



CITY OF CAMPBELL
Community Development Department

February 21, 2020

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

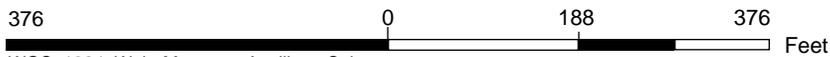
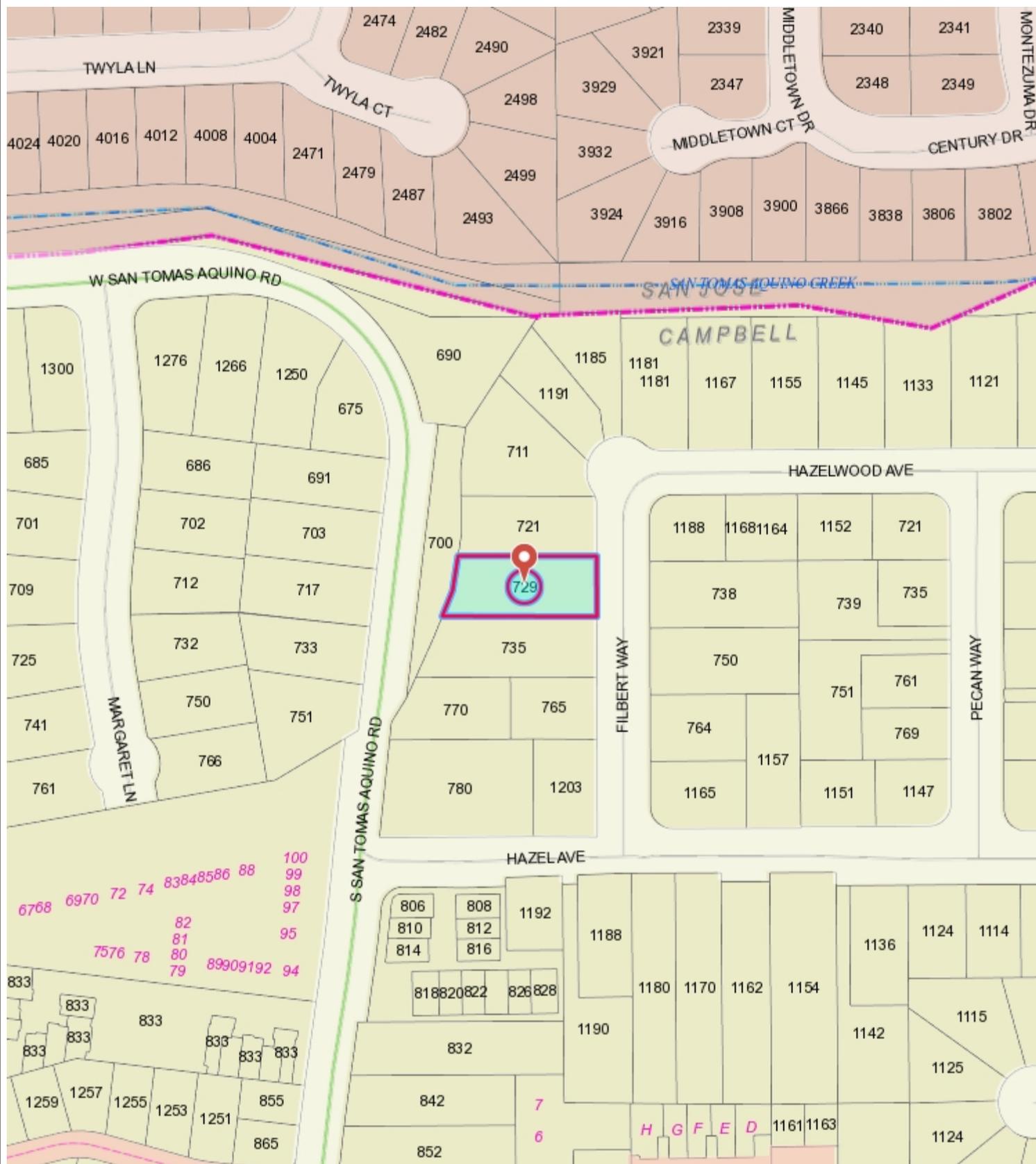
File No.: PLN2019-197
Applicant: Masoud Bashi
Project Address: 729 Filbert Way
Property Owner: Masoud Bashi
Zoning District: R-1-6 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: New 4,859 sq ft, two-story single-family home with interior ADU.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on February 21, 2020 and ends on March 2, 2020. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 2, 2020**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Naz Pouya Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email NazH@campbellca.gov.



