS: (1) ADJACENT TO AND WITHIN 24 INCHES OF EITHER EDGE OF DOOR; (2) WHERE TOP EDGE OF GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; (3) WINDOWS GREATER THAN 36" CLOSER THAN 18" TO THE FLOOR AND WALKING SURFACES WITHIN 36" HORIZONTAL OF THE WINDOW.

LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- NEW DOORS

LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"





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1	OCT. 04, 2019

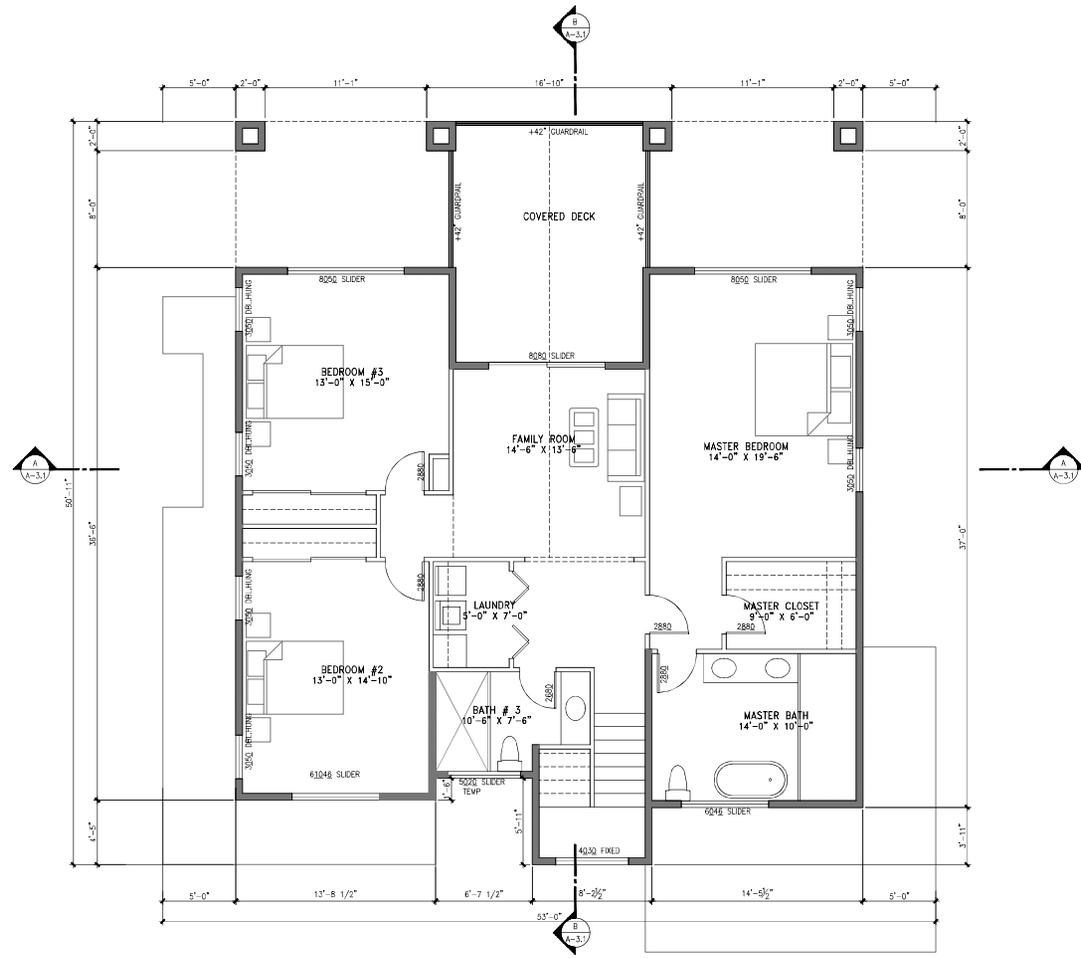
SHEET	UPPER LEVEL
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

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PLEASE SEE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT



UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0"

