



CITY OF CAMPBELL
Community Development Department

November 15, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **November 26, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the appeal of LU Construction for consideration of an Administrative Site and Architectural Review Permit (PLN2019-144) and a Tree Removal Permit (PLN2019-196) to allow construction of a 2-story 3,600 square-foot single-family residence and removal of two (2) protected Deodar Cedar trees located in the front yard, on property located at **505 Sunnybrook Drive**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

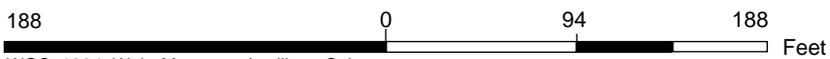
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **505 Sunnybrook Drive**



Location Map



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:1,128

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

SUNNYBROOK RESIDENCE

505 SUNNYBROOK DR CAMPBELL CA 95008



D-SQUARE STUDIO
www.d-squarestudio.com
408-625-9171

SUNNYBROOK RESIDENCE
505 SUNNYBROOK DR, CAMPBELL, CA 95008

REVISIONS:
1 PLANNING COMMENTS
OCT. 04, 2019

SHEET TITLE SHEET & SITE PLAN

SCALE AS SHOWN

DATE 6.17.2019

PRJ.No. 2019-04

PREPARED BY:
Juan D Moreno
JDM

www.d-squarestudio.com
408-625-9171

A-0.0

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (TITLE 24) AND ALL OTHER LOCAL CODES AND ORDINANCES OF THE GOVERNING AUTHORITY HAVING JURISDICTION AND AS REFERRED UNDER APPLICABLE CODES ON THIS SHEET. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY THERETO.
- ALL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EACH OTHER. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCY BETWEEN THE DOCUMENTS, HE SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION OF GOVERNING CRITERIA. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT FACEMENT, ORIENTATION AND COORDINATION OF WORK. INFORMATION SHOWN BY THE LARGEST GRAPHIC ARE REFERRED TO SUPPLEMENT INFORMATION OF SMALLER, PRECEDING REFERENCE DRAWINGS.
- NOTATIONS MARKED "TYPICAL" (TYP) SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOMENCLATURE, SYMBOLS AND DRAWING INDICATIONS OF LINE OR SIMILAR KIND.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONSTRUCTION CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING FABRICATING AND INSTALLATION OF ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION PRIOR TO COMMENCEMENT OF ASSOCIATED WORK.
- DIMENSIONS ARE RELATED SPECIFICALLY TO FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXTERIOR STUDS, CENTERLINE OF STRUCTURAL COLUMNS AND BEAMS, OR CENTERLINE OF INTERIOR STUDS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS ARE INDICATED FROM FINISHED SURFACES UNLESS OTHERWISE NOTED.
- BUILDING ELEVATION REFERENCES ARE FROM DIRECT APPLICATION OF FINISH FLOORING APPLIED TO THE STRUCTURAL FLOOR SUBSTRATE OF THE GROUND FLOOR DATUM (MAIN ENTRANCES). CONTRACTOR SHALL INCLUDE REQUIRED DEPRESSIONS AND/OR PROJECTIONS IN ACHIEVING REQUIRED ELEVATIONS. CEILING HEIGHTS ARE REFERENCED TO FINISHED SURFACES UNLESS OTHERWISE NOTED.
- KEYNOTES USED ON THE DRAWINGS ARE FOR ASSEMBLIES, MATERIAL REFERENCES AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE RESPECTIVE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE. NOT ALL KEYNOTES REFERENCED MAY BE APPLICABLE TO SIMILAR TYPE DRAWINGS.
- EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER AND CONTRACTOR DO NOT GUARANTEE EXISTING CONDITIONS INDICATED ON THESE DOCUMENTS.
- MATERIALS SUSPECTED OF CONTAINING ASBESTOS THAT ARE DISCOVERED DURING THE COURSE OF THE WORK SHALL BE REPORTED TO THE OWNER. WORK IN THAT PARTICULAR AREA SHALL BE SUSPENDED UNTIL THE OWNER TESTS THE SUSPECTED MATERIAL AND IT IS FOUND TO BE SAFE OR UNTIL THE SUSPECTED MATERIAL HAS BEEN PROPERLY ABATED.
- CONTRACTOR SHALL VERIFY AT SITE ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS. SITE VISITS DURING BIDDING SHALL BE COORDINATED WITH THE OWNER IN ACCORDANCE WITH PROVISIONS OF THE SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS AND TEXTURES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK PROGRESSES.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS, AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH LOCAL ORDINANCES.

PROJECT INFORMATION

SITE ADDRESS: 505 SUNNYBROOK DR, CAMPBELL, CA 95008
APN: 004-25-002
ZONING: R-4
SITE AREA: 8,091 SQ.FT.
GROSS LOT SIZE: 8,091 SQ.FT.
NET LOT SIZE: 1,777 SQ.FT.
EXISTING AREA: 1,777 SQ.FT.
EXISTING LOT COVERAGE: 0.22
HOUSE HEIGHT: 24'-1"
NEW HOUSE AREA:
 (N) FIRST FLOOR AREA 1,664 sq.ft.
 (N) SECOND FLOOR AREA 1,519 sq.ft.
 (N) GARAGE 417 sq.ft.
 TOTAL (N) FLOOR AREA 3,600 sq.ft.
 (N) FIRST FLOOR COVERED PORCH: 488 sq.ft.
 (N) SECOND FLOOR COVERED PORCH: 211 sq.ft.
TOTAL (N) LOT COVERAGE: 2,578 sq.ft. (32) + (MAX 3.00)
(E) LOT COVERAGE: 32%
(N) LOT COVERAGE: 32%
(E) FAR: 0.45
(N) FAR: 0.45
DEVELOPMENT DATA:
 BUILDING COVERAGE PROPOSED 2,567 SQ.FT. 32%
 LANDSCAPE COVERAGE PROPOSED 4,411 SQ.FT. 55%
 PAVING COVERAGE PROPOSED 967 SQ.FT. 13%
PERVIOUS AREA: 55%
IMPERVIOUS AREA: 44%
 ALL ADJACENT LAND USES ARE RESIDENTIAL
 2 STANDARD PARKING COVERED SPACES
 4 BERICOMAS

PROJECT DESCRIPTION

DEMO EXISTING RESIDENCE 177 SQ.FT.
 NEW 2 STORY HOME 3600 SQ.FT.

VICINITY MAP



SHEET INDEX

- ARCHITECTURAL**
- A00 TITLE SHEET - SITE PLAN
 - A01 PLANNING COMMENTS
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- LANDSCAPE**
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- 1 BOUNDARY AND TOPO SURVEY
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 - 1 GRADING PLAN
- DEFERRED APPROVAL**
- FIRE SPRINKLER SYSTEM
 - SUBCONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE PROJECT DESIGNER AND/OR ENGINEER FOR REVIEW AND COORDINATION, FOLLOWING THE COMPLETION OF PROJECT DESIGNER ENGINEER REVIEW & COORDINATION. A SUBMITTAL SHALL BE MADE TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL IN ORDER TO OBTAIN AN "AUTOMATIC SPRINKLER PERMIT"

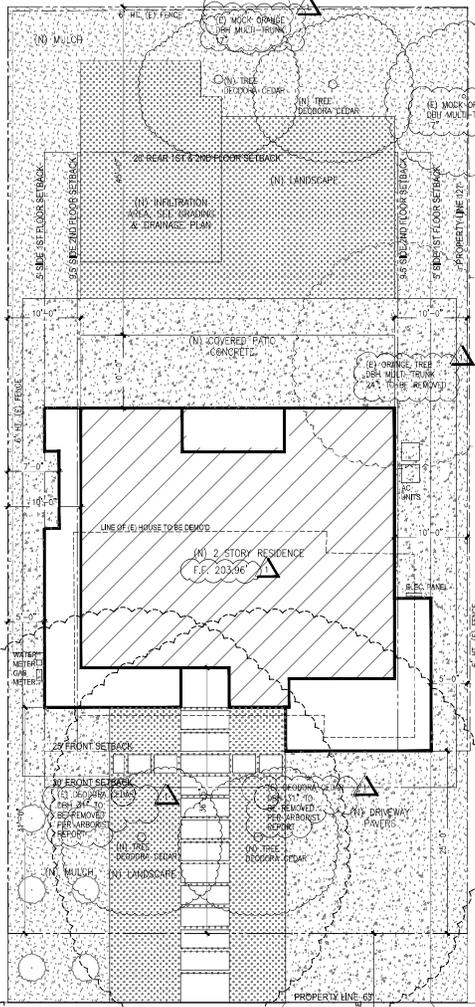
CODES

- APPLICABLE CODES:**
- 2016 CALIFORNIA BUILDING CODE (CBC), (2012 INTERNATIONAL BUILDING CODE)
 - 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2016 CALIFORNIA REFERENCE STANDARDS CODE (CRS)
 - 2016 CALIFORNIA ELECTRICAL CODE (CEC), (2014 NATIONAL ELECTRICAL CODE)
 - 2016 CALIFORNIA MECHANICAL CODE (CMC), (2012 UNIFORM MECHANICAL CODE)
 - 2016 CALIFORNIA PLUMBING CODE (CPC), (2012 UNIFORM PLUMBING CODE)
 - 2016 CALIFORNIA FIRE CODE (FC), (2012 INTERNATIONAL FIRE CODE)
 - 2016 CALIFORNIA ENERGY CODE
 - 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
 - 2016 CALIFORNIA EXISTING BUILDING CODE (CEBC)