729 Filbert Way



Scale 1:2,257

WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

729 Filbert Way, CAMPPELL, CA. 95008



GENERAL NOTE:

COMMENT #1: REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS AND WATER SUPPLY AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.

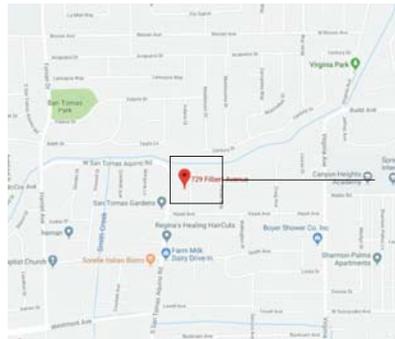
COMMENT #2: FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE- AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET. EXCEPTION: A ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1,000 SQUARE FEET OF BUILDING AREA. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY C.B.L.

COMMENT #3: WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

COMMENT #4: CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CH.P. 33

COMMENT #5: ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1 TO PREVENT PLAN REVIEW AND INSPECTION DELAYS, THE ABOVE NOTED DEVELOPMENTAL REVIEW CONDITIONS SHALL BE ADDRESSED AS "NOTES" ON ALL PENDING AND FUTURE PLAN SUBMITTALS AND ANY REFERENCED DIAGRAMS TO BE REPRODUCED ONTO THE FUTURE PLAN SUBMITTAL. PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

VICINITY MAP:



PROPERTY LOCATION

SHEET INDEX

- T0.01 COVER SHEET
- T0.02 BOUNDARY AND TOPOGRAPHIC MAP
- T0.03 BOUNDARY AND TOPOGRAPHIC MAP
- C1: GRADING AND DRAINAGE PLAN
- C2: GRADING AND DRAINAGE PLAN/ CONSTRUCTION DETAILS
- C3: GRADING AND DRAINAGE PLAN/ EROSION CONTROL PLAN
- L0.1 FRONT YARD LANDSCAPE PLAN
- L0.2 HYDROZONE PLAN
- L0.3 IRRIGATION PLAN
- A0.1 SITE PLAN
- A1.1 EXISTING FLOOR PLAN
- AD1.1 DEMOLITION PLAN
- A1.2 PROPOSED 1ST FLOOR PLAN
- A1.3 PROPOSED 2ND FLOOR PLAN
- A1.4 ROOF PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A3.1 SECTIONS & STREETSCAPE ELEVATION
- A4.1 SAMPLED BOARD
- A4.2 PRIVACY PLAN
- A5.1 ARCHITECTURAL DETAIL

PROJECT DATA

A.P.N 406-02-044
 PROJECT LOCATION: 729 Filbert Way, CAMPPELL, CA. 95008
 ZONING: R-1-6
 OCCUPANCY GROUP: R - 3 / U
 CONSTRUCTION TYPE: V - B
 NUMBER OF FLOORS: TWO (2) STORY
 FIRE PROTECTION: SPRINKLERED

SCOPE OF WORK:

NEW 2 STORY COSTUME HOME AND 1 STORY ADU
 4,566 SQFT BUILDING AREA INCLUDING 4 BEDROOMS
 4 1/2 BATHS, 1 LAUNDRIES, 2 CAR GARAGE AND
 ATTACHED ADU IN THE BACK INCLUDING 523 SQFT 1
 BEDROOM, ONE BATH, ONE LAUNDRY

AREA CALCULATION:

SITE AREA 10,959 S.F.
 N 1ST FLOOR LIVING AREA: 2,246 S.F.
 N ADU AREA: 523 S.F.
 N 2ST FLOOR LIVING AREA: 1,675 S.F.
 N TOTAL LIVING AREA: 4,516 S.F.
 N GARAGE: 415 S.F.
 N TOTAL BUILDING: 4,859 S.F.
 TOTAL HEIGHT OF BUILDING(N.G.) 26' 7"
 FLOOR AREA RATIO (FAR) = (4,859/10,959)X100=44.3%
 LOT COVERAGE: 1st FLOOR BLDG AREA (2,194+523+415) S.F
 FRONT COVERED PORCH 217 S.F
 REAR COVER PORCH 287 S.F
 TOTAL: 3,636/10,959= %33

