



**CITY OF CAMPBELL**  
**Community Development Department**

November 27, 2019

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **December 10, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Dollinger Properties for Zoning Map Amendment, Planned Development Permit, and Tree Removal Permit (PLN2017-381), and Final Environmental Impact Report (PLN2018-148) to allow construction of a 161,870-square-foot four-story office building, a 146,478-square-foot five-story parking garage (with one level of underground parking), additional surface parking, and on-site open space on property located at **1700 Dell Avenue**.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1700 Dell Avenue**



## City of Campbell

Location Map  
1700 Dell Avenue





**LIGHT STANDARD (F)  
 WALL SCONCE (WS) SIM**

**PARKING STATISTICS**

<b>SITE PARKING:</b>	8 VANPOOL/CLEAN AIR PARKING	(CBC TABLE 5.106.5.3.3)
	6 VANPOOL/CLEAN AIR PARKING	
	14 EV CHARGING STATIONS	(3 EV CHARGERS PER CBC TABLE 11B-228.3.2.1)
	198 PARKING STALLS	
	5 ACCESSIBLE STALLS	
	2 VAN ACCESSIBLE STALLS	
	<b>223 TOTAL PARKING</b>	
<b>GARAGE PARKING:</b>	8 VANPOOL/CLEAN AIR PARKING	(CBC TABLE 5.106.5.3.3)
	31 EV CHARGING STATIONS	(3 EV CHARGERS PER CBC TABLE 11B-228.3.2.1)
	465 STANDARD STALLS	
	9 ACCESSIBLE STALLS	
	2 VAN ACCESSIBLE STALL	
	<b>515 TOTAL PARKING</b>	

<b>ZONING</b>	CM (PD ZONING)			
<b>ZONE</b>	45%			
<b>FAR</b>				
<b>STATISTICS</b>				
APN:	424-33-094			
ORIGINAL SITE AREA	197,007 SF (4,5227 ACRES)			
MINUS DEDICATION	-2,886 SF (ALONG DELL AVE)			
NET SITE AREA:	194,121 SF			
<b>BUILDING AREA:</b>	1ST FLOOR: 36,300 SF			
	2ND FLOOR: 42,690 SF			
	3RD FLOOR: 42,690 SF			
	4TH FLOOR: 40,190 SF			
	<b>TOTAL: 161,870 SF</b>			
<b>FAR:</b>	83% (161,870 / 194,121)			
<b>PARKING:</b>	ON-GRADE: 221 STALLS			
	GARAGE: 515 STALLS			
	736 STALLS (1 PER 220 SF) (4.51000)			
<b>SITE ACCESSIBLE STALLS REQ'D:</b>	7 (CBC TABLE 11B-208.2)			
<b>GARAGE ACCESSIBLE STALLS REQ'D:</b>	11 (2% X 513)			
	18 TOTAL			
<b>45 EV CHARGING INFRASTRUCTURE (8% OF TOTAL PARKING)</b>				
<b>14 CLEAN AIR/VANPOOL EV</b>				
<b>60 CLEAN AIR VEHICLES (8% OF TOTAL PARKING)</b>				
<b>(CAL-GREEN TABLE 5.106.5.2)</b>				
<b>LOCATION</b>	<b>EV CHARGERS</b>	<b>CARVAN</b>	<b>LOWEEMITTING</b>	<b>SUBTOTAL</b>
SITE	10	6	16	32
GARAGE	8	6	43	57
<b>TOTAL:</b>	<b>45</b>	<b>14</b>	<b>59</b>	
<b>BICYCLE PARKING</b>	736X5%=37 STALLS			
<b>LONG TERM</b>	35 STALLS			
<b>SHORT TERM</b>	2 STALLS			
<b>TOTAL:</b>	<b>37 STALLS</b>			
<b>COVERAGE:</b>	OFFICE: 36,300 SF			
	GARAGE: 29,384 SF			
	65,684 SF			
	65,684 SF / 194,121 = 33.8%			
<b>MIN. LANDSCAPE AREA REQ'D:</b>	19,412 SF	10%		
<b>LANDSCAPE AREA PROPOSED:</b>	48,229 SF	25% (SEE 2(A)1a)		
<b>PERCENT OVER REQUIRED:</b>		15%		
<b>SF. OVER REQUIRED:</b>		27,267 SF		
<b>LANDSCAPE/STALL:</b>	66 SF/STALL	(48,229 / 736)		
<b>SITE AREA BREAKDOWN:</b>				
(See Sht. A1)	PAVING: 74,851 SF			
	HARDSCAPE: 5,207 SF			
	LANDSCAPE: 18,229 SF			
	OFFICE FOOTPRINT: 36,300 SF			
	GARAGE FOOTPRINT: 29,384 SF			
	194,121 SF			
	NET SITE AREA: 194,121 SF			