City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140

STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

- Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:
- Protective fencing shall be installed no closer to the trunk than the drip-line, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
 - The fence shall be a minimum of six feet in height and shall be set securely in place.
 - The fence shall be chain link without slats to allow visibility to the trunk for inspections and safety.
 - There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
 - The fence may be adjusted as necessary to accommodate work approved within the drip-line provided any excavation is done in accordance with instructions directed by a qualified arborist.
 - The existing grade level around a tree shall normally be maintained out to the drip-line of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
 - Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
 - Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
 - Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
 - Soil compaction of the area under the drip-line of the tree shall be avoided during all phases of site clearing and construction.
 - No soil shovels or wood killers that will inhibit or restrict the tree's growth may be applied in the root area.
 - No signs, wires or any other object shall be attached to the tree.
 - Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
 - The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.



SITE PLAN
SCALE: 1/8" = 1'-0"

SUNNYBROOK DR.

BEST MANAGEMENT PRACTICES FOR THE:		LANDSCAPING, GARDENING, AND POOL MAINTENANCE		LANDSCAPING GARDEN MAINTENANCE		HEAVY EQUIPMENT OPERATION		PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES	
<p>FRESH CONCRETE AND MORTAR APPLICATION</p> <p>BEST MANAGEMENT PRACTICES FOR:</p> <ul style="list-style-type: none"> Masons and bricklayers Sidewalk construction crews Paio construction workers Construction inspectors General contractors Home builders Developers <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind. Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff. Wash out concrete mixers only in designated washout area in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams. <p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Do not trim up any fresh concrete or cement than you will use in a day. Set up and operate small mixers on tarps or heavy plastic drop cloths. 	<p>LANDSCAPING, GARDENING, AND POOL MAINTENANCE</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Landscapers Gardeners Swimming pool/spa service and repair workers General contractors Home builders Developers <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting. Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet. Schedule grading and excavation projects for dry weather. Use temporary check dams or ditches to divert runoff away from storm drains. Protect storm drains with hay bales or other erosion controls. Revegetation is an excellent form of erosion control for any site. <p>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or creeks are toxic to fish and the aquatic environment. Disposing of these materials in the storm drains or creeks causes serious problems and is prohibited by law.</p>	<p>LANDSCAPING GARDEN MAINTENANCE</p> <ul style="list-style-type: none"> Never discharge pool or spa water to a street or storm drain. OR When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area. Trim the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction. Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant. <p>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life. </p>	<p>HEAVY EQUIPMENT OPERATION</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Vehicle and equipment operators Site supervisors General contractors Home builders Developers <p>SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE</p> <ul style="list-style-type: none"> Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Perform major maintenance, repair jobs, vehicle and equipment washing off site. If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, and recycle whenever possible. Do not use diesel oil to lubricate equipment or parts. Clean up spills immediately when they happen. 	<p>PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES</p> <p>BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP</p> <ul style="list-style-type: none"> Primers Paperhangers Plasterers Graphic artists Dry wall crews Floor covering installers General contractors Home builders Developers <p>Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.</p> <p>PAINT REMOVAL</p> <ul style="list-style-type: none"> Chemical paint stripping residue is a hazardous waste. Chips and dust from mastic, putty or paints containing lead or other toxic materials are hazardous wastes. Dry sweep and dispose of appropriately. Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed of as trash. When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and pads into soil. Or, check with the local wastewater treatment authority to find out if you can collect (trap or contain) building cleaning water and dispose of the sanitary sewer. <p>Never clean brushes or rags; paint containers into a street, gutter, storm drain, or stream.</p> <p>For water based paints, paint out brushes to the extent possible, and reuse to the sanitary sewer.</p> <p>For oil based paints, paint out brushes to the extent possible. Flush out brushes with water and solvents. Dispose of excess brushes and residue in hazardous waste.</p> <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Recycle reuse leftover paint whenever possible. Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste. Rouse leftover raked paint. Dispose of excess liquid, including sludges, as hazardous waste. <p>STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES</p> <p>All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and bays. Toxic chemicals may come from liquid or solid products or from cleaning residue or rags. It is especially important not to use brushes in an area where paint residue can flow to a gutter, street, or storm drain.</p>					
<p>EARTH MOVING ACTIVITIES</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Bulldozers, backhoe, and grading machine operators Dump truck drivers Site supervisors General contractors Home builders Developers <p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Remove existing vegetation only when absolutely necessary. Consider phasing temporary vegetation for erosion control on slopes where construction is not immediately planned. Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Cover stockpiles and excavated soil with secured tarps or plastic sheeting. <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Schedule excavation and grading work for dry weather. Perform major equipment repairs away from the job site. When refueling or vehicle equipment maintenance must be done on site, designate a location away from storm drains. Do not use diesel oil to lubricate equipment or parts. 	<p>DETECTING CONTAMINATED SOIL OR GROUNDWATER</p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pouring. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p> <p>WATCH FOR ANY OF THESE CONDITIONS:</p> <ul style="list-style-type: none"> Unusual soil conditions, discoloration, or odor Abandoned underground tanks or abandoned wells Buried barrels, debris, or trash <p>STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES</p> <p>Soil excavation and grading operations expose large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of increased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff eroding a site and slow the flow with check dams or roughened ground surfaces.</p> <p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. Cover and seal each basin and washbasin when applying soil, slurry seal, fog seal, etc. Use check dams, ditches, or berms to divert runoff around excavations. 	<p>ROADWORK AND PAVING</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Road Crews Driveway/sidewalk parking lot construction crews Seal coat contractors Operators of grading equipment paving machines dump trucks concrete trucks Construction inspectors General contractors Developers <p>WHAT CAN YOU DO?</p> <p>GENERAL BUSINESS PRACTICES</p> <ul style="list-style-type: none"> Develop and implement erosion/sediment control plans for embankments. Schedule excavation and grading work for dry weather. Check for and repair leaking equipment. Perform major equipment repairs in designated areas at your yard, away from the construction site. When refueling or vehicle equipment maintenance must be done on site, designate a location away from storm drains and creeks. Do not use diesel oil to lubricate equipment or parts. Recycle used oil, concrete, broken asphalt, etc. whenever possible. <p>DURING CONSTRUCTION</p> <ul style="list-style-type: none"> Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. Cover and seal each basin and washbasin when applying soil, slurry seal, fog seal, etc. Use check dams, ditches, or berms to divert runoff around excavations. 	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION</p> <p>BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> Construction Industry <p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> Designate one area of the site for use parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms. Catch drips from power with drip pans or absorbent material (cloth, rags, etc.) placed under machines when not in use. Clean all oil spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil. Collect and recycle or appropriately dispose of excess asphalt gravel or sand. Avoid over application by water trucks for dust control. <p>ASPHALT/CONCRETE REMOVAL</p> <ul style="list-style-type: none"> Avoid creating excess dust when breaking asphalt or concrete. After breaking old pavement, be sure to remove all chunks and pieces. Make sure site broken pavement does not come in contact with rainfall or runoff. Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary. Never hose down streets to clean up tracked dirt. <p>STORM DRAIN POLLUTION FROM ROADWORK</p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excess materials. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks. </p>	<p>GENERAL CONSTRUCTION AND SITE SUPERVISION</p> <p>MATERIALS/WASTE HANDLING</p> <ul style="list-style-type: none"> Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job. Use recyclable materials whenever possible. Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list for recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an approved landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed. <p>STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES</p> <p>Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street include a driver's runoff from local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees. </p>	<p>BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION</p> <p>Spill Response Agencies</p> <ul style="list-style-type: none"> 1. Dial 911 2. Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710. 3. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours). <p>Local Pollution Control Agencies</p> <ul style="list-style-type: none"> Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195 Santa Clara Valley Water District (408) 927-0710 San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300 Serrano Campbell, Cupertino, Los Gatos, Milpitas, Menlo Park, San Jose, Santa Clara and Saratoga Sanyvale Water Pollution Control Plant (408) 730-7270 Palo Alto Regional Water Quality Control Plant (415) 234-2399 Serrano East Palo Alto, Los Altos, Los Altos Hills, Menlo Park, Palo Alto, and San Carlos <p>Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.</p>	<p>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</p> <p>A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p>B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorney's fees, associated with the negotiation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorney's fees, associated with the negotiation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p>D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>			
<p align="center">PLAN FOR THE IMPROVEMENT OF BLUEPRINT FOR A CLEAN BAY EROSION-CONTROL PERMIT (R.C.)</p>									
<p align="center">SCALE: N.T.S.</p>									
<p align="center">SHEET: X OF X</p>									