PROJECT CONTACT:

OWNER: MASOOD BASHI AND MAHNOOSH SAMANI
 (408)338-8875
 729 Filbert Way, CAMPPELL, CA. 95008
 DESIGNER: GOLDEN GATE GROUP
 (408) 708 -1234
 21060 HOMESTEAD Rd, CUPERTINO, CA. 95014
 OFFICE@GOLDENGATEGROUPINC.COM
 STRUCTURAL: DB ENGINEERING
 (408) 621-0114
 2021 The Alameda, Suite 360, San Jose, CA 95126
 DB.DBENGINEERING@GMAIL.COM
 T24 & ENERGY: ADVANCED CONSTRUCTION
 ENGINEERING
 (408) 623 -7660
 ARASH@CALTITLE24.COM
 SOIL ENGINEER: MFA ENGINEERS & ASSOCIATES
 (408) 509-3446
 3001 S. Winchester Blvd, Suite B, Campbell, CA 95008



21060 HOMESTEAD Rd
 CUPERTINO, CA. 95014
 TEL: (408)442-8081
 WWW.GGCGOLDENGATEGROUP.COM

BASHI'S RESIDENCE
 729 Filbert Way, CAMPPELL,
 CA. 95008

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR ACCURACY, SMALL LETTER AND COMPLIANCE WITH THE EXISTING SITE. ANY DISCREPANCIES AND OMISSIONS SHOULD BE CORRECTED OR CHANGED. THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK OR BE RESPONSIBLE FOR THE WORKS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THE WORK. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK OR BE RESPONSIBLE FOR THE WORKS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THE WORK. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK OR BE RESPONSIBLE FOR THE WORKS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

PROGRESS

NO	DESCRIPTION	DATE	BY

BUILDING OWNER APPROVAL DATE: _____
 CLIENT/ARCHITECT APPROVAL DATE: _____
 ARCHITECT/ARCHITECTURE DATE: _____

KENNETH'S RESIDENCE

COVER SHEET

NORTH	DATE	PRIORITIES	SCALE	DRAWINGS

FLOOR	DRAWN	CHECKED BY	FLOOR	DATE



BASIS OF BEARINGS
 THE BEARING NORTH 45°15'00" WEST OF THE CENTER LINE OF SAN AQUINO ROAD AS SHOWN ON THAT MAP OF TRACT NO. 202 FILED FOR RECORD IN BOOK 7 OF MAPS PAGE 20, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
 R1 TRACT NO. 202 7-M-20

BENCH MARK
 DESCRIPTION: SITE BENCHMARK, MAG NAIL ON STREET AS SHOWN;
 ELEV.: 220.94 (NAVD88)

ABBREVIATIONS

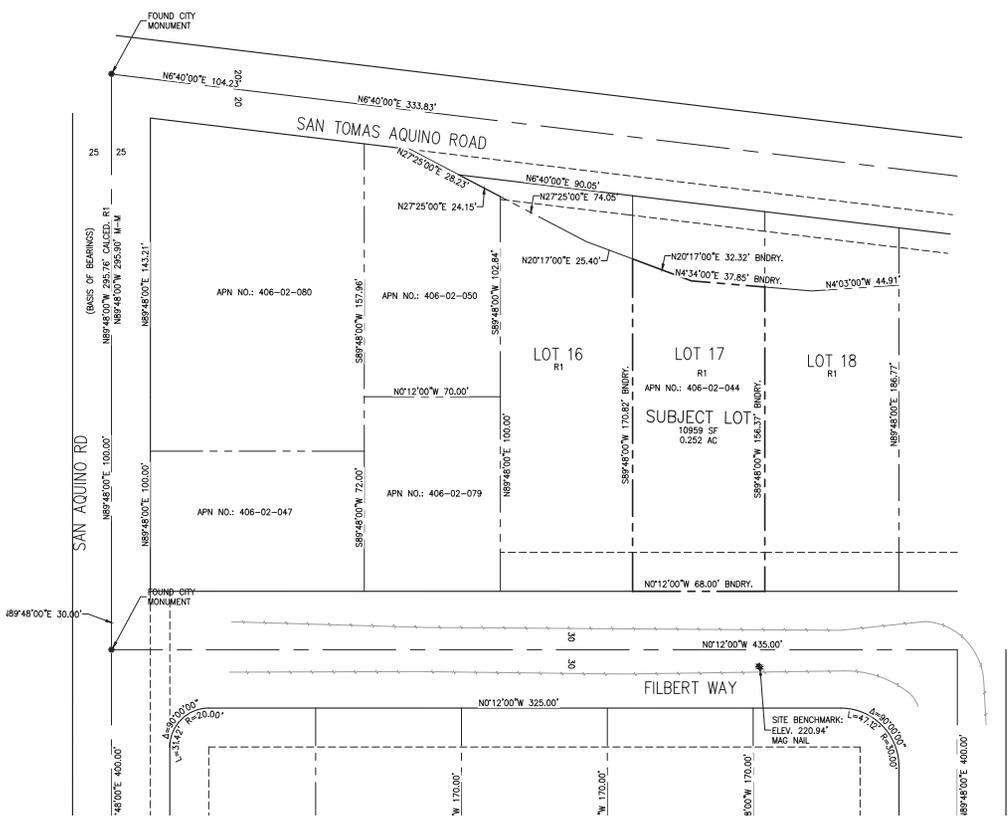
APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-W	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