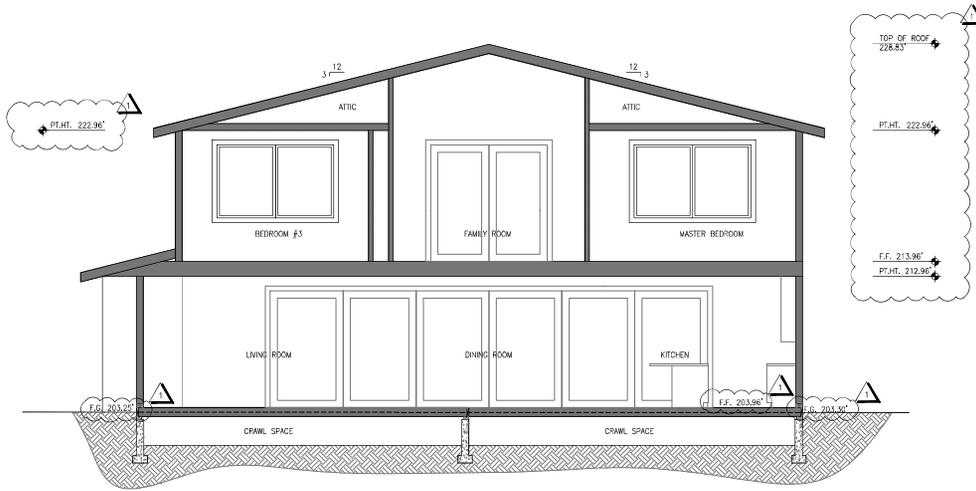


GENERAL NOTES

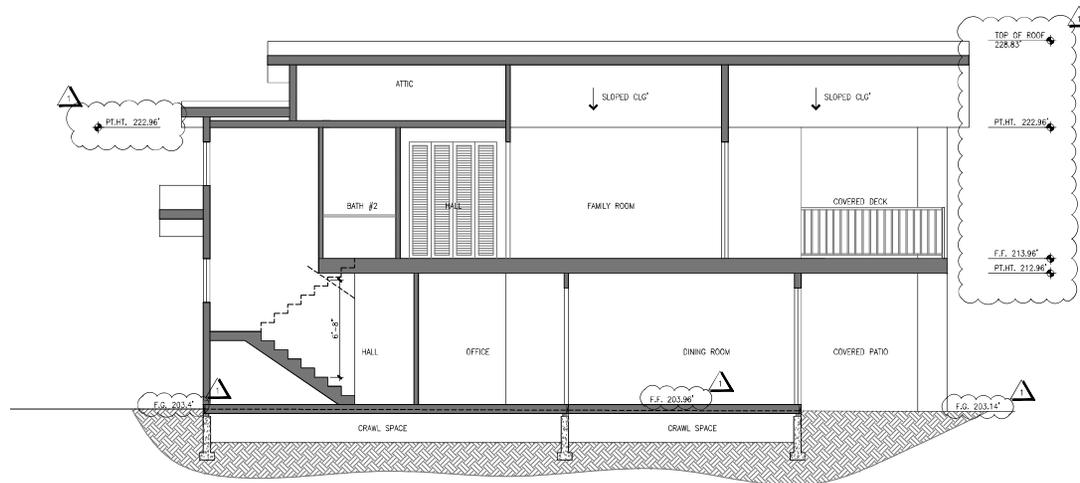
- LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 36" DEEP PER CBC 1001.2, THE LANDING SHALL NOT BE MORE THAN 7/8" BELOW THE TOP OF THE THRESHOLD PER CBC 1001.1.4. THRESHOLDS SHALL NOT EXCEED 2" MAX. DOWN FOR OUTWARD SWINGING DOORS, 25" FOR SLIDERS, AND 1/2" MAX. FOR INWARD SWING DOORS PER CBC R311.2.
- ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE/RESCUE WINDOW. EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. MIN. CLR. Ht. OF 2' AND A MIN. CLEAR WIDTH OF 20". 30% TQM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 4" ABOVE FINISHED FLOOR. PER CBC SECTION 1001.
- SEE CAL GREE SHEET FOR WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)
- PROVIDE 30" (W) MIN X 24" IN FRONT MIN CLR FOR ALL TOILETS
- PROVIDE DOOR STOPS FOR ALL INTERIOR DOORS
- PROVIDE MOISTURE RESISTANT, GYPBOL & FIRE RATED IN ALL WET LOCATIONS.
- WHERE DEMOLITION AND NEW WORKS OCCUR, PATCH AND REPAIR (E) FINISHES TO MATCH IN CONSTRUCTION.
- EXTEND DEMOLITION IS NOT LIMITED TO THE ITEMS NOTED. REMOVE ADDITIONAL ITEMS ADJACENT TO THE NEW CONSTRUCTION AS REQUIRED
- REMOVE FLOOR IN AREAS AFFECTED BY WALL DEMOLITION
- DRYER TO BE VENTED TO THE EXTERIOR WITH A BACKDRAFT DAMPER
- SAFETY GLAZING IN WALLS CONTAINING SHOWERS AND BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 6" INCHES ABOVE A STANDING SURFACE.
- SAFETY GLAZING AT HAZARDOUS LOCATIONS - SUCH AS IN DOORS AND WINDOWS: (1) ADJACENT TO AND WITHIN 24 INCHES OF THE EDGE OF DOORS; (2) WHERE TOP EDGE OF GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; (3) WINDOWS GREATER THAN 8 SF. CLOSER THAN 18" TO THE FLOOR AND WALKING SURFACES WITHIN 36" HORIZONTAL OF THE WINDOW.

LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- NEW DOORS



SECTION A
SCALE: 1/4" = 1'-0"



SECTION B
SCALE: 1/4" = 1'-0"



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REVISIONS:
▲ PLANNING COMMENTS OCT. 04, 2019

SHEET	SECTIONS
SCALE	3/8" = 1'-0"
DATE	6.17.2019
PRJ.No.	2019-04

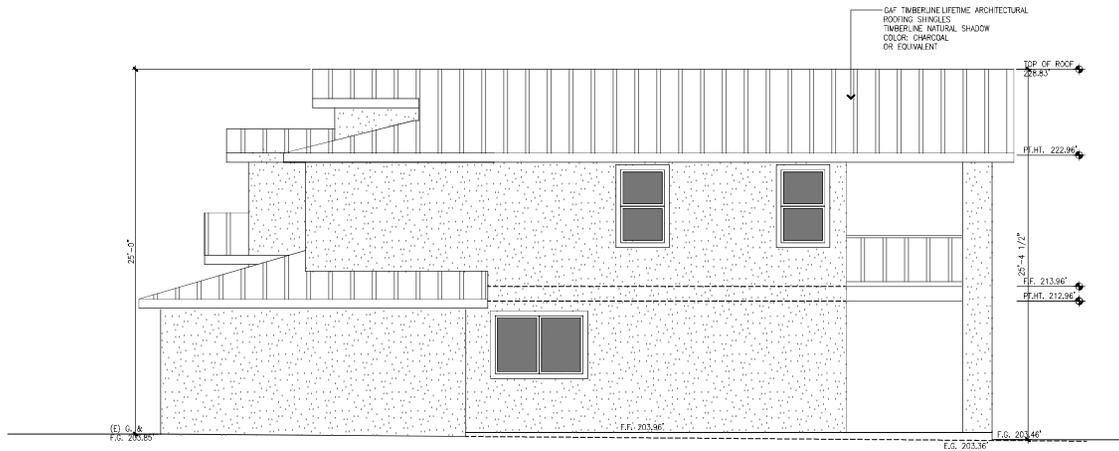
PREPARED BY:
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A - 3.1

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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



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REVISIONS:
▲ PLANNING COMMENTS
OCT. 04, 2019

SHEET	ELEVATIONS
SCALE	1/4" = 1'-0"
DATE	6.17.2019
PRJ.No.	2019-04

PREPARED BY:
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A - 4.1

SEAL AND SIGN FOR CONSTRUCTION PERMITS
APPROVED: [Signature] [Stamp]



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SUNNYBROOK RESIDENCE
 505 SUNNYBROOK DR CAMPBELL, CA 95008

REVISIONS:
 A PLANNING COMMENTS
 OCT, 04, 2019

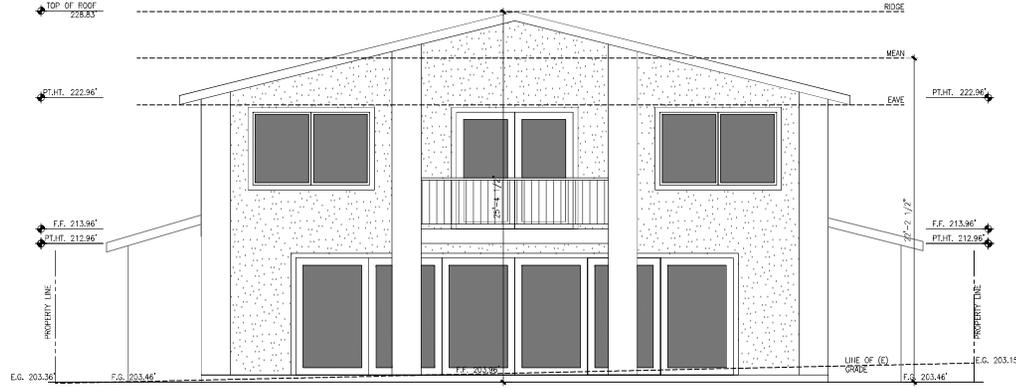
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PREPARED BY:
 Juan D Moreno