**FIRE DEPARTMENT
SANTA CLARA COUNTY**

14700 Winchester Blvd., Los Gatos, CA 95022-1812
(408) 378-6111 • (408) 378-6182 (fax) • www.sccfd.org

DATE: 10/16/2019
TIME: 10:28 AM

DEVELOPMENTAL REVIEW COMMENTS

Plans and Scope of Review:

This project shall comply with the following:

The California Fire (CFC) & Building (CBC) Code, 2016 edition, as adopted by the City of Campbell Municipal Code (MC) and California Code of Regulations (CCR).

The scope of this project includes the following:

Proposed new 4608 SF two-story single-family residence with attached garage.

Plan Status:

Plans are APPROVED with the following conditions.

Plan Review Comments:

- Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
- Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A new addition to an existing building that does not total more than 1,800 square feet of building area. 2) in all new townhomes and in existing townhomes that are expanded by more than 50%. NOTE: The general occupant(s) and any contractor(s) responsible for consulting with the water purveyor of record in order to determine if any modifications or upgrades of the existing water service is required. A State of California licensed (E-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fee to this department for review and approval prior to beginning their work. CFC Sec. 1313.2 as adopted and amended by CRRM.

DATE	BY	REVISION	DESCRIPTION
10/16/2019	1	1	Design Review

Submitted by: **505 Sunnybrook Drive, Campbell, CA 95008**
Submitted to: **City of Campbell, Planning Department**
Submitted on: **10/16/2019**
Submitted by: **Robert, Kathy**

Approved by: **City of Campbell, Planning Department**
Approved on: **10/16/2019**
Approved by: **Robert, Kathy**

**FIRE DEPARTMENT
SANTA CLARA COUNTY**

14700 Winchester Blvd., Los Gatos, CA 95022-1812
(408) 378-6111 • (408) 378-6182 (fax) • www.sccfd.org

DATE: 10/20/2019
TIME: 10:28 AM

DEVELOPMENTAL REVIEW COMMENTS

- Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractor and subcontractors to contact the water purveyor supplying the site of each project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and (a) fire suppression water supply systems of storage containers that may be physically attached in any manner to an appliance capable of raising, containing or the potable water supply or the purveyor of record. Final approval of the proposal(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
- Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification 33.7. Provide appropriate notification on subsequent plan submissions, as appropriate to the project. CFC Chap. 33
- Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.3 inch (7.6 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. (CFC, Ch.1, 103.3.4)

DATE	BY	REVISION	DESCRIPTION
10/20/2019	2	1	Design Review

Submitted by: **505 Sunnybrook Drive, Campbell, CA 95008**
Submitted to: **City of Campbell, Planning Department**
Submitted on: **10/20/2019**
Submitted by: **Robert, Kathy**

Approved by: **City of Campbell, Planning Department**
Approved on: **10/20/2019**
Approved by: **Robert, Kathy**

CITY OF CAMPBELL

MEMORANDUM

TO: Cindy McCormick, Senior Planner

FROM: Roger Sters, Senior Civil Engineer

SUBJECT: DRC APPLICATION

Site Address: 505 Sunnybrook Drive
For File No(s): PLN2019-144
Project Description: New 2-story, 3,600 square foot single-family dwelling with attached garage.
Applicant: Yotam Schwartzbard

PUBLIC WORKS DEPARTMENT CONDITIONS OF APPROVAL

- The scope of this project triggers the requirement for Fringing Improvements as required by Campbell Municipal Code 11.24.040. However the existing fringing improvements (rolled curb and gutter) meet the requirements of the San Tomas Area Neighborhood Plan (STANP).
- Storm Drain Area Fee:** Prior to issuance of any grading or building permits for the site, the applicant shall pay the required Storm Drain Area fee, currently set at \$2,120.00 per net acre, which is \$39.00.
- Stormwater Pollution Prevention Measures:** Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay. Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003, *Short of the Source, A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Association (BASMAA), 1999, and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality, A Companion Document to Start at the Source* ("Using Site Design Techniques") by BASMAA, 2003.
- The following conditions only apply if the applicant has a need to install/upgrade utility services (water, sewer, gas, etc.) to the street:
 - Utility Encroachment Permit:** Separate permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
 - Utility Coordination Plan:** Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the

Page 1 of 2

505 Sunnybrook Drive (PLN2019-144)

City Engineer for initiation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated man holes, indicate which utilities and services are to remain, which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.

- Permit Restoration:** The applicant shall restore the pavement in compliance with City standard requirements. As Sunnybrook Drive has been recently shure sealed, the project will be subject to the City's Street Curb Abandonment. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Curb Abandonment. The City's Pavement Maintenance Program website (<http://www.sccampbell.org/211>) has detailed information on the streets currently under restoration and the enhanced restoration requirements.
- Water Meter(s) and Sewer Cleanout(s):** Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line.
- Existing Public Improvements:** Should the existing rolled curb and gutter and/or pavement be damaged during construction, the applicant will be required to pull an encroachment permit and make the necessary repairs to the satisfaction of the City Engineer.

Page 2 of 2



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SUNNYBROOK RESIDENCE
505 SUNNYBROOK DR, CAMPBELL, CA 95008

REVISIONS:
A PLANNING COMMENTS
OCT. 04, 2019

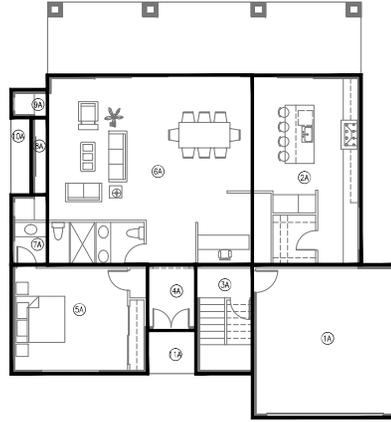
SHEET FIRE & PUBLIC WORKS CONDITIONS OF APPROVAL
SCALE

DATE 6.17.2019
PRJ.No. 2019-04

PREPARED BY: Juan D Moreno
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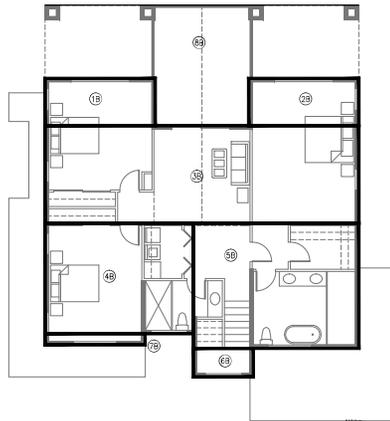
A-0.1

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APPROVED AND STAMPED BY BUILDING DEPARTMENT



LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

LOWER LEVEL AREA CALCULATIONS		
TAG #	CALCULATION	AREA
GARAGE		
1A	19'-11" X 20'-11"	417 SQ. FT.
LOWER FLOOR PLAN		
2A	14'-11" X 26'-0"	387 SQ. FT.
3A	7'-0" X 14'-11"	116 SQ. FT.
4A	6'-7 1/2" X 9'-0"	60 SQ. FT.
5A	18'-8 1/2" X 14'-11"	279 SQ. FT.
6A	28'-1" X 26'-0"	730 SQ. FT.
7A	5'-0" X 9'-7"	48 SQ. FT.
8A	2'-5" X 10'-1"	24 SQ. FT.
9A	5'-0" X 3'-11"	20 SQ. FT.
TOTAL FIRST FLOOR AREA		1,664 SQ. FT.
COVERED PATIO / PORCH / AREAS		
10A	2'-9" X 10'-1"	29 SQ. FT.
11A	6'-7 1/2" X 5'-11"	39 SQ. FT.
TOTAL COVERED PATIO / PORCH / AREAS		488 SQ. FT.