NOTES:

- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
- TREE SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
- TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
- UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
- A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

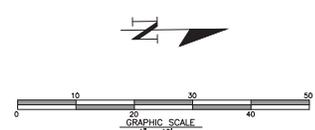
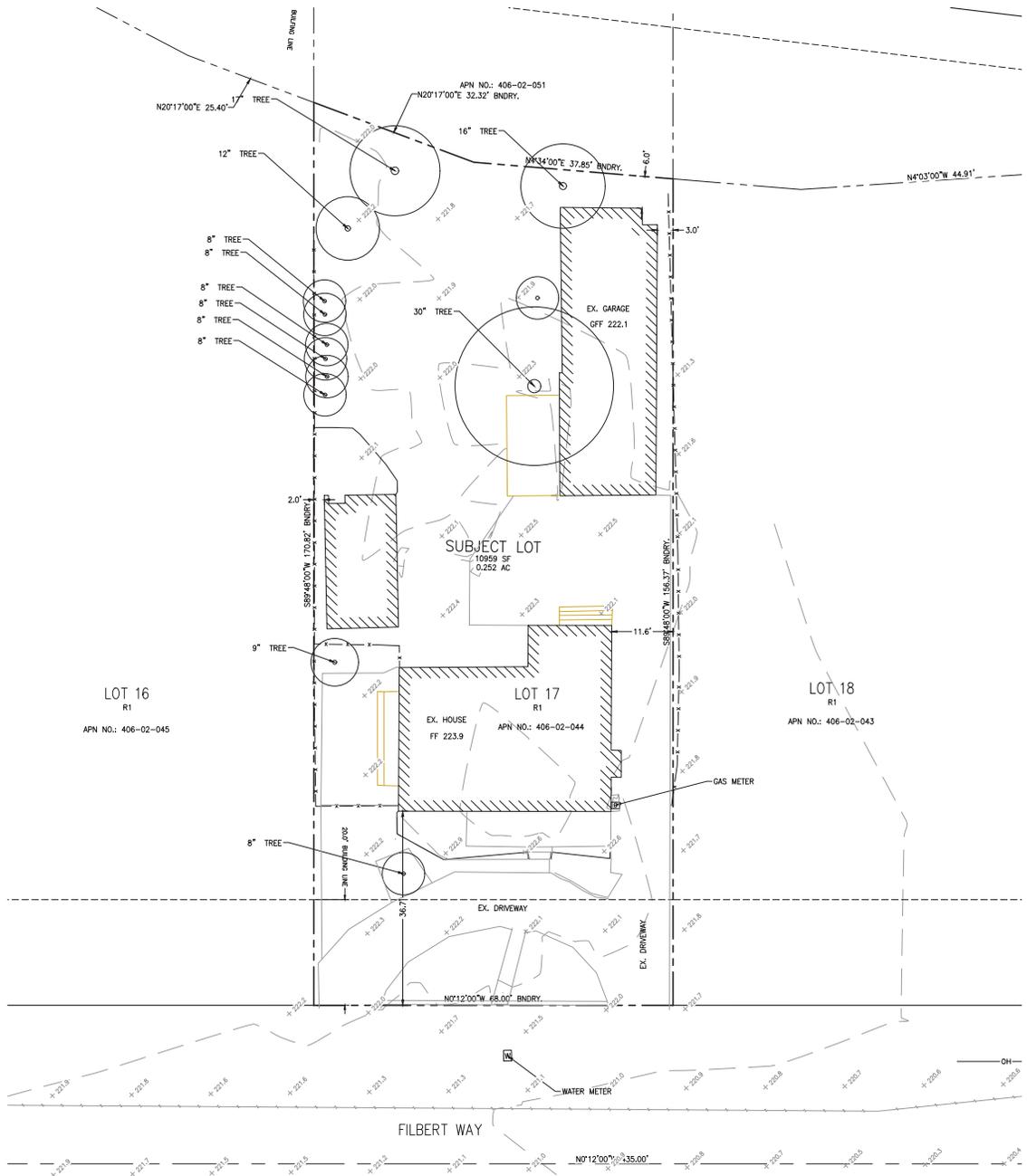
LEGEND