Rev.	Descr.	DATE
	SITE PLAN ALTS.	3/13/17
	SITE PLAN ALTS.	3/15/17
	SITE PLAN BASES	4/13/17
	REVIEW	5/1/17
	REVIEW	5/15/17
	REVIEW	5/15/17
	PERM APPLICATION	6/1/17
	CITY COUNCIL RESPONSE	6/22/17
	PLANNING COMMISSION RESPONSE	10/18/17
	PLANNING RESUBMITAL	11/2/17
	PLANNING COMMENT RESPONSE	2/15/18
	PLANNING COMMENT RESPONSE	5/15/18
	ADA REVIEW RESPONSE	6/17/18
	PLANNING COMMENT RESPONSE	10/18/18
	PLANNING + SCWD RESPONSE	11/18/18
	PLANNING COMMENT RESPONSE	2/15/19
	PLANNING COMMENT RESPONSE	9/9/19

**OFFICE +  
 PARKING  
 STRUCTURE**

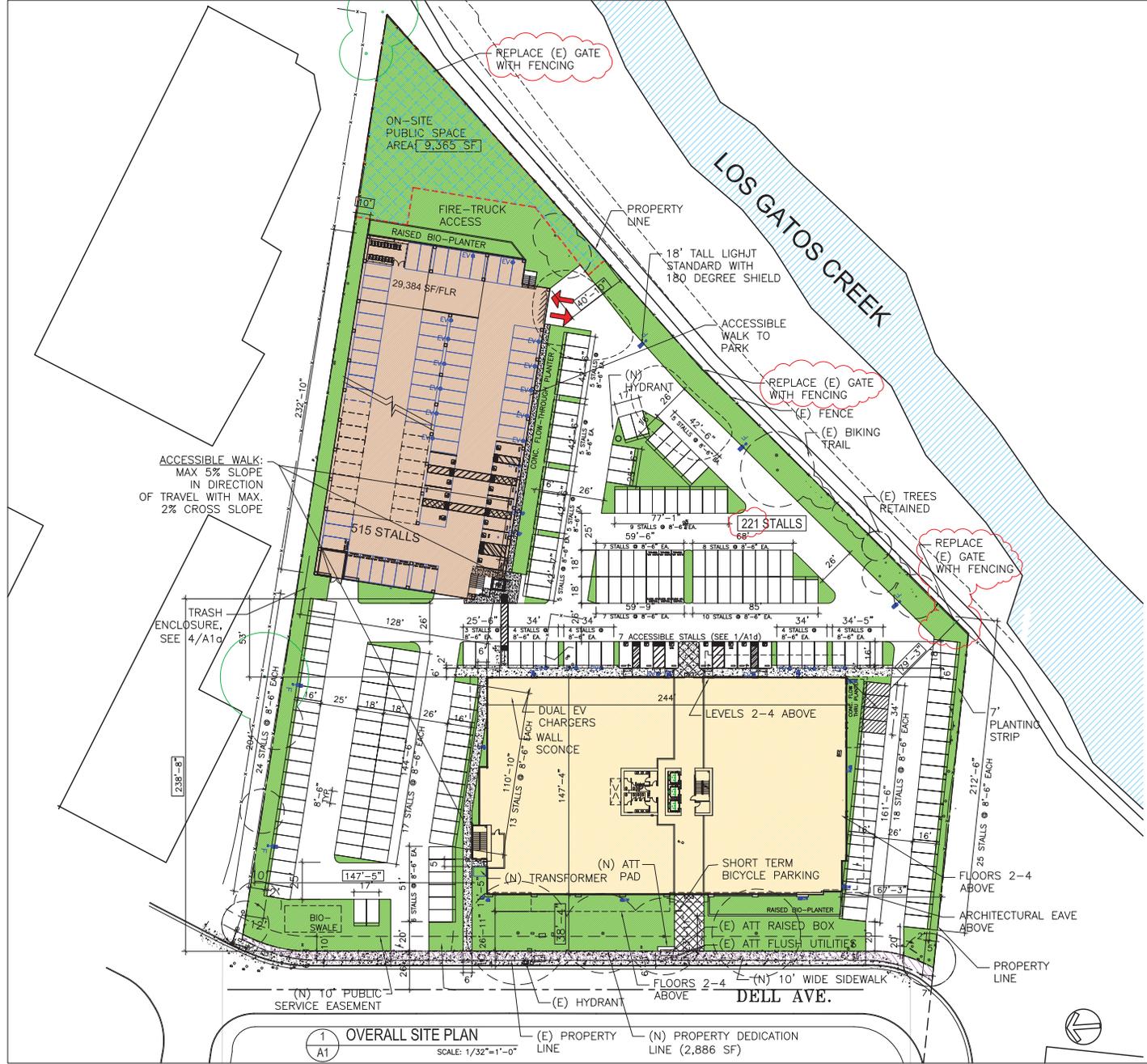
1700 DELL AVE  
 CAMPBELL, CA

Drawing Title

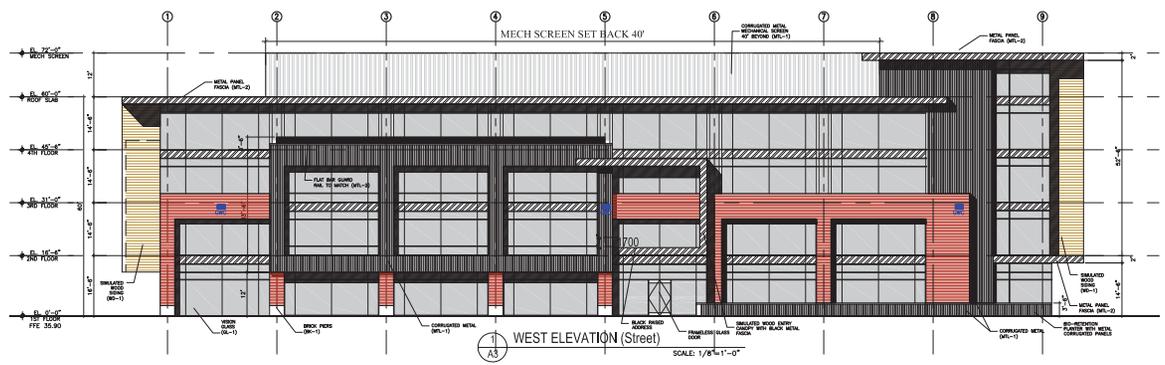
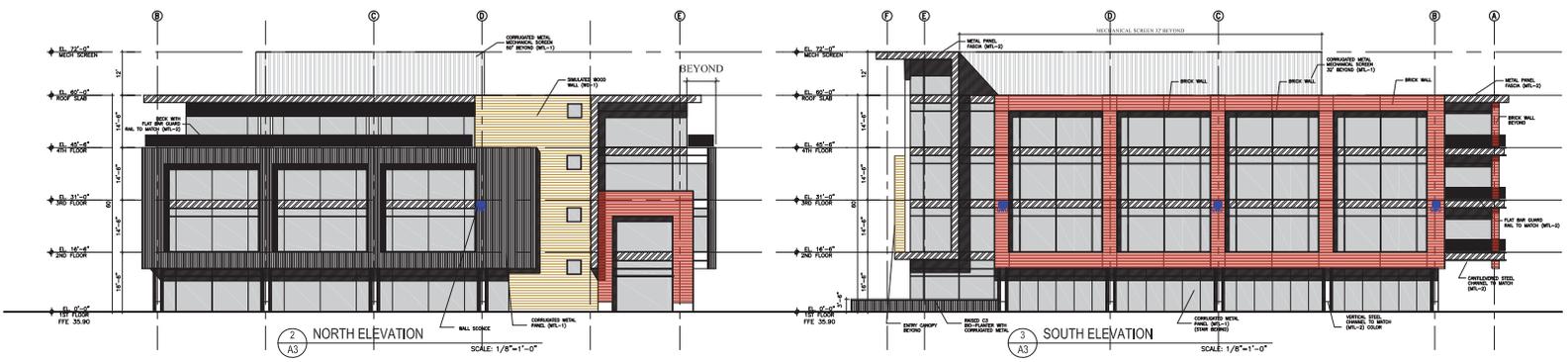
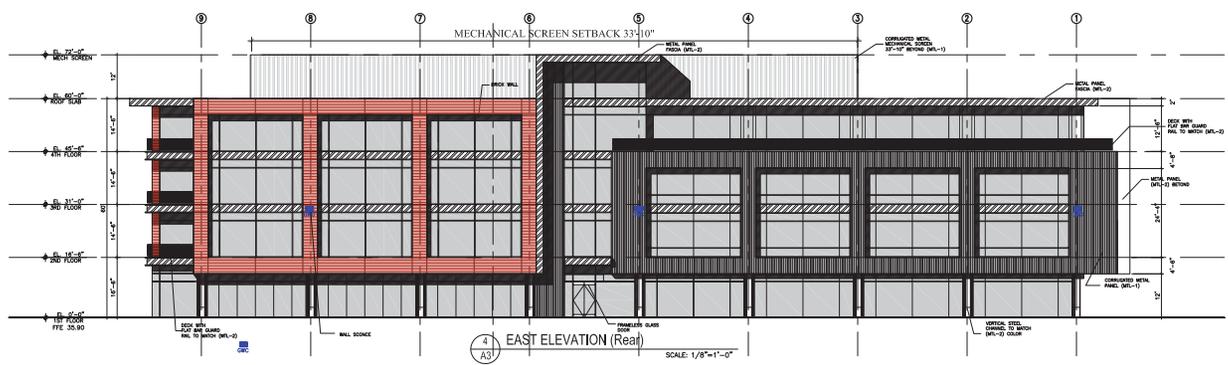
**OVERALL  
 SITE PLAN**

Job #	A4097.17
Date:	6/1/17
Scale:	AS NOTED
Drawn By:	CLC + BR
Sheet:	

**A1**



**OVERALL SITE PLAN**  
 SCALE: 1/32"=1'-0"



Rev.	Descr.	DATE
	SITE PLAN ALTS.	3/13/17
	SITE PLAN BASES	3/18/17
	REVIEW	4/18/17
	REVIEW	5/1/17
	REVIEW	5/15/17
	CITY APPLICATION	6/16/17
	CITY COUNCIL RESPONSE	6/28/17
	PLANNING COMMISSION RESPONSE	10/18/17
	PLANNING SUBMITTAL	11/27/17
	PLANNING COMMENT RESPONSE	2/8/18
	PLANNING COMMENT RESPONSE	5/15/18
	ADA REVIEW RESPONSE	6/17/18
	PLANNING COMMENT RESPONSE	10/18/18
	PLANNING + SCWD RESPONSE	11/18/18
	PLANNING COMMENT RESPONSE	2/19/19
	PLANNING COMMENT RESPONSE	9/9/19

## OFFICE + PARKING STRUCTURE

1700 DELL AVE  
CAMPBELL, CA

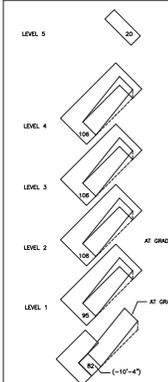
Drawing Title

## OFFICE ELEVATIONS

Job # A4097.17  
Date: 6/1/17  
Scale: AS NOTED  
Drawn By: CLC + BR  
Sheet:

ITEM	SYMBOL	DESCRIPTION	MANUFACTURER	SPEC	REMARKS
GL-1		DUAL GLAZED CLEAR GLASS	GUARDIAN	GUARDIAN SINGLARG CLEAR + CLEAR WITH SOLARFILM TINT LOW-E COATING ON #2 SURFACE, ALL TEMPERED (SIGC-27) (STC=30)	U-VALUE .28
MF-1		WINDOW MULLIONS	KAMBER	GUARDIAN, CUSTOM COLOR	
MF-1		BRICK ON PRECAST PANEL	ENCLICOTT	DESERT BRICK SPOT GLAZE	SUBMIT SAMPLE
MF-1		CORRUGATED METAL WALL PANEL	MCPM	2-1/2, 20 GA., SILVERMET COLOR	SUBMIT SAMPLE
MF-2		EAKE EDGE STEEL COLLARS + CANOPS	ALUMA WALL	CHARCOAL FACTORY FINISH 20 GA.	SUBMIT SAMPLE
MF-1		WOOD PANELING (SIMULATED)	ARET LAMINATI	SIMULATED PE WOOD PANELS (6" WIDE PLANK)	SIMULATED

# A3



Rev.	Descr.	DATE
	SITE PLAN ALTS.	3/13/17
	SITE PLAN ALTS.	3/18/17
	SITE PLAN BASES	4/15/17
	REVIEW	4/18/17
	REVIEW	5/1/17
	REVIEW	5/15/17
	PRE-APPLICATION	6/2/17
	CITY COUNCIL RESPONSE	6/23/17
	PLANNING COMMISSION RESPONSE	10/18/17
	PLANNING SUBMITTAL	11/23/17
	PLANNING COMMENT RESPONSE	2/15/18
	PLANNING COMMENT RESPONSE	5/15/18
	ADA REVIEW RESPONSE	6/17/18
	PLANNING COMMENT RESPONSE	11/18/18
	PLANNING + SCWD RESPONSE	2/15/19
	PLANNING COMMENT RESPONSE	9/9/19