UPPER LEVEL AREA CALCULATIONS		
TAG #	CALCULATION	AREA
UPPER FLOOR PLAN		
10	15'-1" X 6'-6"	98 SQ. FT.
2B	15'-1" X 6'-6"	98 SQ. FT.
3B	43'-0" X 13'-4 1/2"	575 SQ. FT.
4B	30'-4" X 15'-1 1/2"	307 SQ. FT.
5B	22'-8" X 17'-1 1/2"	388 SQ. FT.
6B	8'-2 1/2" X 3'-11"	32 SQ. FT.
7B	13'-8 1/2" X 1'-6"	21 SQ. FT.
TOTAL SECOND FLOOR AREA		1,519 SQ. FT.
COVERED DECK		
8B	13'-0" X 10'-0"	138 SQ. FT.
TOTAL SECOND FLOOR COVERED DECK		138 SQ. FT.

NEW FLOOR AREA AND FAR		
TAG #	CALCULATION	AREA
NEW GARAGE		
		417 SQ. FT.
NEW LOWER LEVEL		
		1,664 SQ. FT.
NEW UPPER LEVEL		
		1,519 SQ. FT.
TOTAL		3,600 SQ. FT.
NEW FAR		45%

PROPOSED LOT COVERAGE CALCS		
NEW LOWER LEVEL		
		1,664 SQ. FT.
GARAGE		
		417 SQ. FT.
TOTAL COVERED PATIO / PORCH / AREAS		
		488 SQ. FT.
TOTAL SECOND FLOOR COVERED DECK		430 SQ. FT.
		2,579 SQ. FT.
TOTAL EXISTING LOT COVERAGE		32%



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OCT. 04, 2019

SHEET AREA CALCS
SCALE 3/4" = 1'-0"
DATE 6.17.2019
PRJ.No. 2019-04

PREPARED BY:
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JDM
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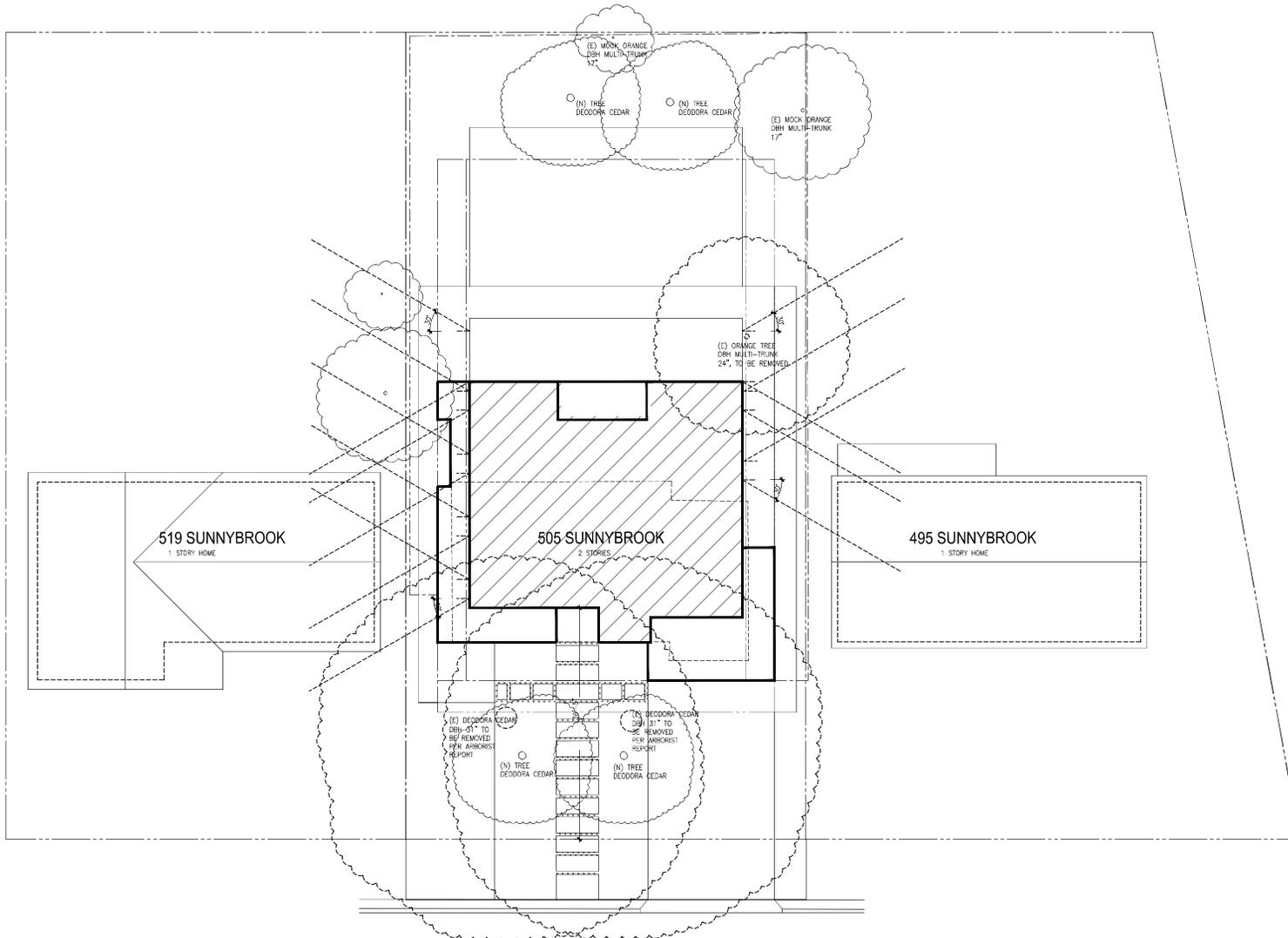
SHEET	PRIVACY PLAN
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

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 Juan D Moreno

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A-1.1

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PRIVACY PLAN
 SCALE: 1/8" = 1'-0"





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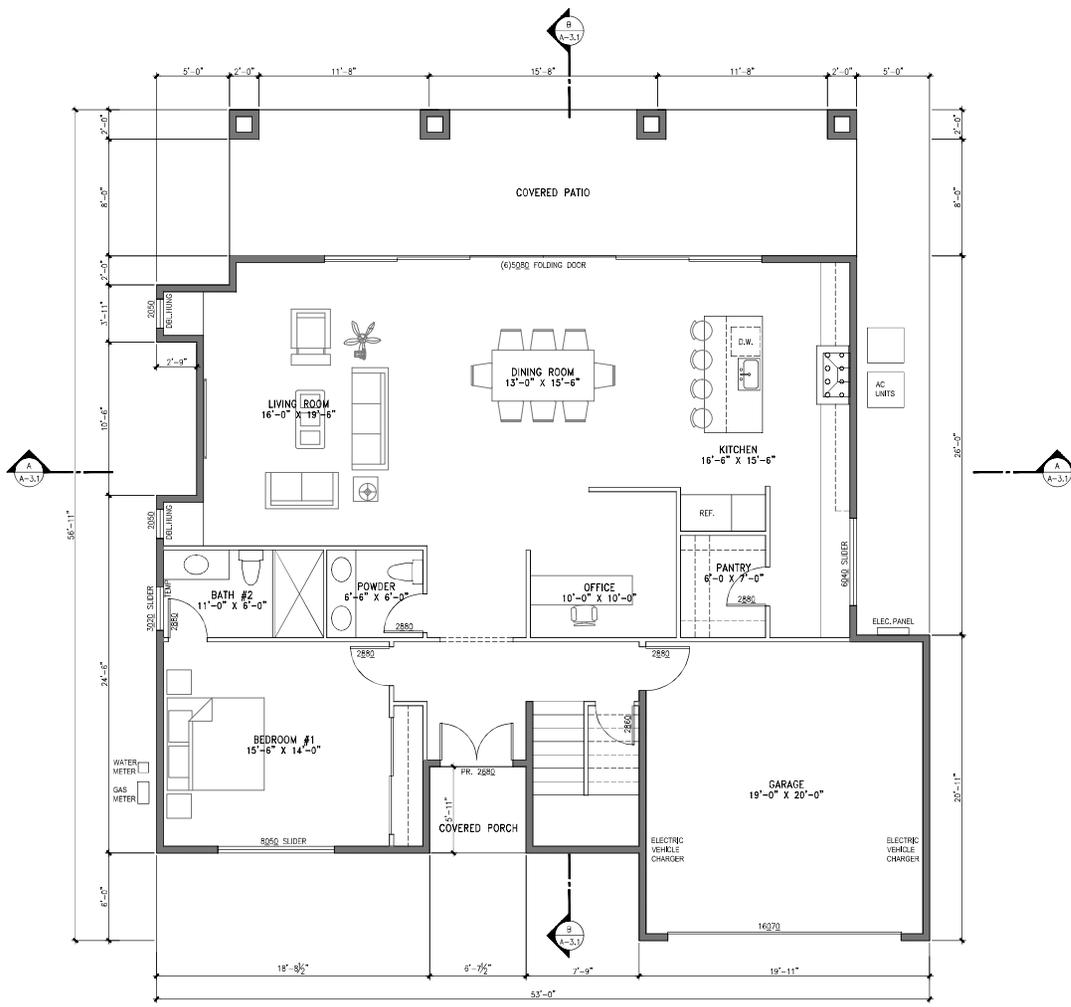
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SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