---	EXISTING CONTOUR LINE
---	NATURAL GRADE CONTOUR LINE
●	FOUND CITY MONUMENT BOX, OR AS NOTED
---	BOUNDARY OF PROPERTY SURVEYED
()	RECORD INFORMATION
---	CENTERLINE
△	CURB INLET
△	CURB LINE
---	DRIVEWAY APRON
○	ELECTROILER
---	FENCE
◆	FIRE HYDRANT
■	FLAT GRATE INLET
---	OVERHEAD POWER LINE
---	OVERHEAD TELEPHONE LINE
---	SANITARY SEWER LINE
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER CLEANOUT
▽	SIGN
---	STORM DRAIN LINE
○	STORM DRAIN MANHOLE
□	UTILITY BOX
---	UTILITY POLE
---	WATER LINE
■	WATER METER
---	WATER VALVE
■	ELECTRIC METER
■	WATER HEATER
■	GAS



	<p>OSUNA ENGINEERING INC. CONSULTING CIVIL ENGINEERS & LAND SURVEYORS 1175 BAYVIEW BLVD., SUITE 100 SAN JOSE, CA 95128 TEL: (408) 777-0101 FAX: (408) 777-0102 INFO@OSUNAEINC.COM</p>
<p>BOUNDARY & TOPOGRAPHIC SURVEY 729 FILBERT WAY APN: 406-02-044</p>	<p>Sheet No. 182 of 182 Date: 12-28-23 Drawn By: [Signature] Checked By: [Signature]</p>
<p>SHEET BT1 OF 2 SHEETS</p>	<p>APN: 406-02-044 Date: 12-28-23</p>

- LEGEND**
- 200--- EXISTING CONTOUR LINE
 - 200--- NATURAL GRADE CONTOUR LINE
 - FOUND CITY MONUMENT BOX, OR AS NOTED
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 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - SIGN
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 - STORM DRAIN MANHOLE
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 - WATER LINE
 - W WATER METER
 - WV WATER VALVE
 - EM ELECTRIC METER
 - WH WATER HEATER
 - GD GAS