## OFFICE + PARKING STRUCTURE

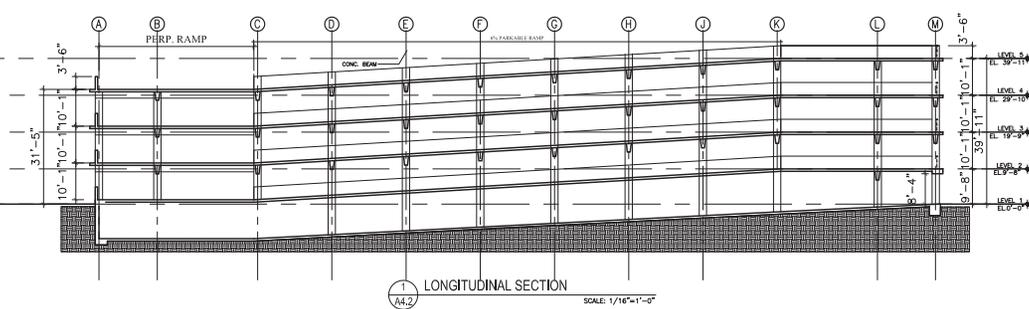
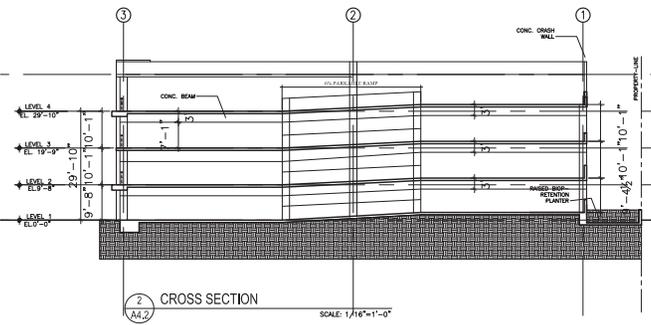
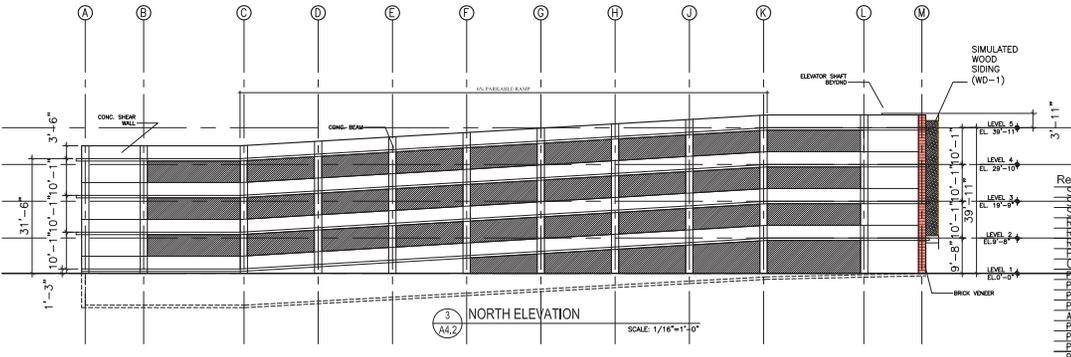
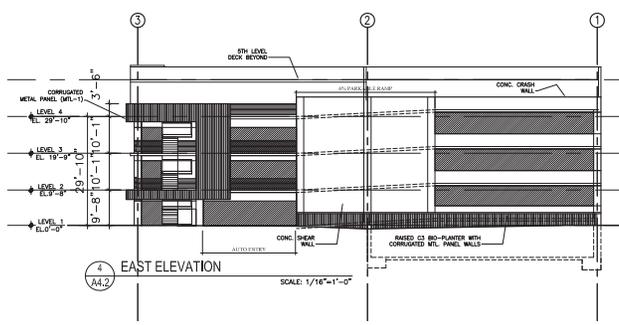
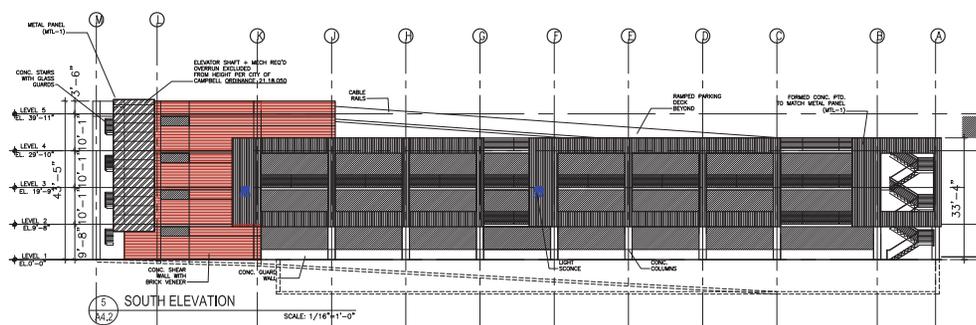
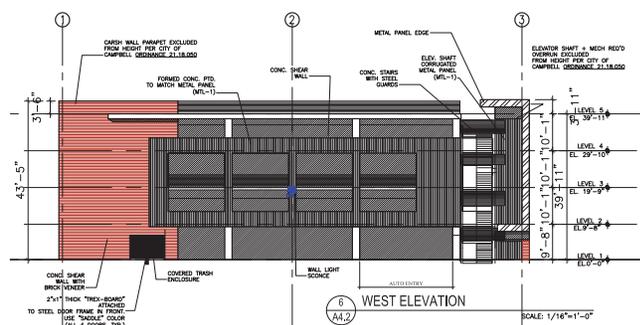
1700 DELL AVE  
CAMPBELL, CA

### Drawing Title

## GARAGE ELEVATIONS

Job #	A4097.17
Date:	6/1/17
Scale:	AS NOTED
Drawn By:	CLC + BR
Sheet:	

# A4.2



20	106
LEVEL 5	106
LEVEL 4	106
LEVEL 3	106
LEVEL 2	95
LEVEL 1	82