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A-2.1

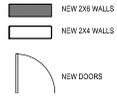
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GENERAL NOTES

- A. LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 36" DEEP PER CBC 1008.4. THE LANDING SHALL NOT BE MORE THAN 7.37' BELOW THE TOP OF THE THRESHOLD PER CBC 1008.4.4. THRESHOLDS SHALL NOT EXCEED 2" MAX. DOWN FOR OUTWARD SWINGING DOORS, 7/8" FOR SLIDERS, AND 1/2" MAX. FOR INWARD SWINGING DOORS PER CBC R311.2
- B. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE RESCUE WINDOW. EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. CLR. HT. OF 20" AND A MIN. CLEAR WIDTH OF 20". BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR. PER CBC SECTION 1008.
- C. SEE CAL GRISE SHEET FOR WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)
- D. PROVIDE 30" (W) MIN & 24" IN FRONT MIN CLR FOR ALL TOILETS
- E. PROVIDE DOOR STOPS FOR ALL INTERIOR DOORS
- F. PROVIDE MOISTURE RESISTANT, GYP.B.O. & FIRE RATED IN ALL WET LOCATIONS
- G. WHERE DEMOLITION AND NEW WORKS OCCUR, PATCH AND REPAIR (E) FINISHES TO MATCH IN CONSTRUCTION.
- H. EXTEND DEMOLITIONS NOT LIMITED TO THE ITEMS NOTED. REMOVE ADDITIONAL ITEMS ADJACENT TO THE NEW CONSTRUCTION AS REQUIRED
- I. REMOVE FLOOR IN AREAS AFFECTED BY WALL DEMOLITION
- J. DRYER TO BE VENTED TO THE EXTERIOR WITH A BACKDRAFT DAMPER
- K. SAFETY GLAZING IN WALLS CONTAINING SHOWERS AND BATHUBS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
- L. SAFETY GLAZING AT HAZARDOUS LOCATIONS - SUCH AS IN DOORS AND WINDOWS: (1) ADJACENT TO AND WITHIN 24 INCHES OF EITHER EDGE OF DOOR; (2) WHERE TOP EDGE OF GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; (3) WINDOWS GREATER THAN 36" CLOSER THAN 18" TO THE FLOOR AND WALKING SURFACES WITHIN 36 INCH HORIZONTAL OF THE WINDOW.

LEGEND



LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"





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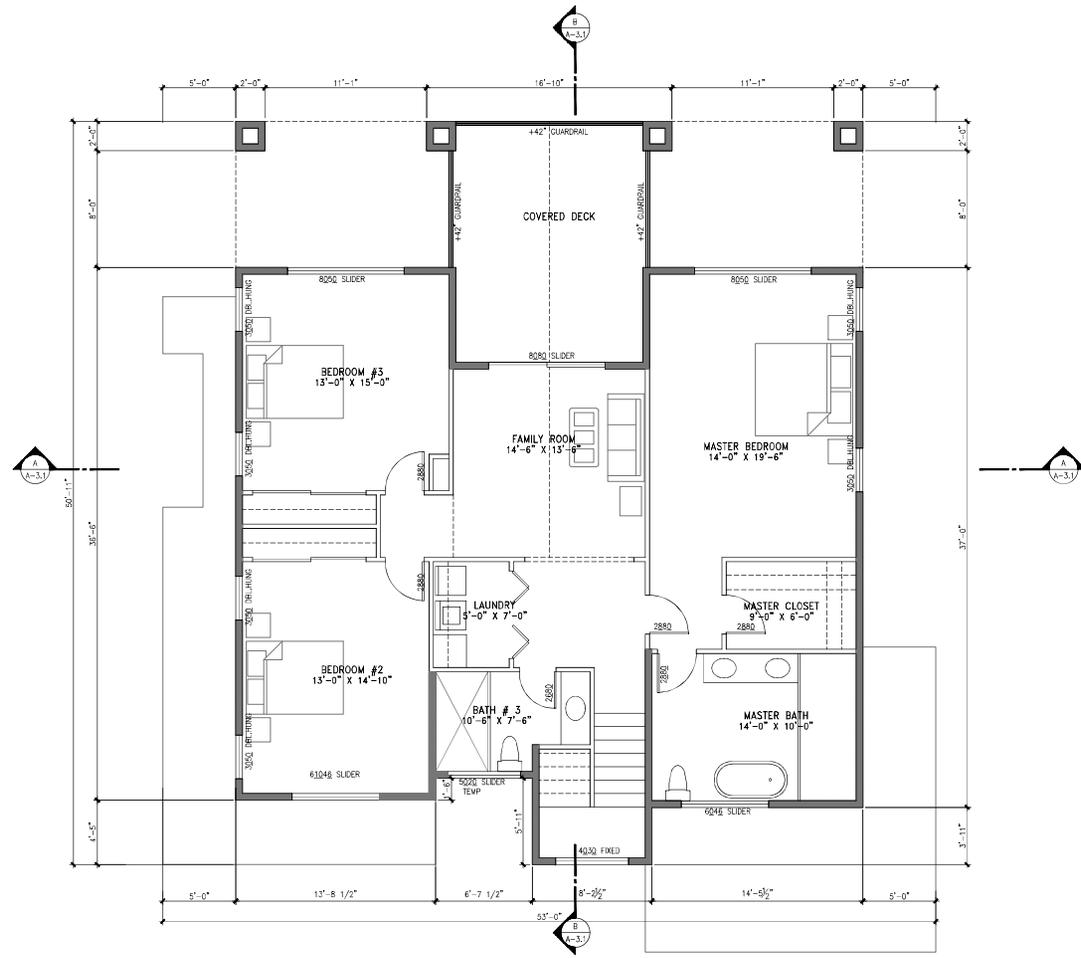
REVISIONS:	PLANNING COMMENTS
1	OCT. 04, 2019

SHEET	UPPER LEVEL
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

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A-2.2

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UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0"