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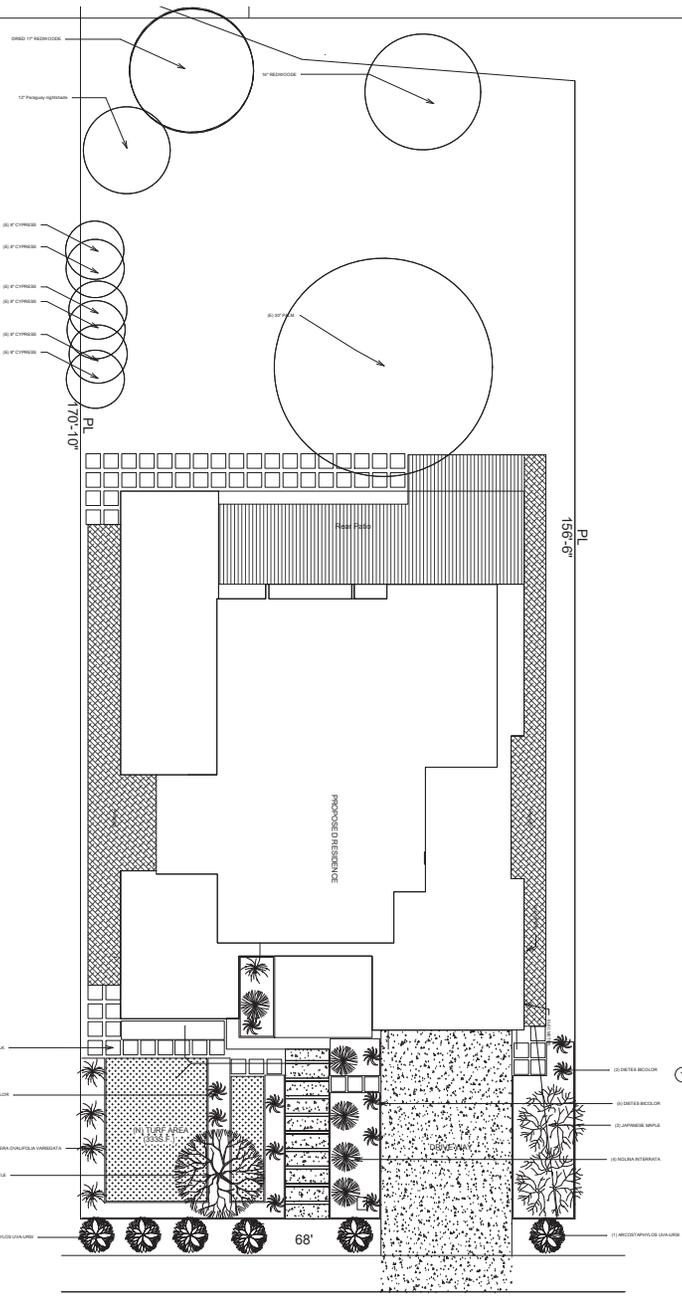
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 DESCRIPTION: SITE BENCHMARK, MAG NAIL ON STREET AS SHOWN;
 ELEV.: 220.94 (NAVD88)

- ABBREVIATIONS**
- | | |
|----------|---------------------------|
| APN | ASSESSOR'S PARCEL NUMBER |
| BM | BENCH MARK |
| CATV | CABLE TELEVISION OVERHEAD |
| D | CURVE DELTA |
| DRWY | DRIVEWAY |
| DS | DOWNSPOUT |
| FF | FINISH FLOOR |
| FL | FLOW LINE ELEVATION |
| GFF | GARAGE FINISH FLOOR |
| IP | IRON PIPE |
| L | CURVE LENGTH |
| R# | REFERENCE DOCUMENT |
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| PTN | PORTION |
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- NOTES:**
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 - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
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	<p>OSUNA ENGINEERING INC. CONSULTING CIVIL ENGINEERS & LAND SURVEYORS 1175 BAYVIEW BLVD., SUITE 100 SAN JOSE, CA 95128 TEL: (408) 777-7700 FAX: (408) 777-7700 INFO@OSUNAEINC.COM</p>
<p>BOUNDARY & TOPOGRAPHIC SURVEY</p> <p>729 FILBERT WAY APN: 406-02-044</p>	<p>SHEET BT2 OF 2 SHEETS</p>



1 FRONT YARD LANDSCAP PLAN
1/8" = 1'-0"

Impervious Surface Area:

FRONT YARD: 68'X-26'=1,768 SQF < 2500 S.F.
 IMPERVIOUS AREA: Walk Way(200)+ Drive way(470)=670/1,768 =38%<50%
 TURF: 333 S.F. <2500X25%= 625 S.F.

QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	WUCOLS
4	(1)	PROSTANTHERA OVALIFOLIA VARIEGATA	AUSTRALIAN MINT BUSH	5 GALLON	Low (3)
1	(2)	CRAPE MYRTLE	CRAPE MYRTLE	15 GALLON NLB	Low (3)
6	(3)	ARCOSTAPHYLOS UVA-URSI	BEARBERRY	1 GALLON	Low (3)
12	(4)	DIETES BICOLOR	FORTNIGHT LILY	1 GALLON	Low (3)
5	(5)	NOLINA INTERRATA	DEHESA NOLINA	1 GALLON	Low (3)
2	(6)	JAPANESE MAPLE	JAPANESE MAPLE	15 GALLON	Low (3)



21000 HOMESTEAD Rd
 CUPERTINO, CA. 95014
 TEL: (408)442-8081
 EMAIL: OFFICE@GOLDENGATEGROUP.COM

BASHI'S RESIDENCE
 729 Filbert Way, CAMPBELL,
 CA. 95008

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, QUANTITY, EXTENT AND COMPLETION TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT ARISE OR CHANGE THE WORK DESCRIBED IN THE CONTRACT SHALL BE BROUGHT TO THE ATTENTION OF THE GOLDEN GATE GROUP OF ARCHITECTS IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR WISHES TO PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES FROM THE DRAWINGS AND SPECIFICATIONS OR THE DISCREPANCIES OF THE WORK, HE SHALL BE RESPONSIBLE FOR NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARY PRACTICE. SHALL NOT RELY ON THE CONTRACTOR FROM PERFORMING SUCH LIMITED OR UNDESIGNED DETAILS OF THE WORK AS IF THEY HAD BEEN FULLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