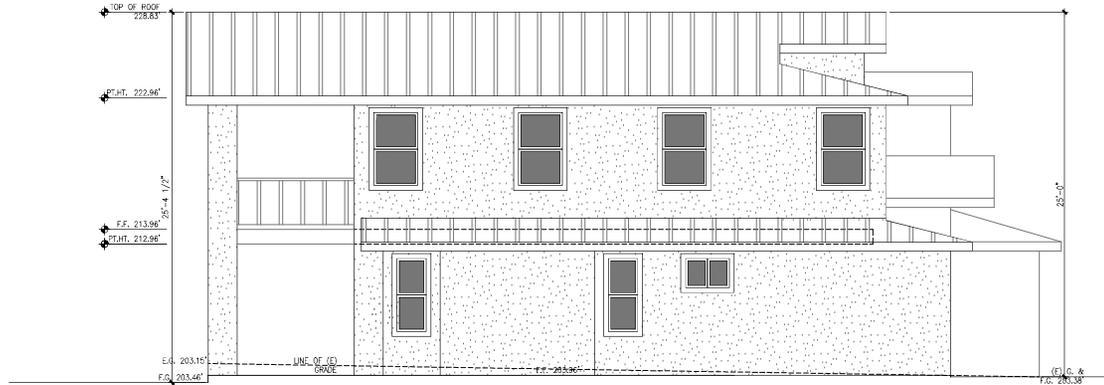
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A-4.2

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT

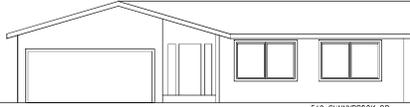


NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

PROPERTY LINE



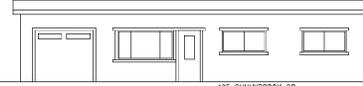
519 SUNNYBROOK DR

PROPERTY LINE



505 SUNNYBROOK DR

PROPERTY LINE



495 SUNNYBROOK DR

PROPERTY LINE

STREETSCAPE

SCALE: 1/8" = 1'-0"



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SUNNYBROOK RESIDENCE

505 SUNNYBROOK DR CAMPBELL, CA 95008

REVISIONS:	
1	PLANNING COMMENTS
	OCT. 04, 2019

SHEET	STREETSCAPE
SCALE	1/8" = 1'-0"
DATE	6.17.2019
PRJ.No.	2019-04

PREPARED BY:
Juan D Moreno



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A - 4.3

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND SEALED BY A REGISTERED ARCHITECT



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SUNNYBROOK RESIDENCE
 505 SUNNYBROOK DR CAMPBELL, CA 95008

REVISIONS:

▲	PLANNING COMMENTS
	OCT. 04, 2019

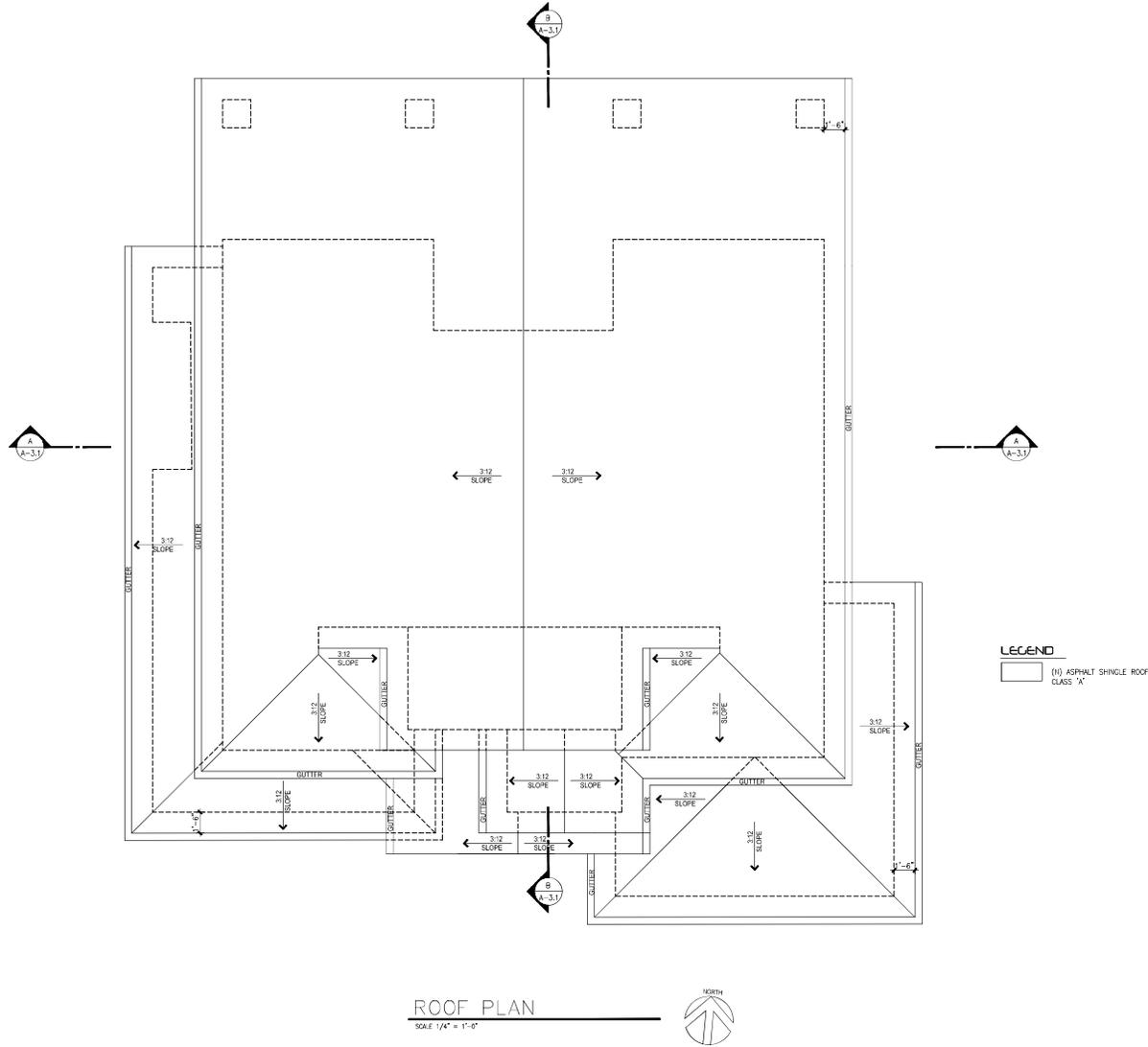
SHEET	ROOF PLAN
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

PREPARED BY:
 Juan D Moreno

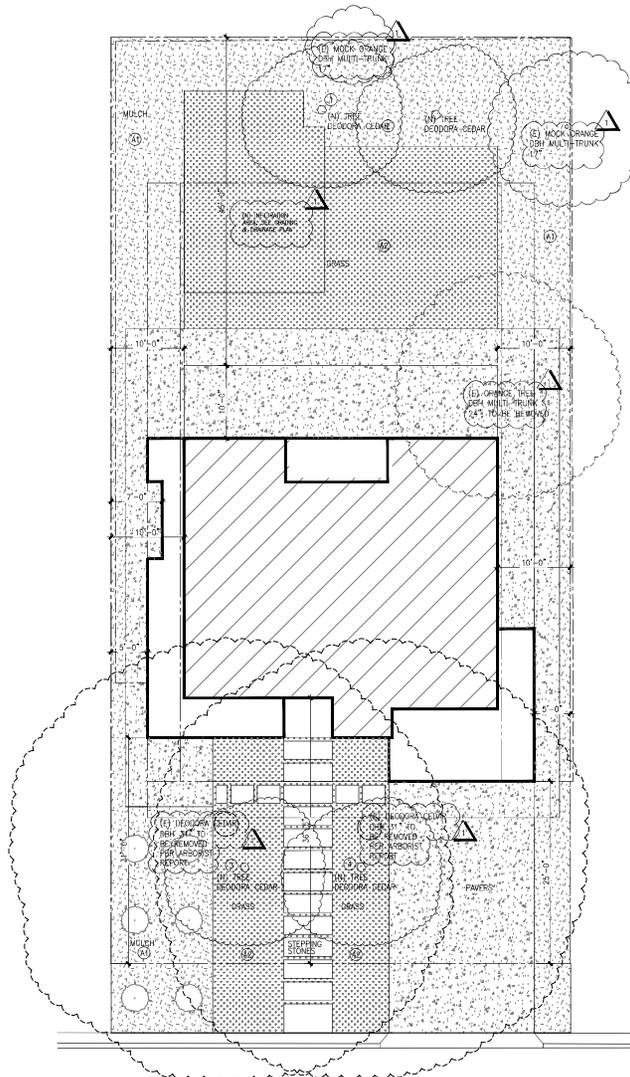
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A-5.1