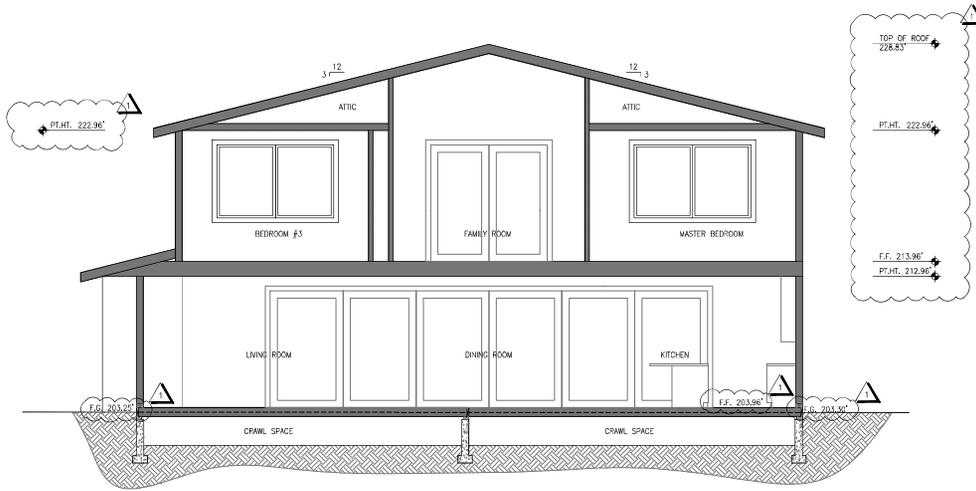


GENERAL NOTES

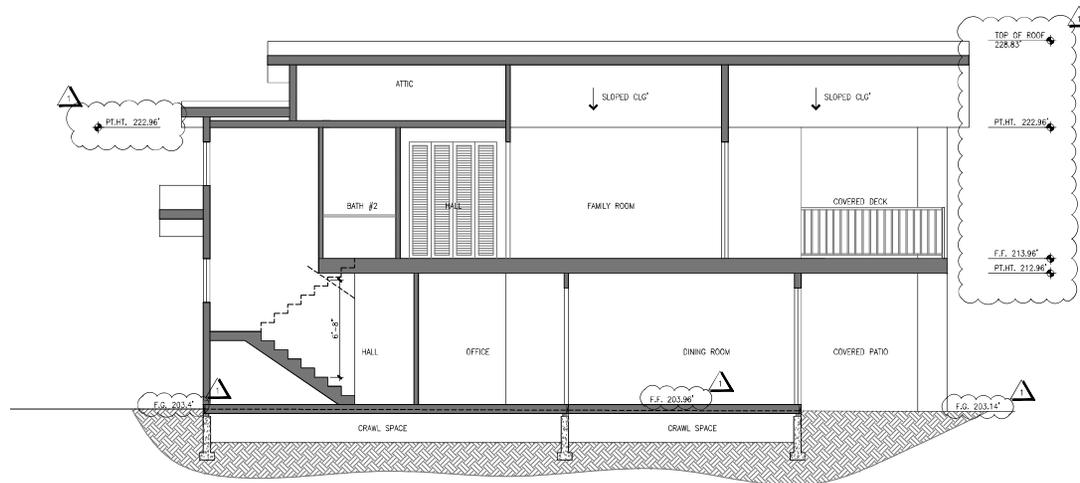
- A. LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 36" DEEP PER CBC 100A.2, THE LANDING SHALL NOT BE MORE THAN 7/8" BELOW THE TOP OF THE THRESHOLD PER CBC 100A.1.4. THRESHOLDS SHALL NOT EXCEED 2" MAX. DOWN FOR OUTWARD SWINGING DOORS, 25" FOR SLIDERS, AND 1/2" MAX. FOR INWARD SWING DOORS PER CBC R311.2
- B. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE/RESCUE WINDOW. EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. MIN. CLR. Ht. OF 2' AND A MIN. CLEAR WIDTH OF 20". 30% OF THE CLEAR OPENING SHALL NOT BE MORE THAN 4" ABOVE FINISHED FLOOR. PER CBC SECTION 1002.
- C. SEE CAL GREE SHEET FOR WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)
- D. PROVIDE 30" (W) MIN X 24" IN FRONT MIN CLR FOR ALL TOILETS
- E. PROVIDE DOOR STOPS FOR ALL INTERIOR DOORS
- F. PROVIDE MOISTURE RESISTANT, GYPBOL & FIRE RATED IN ALL WET LOCATIONS.
- G. WHERE DEMOLITION AND NEW WORKS OCCUR, PATCH AND REPAIR (E) FINISHES TO MATCH IN CONSTRUCTION.
- H. EXTEND DEMOLITION IS NOT LIMITED TO THE ITEMS NOTED. REMOVE ADDITIONAL ITEMS ADJACENT TO THE NEW CONSTRUCTION AS REQUIRED
- I. REMOVE FLOOR IN AREAS AFFECTED BY WALL DEMOLITION
- J. DRYER TO BE VENTED TO THE EXTERIOR WITH A BACKDRAFT DAMPER
- K. SAFETY GLAZING IN WALLS CONTAINING SHOWERS AND BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 6" INCHES ABOVE A STANDING SURFACE.
- L. SAFETY GLAZING AT HAZARDOUS LOCATIONS - SUCH AS IN DOORS AND WINDOWS: (1) ADJACENT TO AND WITHIN 24 INCHES OF THE EDGE OF DOORS; (2) WHERE TOP EDGE OF GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; (3) WINDOWS GREATER THAN 8 SF, CLOSER THAN 18" TO THE FLOOR AND WALKING SURFACES WITHIN 36" HORIZONTAL OF THE WINDOW.

LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- NEW DOORS



SECTION A
SCALE: 1/4" = 1'-0"



SECTION B
SCALE: 1/4" = 1'-0"



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SHEET	SECTIONS
SCALE	3/8" = 1'-0"
DATE	6.17.2019
PRJ.No.	2019-04

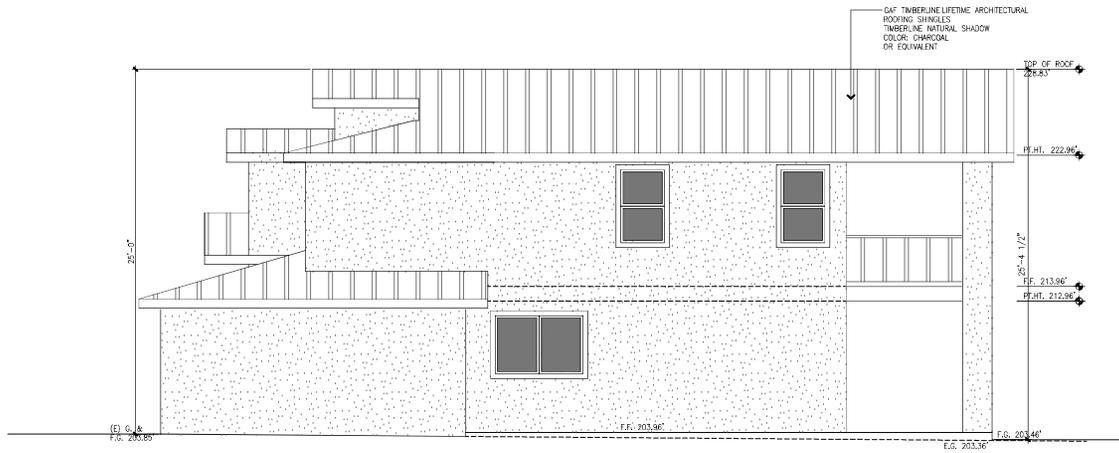
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A - 3.1

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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS:
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OCT. 04, 2019

SHEET ELEVATIONS
SCALE 1/4" = 1'-0"
DATE 6.17.2019
PRJ.No. 2019-04

PREPARED BY:
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A - 4.1

SEAL AND SIGN FOR CONSTRUCTION PERMITS
APPROVED: [Signature] DATE: [Blank]



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REVISIONS:
 A PLANNING COMMENTS
 OCT, 04, 2019

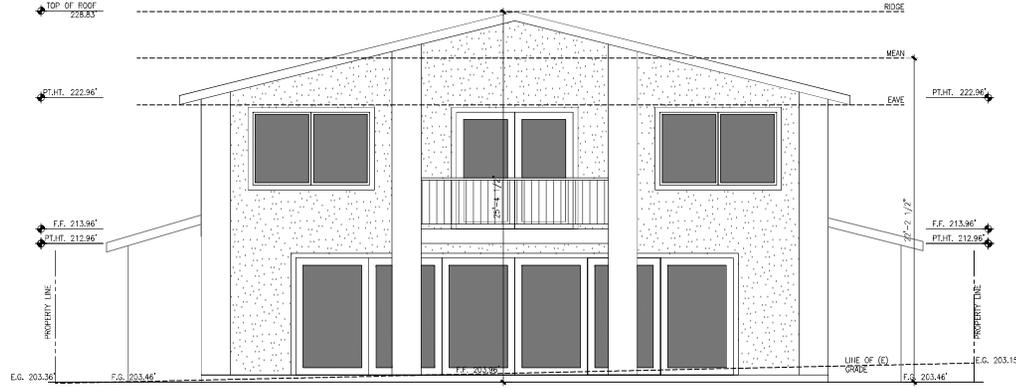
SHEET	ELEVATIONS
SCALE	3/8" = 1'-0"
DATE	6.17.2019
PRJ.No.	2019-04