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND SEALED BY A LICENSED ARCHITECT



ROOF PLAN
 SCALE 1/4" = 1'-0"

GENERAL NOTES

1. A MINIMUM VERTICAL CLEARANCE OF 13.5 FEET SHALL BE MAINTAINED OVER FIRE ACCESS ROADS AND DRIVEWAYS.
2. IN LANDSCAPED AREAS THE MAJORITY OF THE PLANTING SHALL BE NATIVE PLANT SPECIES INDIGENOUS TO THE IMMEDIATE AREA. LARGE AREAS OF FORMAL LANDSCAPING ARE PROHIBITED.
3. PLANT SPECIES LOCATED FURTHER THAN 30 FEET FROM THE PRIMARY RESIDENCE SHALL BE INDIGENOUS AND APPROPRIATE FOR THE IMMEDIATE NATURAL HABITAT.
4. THE FINAL LANDSCAPE & IRRIGATION PLAN SHALL BE SUBMITTED FOR REVIEW PRIOR TO BUILDING PERMIT ISSUE, AND MEET THE CITY OF CAMPBELL WATER CONSERVATION ORDINANCE OR THE STATE WATER EFFICIENT LANDSCAPE ORDINANCE, WHICHEVER IS MORE RESTRICTIVE.
5. LANDSCAPING PLAN IS COMPLIANT WITH THE STATE WATER EFFICIENT LANDSCAPE REQUIREMENTS (CALIFORNIA CODE OF REGULATIONS, TITLE 23, CH. 27, DIV. 2), ADOPTED AS THE CITY OF CAMPBELL WATER EFFICIENT LANDSCAPE GUIDELINES (CMC 21.26.030.F).

PLANTING NOTES

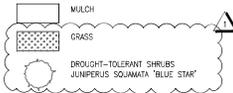
- A. ALL NEW PLANTING AREAS SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL.
- B. ALL PLANTING AREAS SHALL RECEIVE A 3" DEEP LAYER OF MULCH PER SPEC.
- C. ALL TURF AREAS SHALL BE UNDERLAIN WITH A CONTINUOUS LAYER OF GALVANIZED HARDWARE MESH AS A MEANS TO CONTROL SOIL COMPACTNESS. HARDWARE MESH SHALL BE LOCATED BETWEEN PREPARED SUBGRADE AND 300. STAKE AS REQUIRED TO INSURE FULL CONTACT OF 500 TO SOIL.
- D. FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION.
- E. ALL GROUND COVERS PLANTED FROM 1 GALLON CANS SHALL BE INSTALLED MIN 36" CLEAR FROM ADJACENT PAVING OR TURF AREAS

LANDSCAPE AREAS	
(A) MULCH	2255 SQ.FT.
(B) GRASS	1,721 SQ.FT.
TOTAL LANDSCAPED AREA	3,976 SQ.FT.

PLANTING NOTES

1. DEODORA CEDAR 15 GAL. NATIVE TO AREA
2. DEODORA CEDAR 15 GAL. NATIVE TO AREA
3. DEODORA CEDAR 15 GAL. NATIVE TO AREA
4. DEODORA CEDAR 15 GAL. NATIVE TO AREA

LEGEND



LANDSCAPING PLAN
SCALE: 1/8" = 1'-0"



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505 SUNNYBROOK DR. CAMPBELL, CA 95008

REVISIONS:
 PLANNING COMMENTS
 OCT. 04, 2019

SHEET	LANDSCAPE
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

PREPARED BY:
 Juan D Moreno

www.d-squarestudio.com
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L - 1

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND SEALED BY A REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT.