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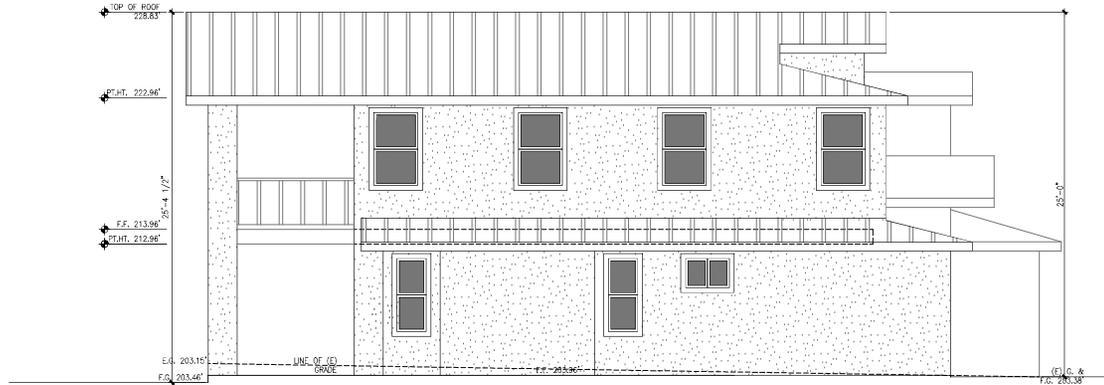
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A-4.2

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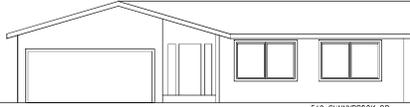


NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

PROPERTY LINE



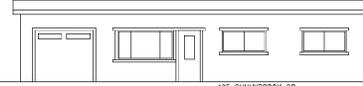
519 SUNNYBROOK DR

PROPERTY LINE



505 SUNNYBROOK DR

PROPERTY LINE



495 SUNNYBROOK DR

PROPERTY LINE

STREETSCAPE

SCALE: 1/8" = 1'-0"



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REVISIONS:	
1	PLANNING COMMENTS
	OCT. 04, 2019

SHEET	STREETSCAPE
SCALE	1/8" = 1'-0"
DATE	6.17.2019
PRJ.No.	2019-04

PREPARED BY:
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A - 4.3

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REVISIONS:

▲	PLANNING COMMENTS
	OCT. 04, 2019

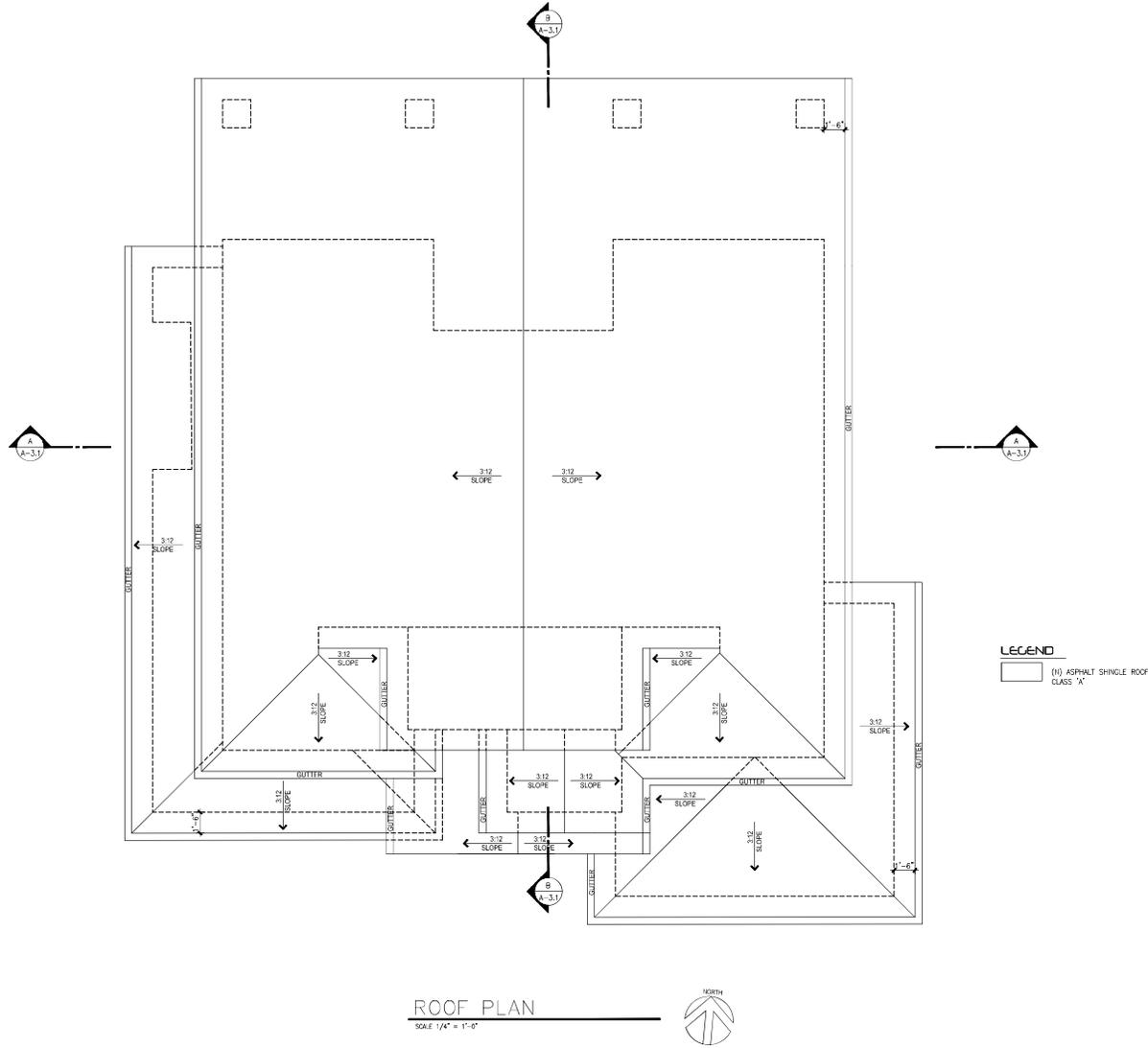
SHEET	ROOF PLAN
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

PREPARED BY:
 Juan D Moreno

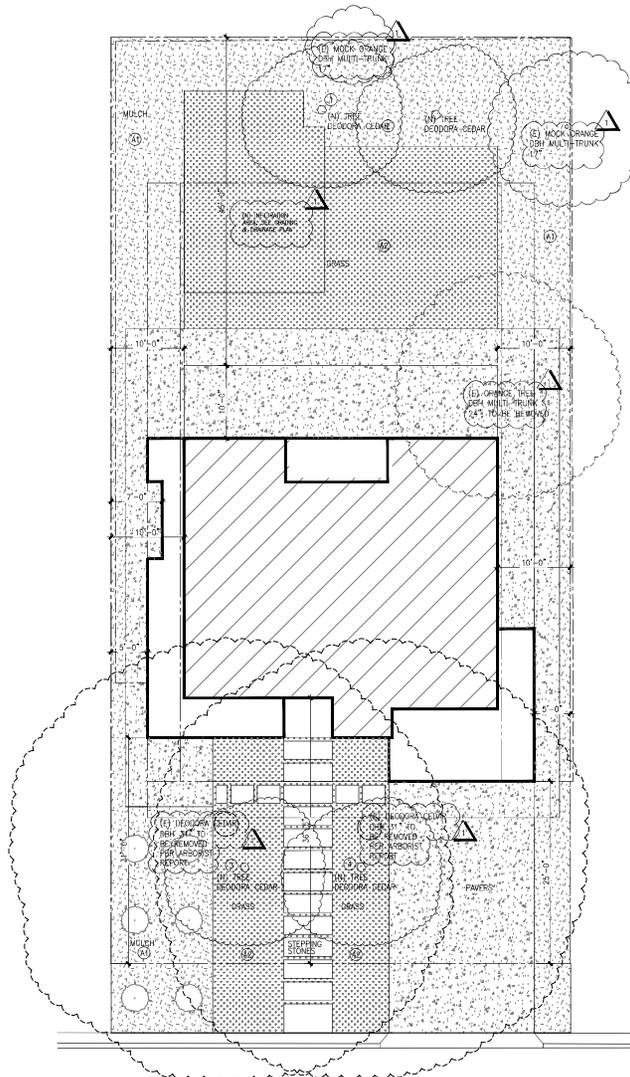
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A-5.1

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ROOF PLAN
 SCALE 1/4" = 1'-0"