ROSE'S ENGINEERING
 1015 N. MARKET BLVD, STE 2B
 SACRAMENTO CA. 95834
 (916) 837-6058

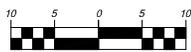
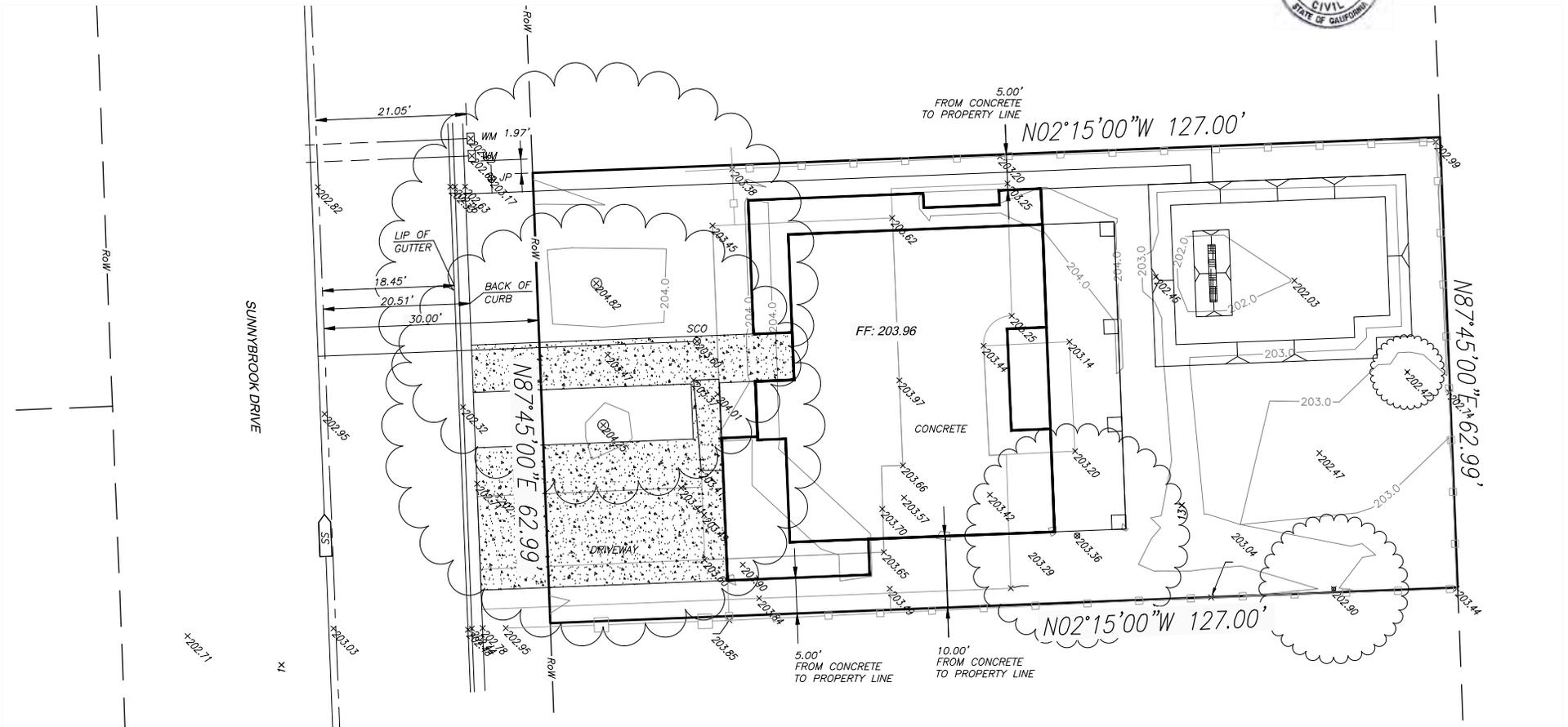
BOUNDARY AND TOPOGRAPHIC SURVEY

505 SUNNYBROOK DRIVE

APN#: 404 - 025 - 022



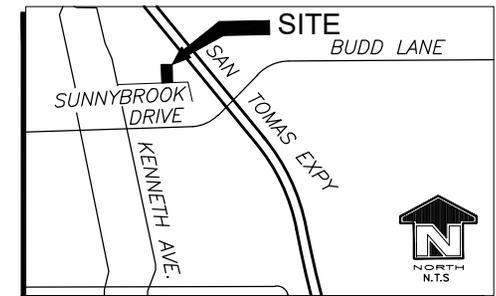
△ JULY 30TH 2019
 REVISED 10 / 04 / 2019



SCALE: 1" = 10'

BENCHMARK:

CITY OF CAMPBELL BENCHMARK NO. 82: A 2-1/4" BRASS DISK ON TOP OF CURB AT EAST END OF CURB RETURN, S.E. CORNER OF BUDD AVENUE & SAN TOMAS EXPRESSWAY. ELEVATION = 205.829 FEET



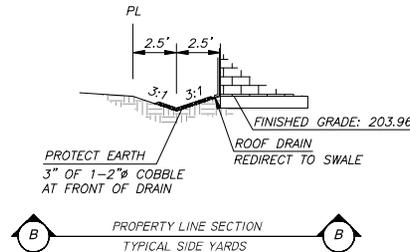
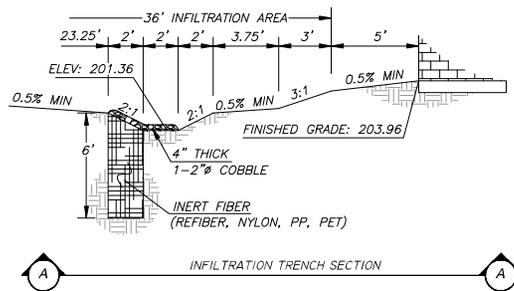
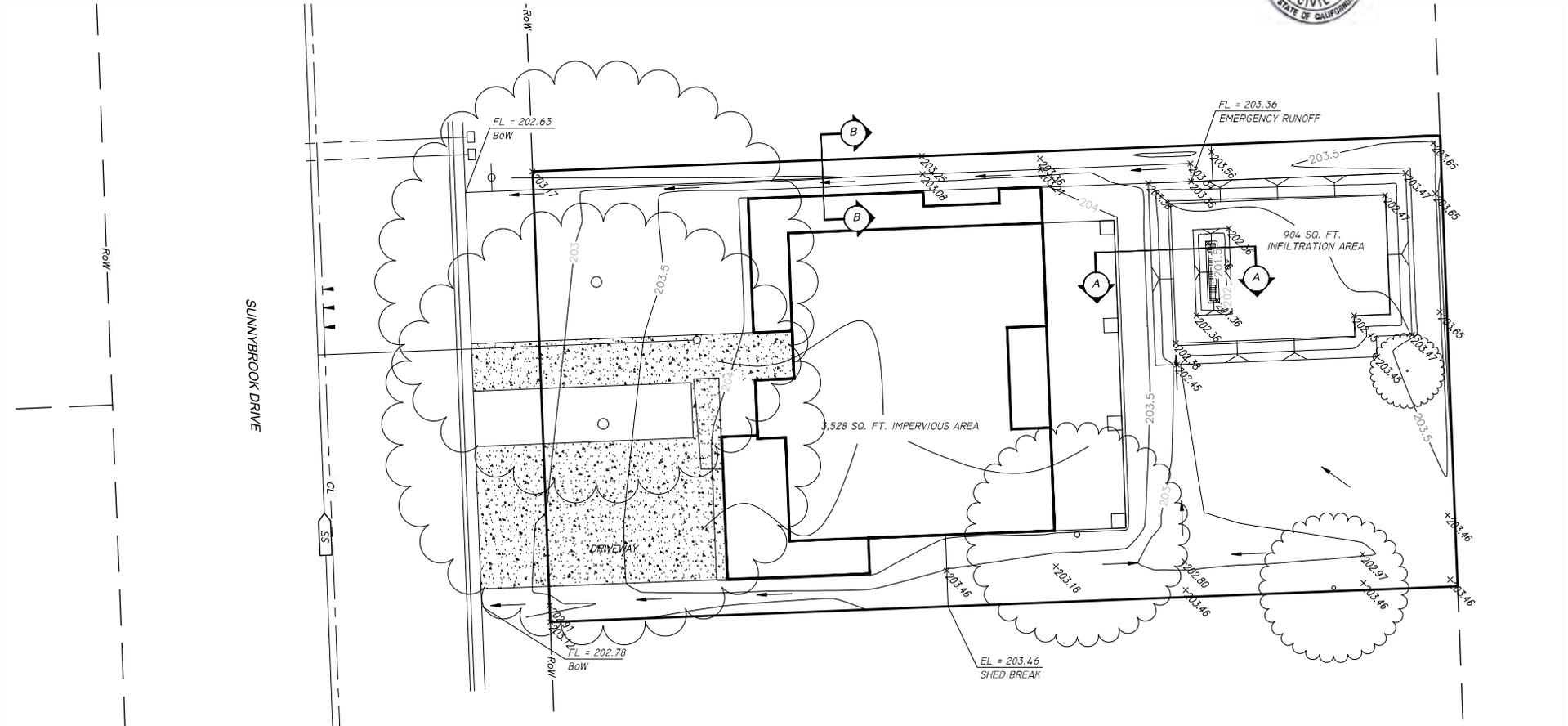
VICINITY MAP

SCALE: N.T.S.

GRADING PLAN

505 SUNNYBROOK DRIVE

APN#: 404 - 025 - 022



Sunnybrook Earthwork			
Area (sq. ft.)	Existing	Proposed	Net
Impervious	1,720.98	3,528.42	1,807.44
Volume (cu yd.)		Proposed	
Pavement		87.12	
Cut	23.15	+87.12	
Fill		116.95	
Net		6.68	cu yds. Fill