GENERAL NOTES

1. A MINIMUM VERTICAL CLEARANCE OF 13.5 FEET SHALL BE MAINTAINED OVER FIRE ACCESS ROADS AND DRIVEWAYS.
2. IN LANDSCAPED AREAS THE MAJORITY OF THE PLANTING SHALL BE NATIVE PLANT SPECIES INDIGENOUS TO THE IMMEDIATE AREA. LARGE AREAS OF FORMAL LANDSCAPING ARE PROHIBITED.
3. PLANT SPECIES LOCATED FURTHER THAN 30 FEET FROM THE PRIMARY RESIDENCE SHALL BE INDIGENOUS AND APPROPRIATE FOR THE IMMEDIATE NATURAL HABITAT.
4. THE FINAL LANDSCAPE & IRRIGATION PLAN SHALL BE SUBMITTED FOR REVIEW PRIOR TO BUILDING PERMIT ISSUE, AND MEET THE CITY OF CAMPBELL WATER CONSERVATION ORDINANCE OR THE STATE WATER EFFICIENT LANDSCAPE ORDINANCE, WHICHEVER IS MORE RESTRICTIVE.
5. LANDSCAPING PLAN IS COMPLIANT WITH THE STATE WATER EFFICIENT LANDSCAPE REQUIREMENTS (CALIFORNIA CODE OF REGULATIONS, TITLE 23, CH. 27, DIV. 2), ADOPTED AS THE CITY OF CAMPBELL WATER EFFICIENT LANDSCAPE GUIDELINES (CMC 21.26.030.F).

PLANTING NOTES

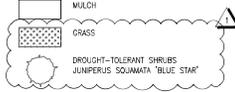
- A. ALL NEW PLANTING AREAS SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL.
- B. ALL PLANTING AREAS SHALL RECEIVE A 3" DEEP LAYER OF MULCH PER SPEC.
- C. ALL TURF AREAS SHALL BE UNDERLAIN WITH A CONTINUOUS LAYER OF GALVANIZED HARDWARE MESH AS A MEANS TO CONTROL SOIL PUMP DAMAGE. HARDWARE MESH SHALL BE LOCATED BETWEEN PREPARED SUBGRADE AND 300. STAKE AS REQUIRED TO INSURE FULL CONTACT OF 500 TO SOIL.
- D. FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION.
- E. ALL GROUND COVERS PLANTED FROM 1 GALLON CANS SHALL BE INSTALLED MIN 36" CLEAR FROM ADJACENT PAVING OR TURF AREAS

LANDSCAPE AREAS	
(A) MULCH	2255 SQ.FT.
(B) GRASS	1,721 SQ.FT.
TOTAL LANDSCAPED AREA	3,976 SQ.FT.

PLANTING NOTES

1. DEODORA CEDAR 15 GAL. NATIVE TO AREA
2. DEODORA CEDAR 15 GAL. NATIVE TO AREA
3. DEODORA CEDAR 15 GAL. NATIVE TO AREA
4. DEODORA CEDAR 15 GAL. NATIVE TO AREA

LEGEND



LANDSCAPING PLAN

SCALE: 1/8" = 1'-0"



D-SQUARE STUDIO
www.d-squarestudio.com
408-625-9171

SUNNYBROOK RESIDENCE
505 SUNNYBROOK DR. CAMPBELL, CA 95008

REVISIONS:
 PLANNING COMMENTS
 OCT. 04, 2019

SHEET	LANDSCAPE
SCALE	AS NOTED
DATE	6.17.2019
PRJ.No.	2019-04

PREPARED BY:
 Juan D Moreno

www.d-squarestudio.com
408-625-9171

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PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND SEALED BY A REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT.

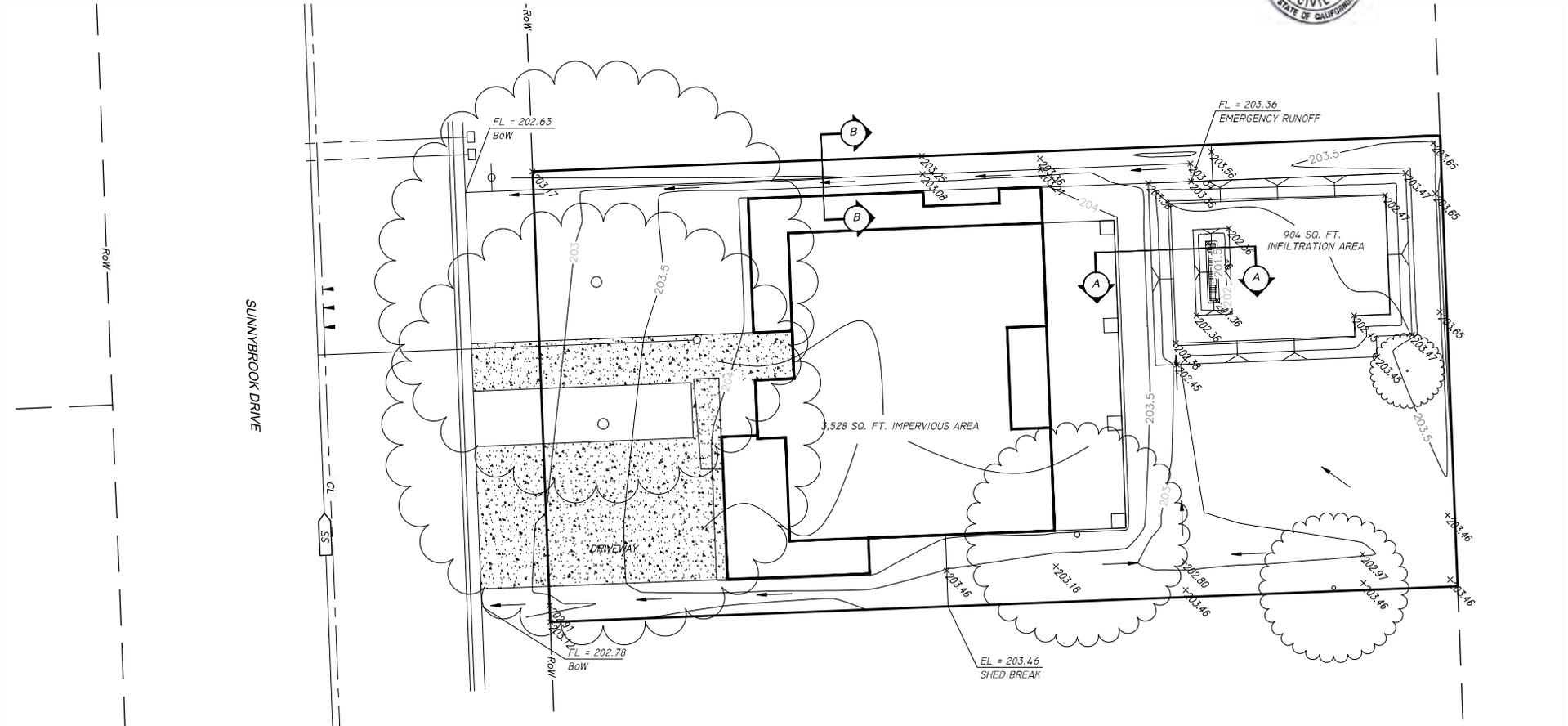
GRADING PLAN

505 SUNNYBROOK DRIVE

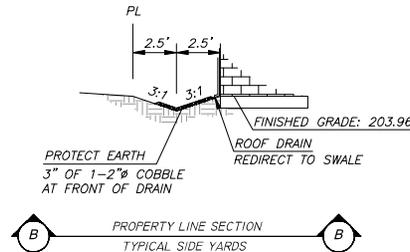
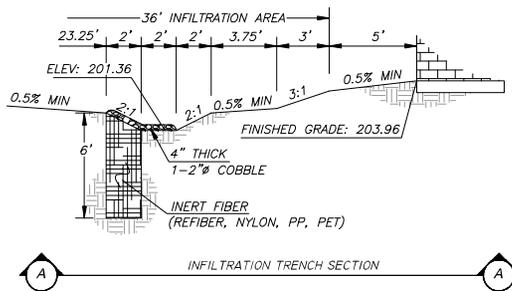
APN#: 404 - 025 - 022



JULY 30TH 2019
 REVISD 10 / 04 / 2019



SCALE: 1" = 10'



Sunnybrook Earthwork			
Area (sq. ft.)	Existing	Proposed	Net
Impervious	1,720.98	3,528.42	1,807.44
Volume (cu yd.)		Proposed	
Pavement		87.12	
Cut	23.15	+87.12	
Fill	116.95		
Net	6.68	cu yds. Fill	