THE CONTRACTOR, ARCHITECT AND SUBCONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK IN WRITING, ACCURACY OR OMISSION. IN THE EVENT THESE CONDITIONS ARE FOUND, THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY GOLDEN GATE GROUP OF ARCHITECTS IMMEDIATELY IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM GOLDEN GATE GROUP OF ARCHITECTS PRIOR TO PROCEEDING WITH ANY RELATED WORK.

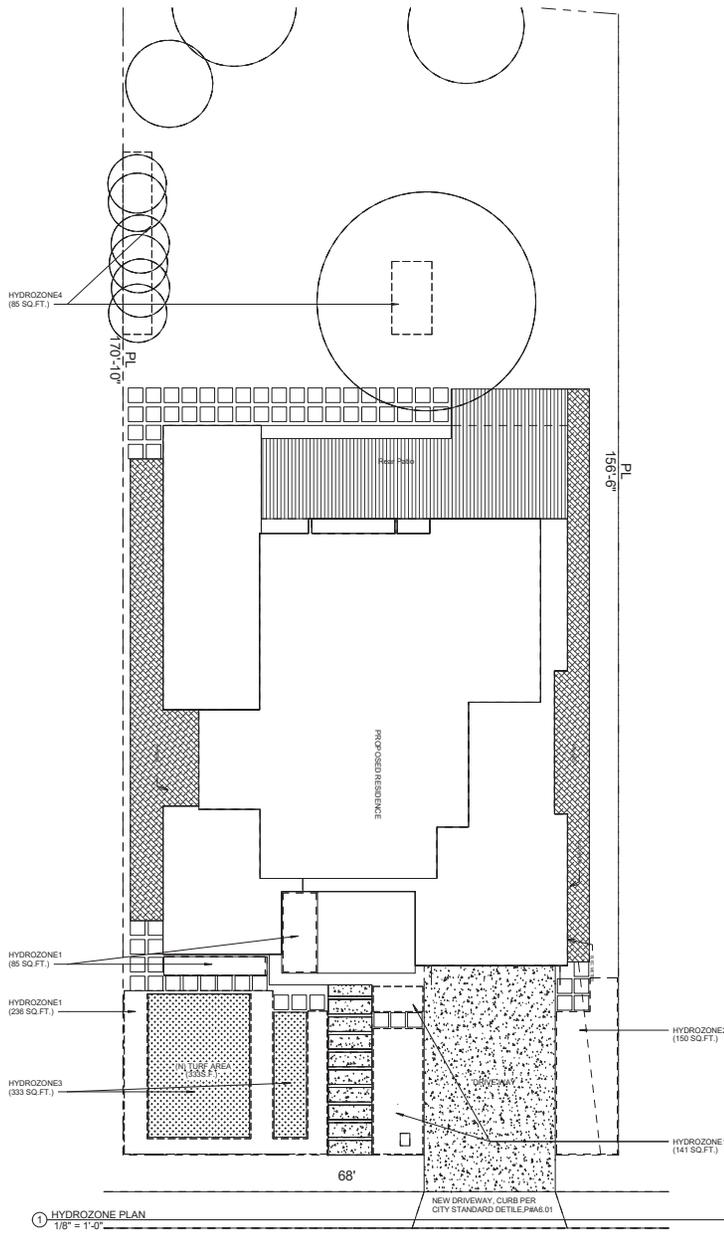
NO.	DESCRIPTION	DATE	BY
PROGRESS			

BUILDING OWNER APPROVAL
DATE: _____ DESIGNER / ARCH. SIGNATURE: _____

CLIENT/ARCHITECT APPROVAL
DATE: _____

KENNETH'S RESIDENCE

LANDSCAP PLAN			
NORTH	DATE	PROJ. NO.	SCALE
(N)			L0.1



1 HYDROZONE PLAN
1/8" = 1'-0"

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWL0.



21061 HOMESTEAD Rd
CUPERTINO, CA 95014
TEL: (408) 442-8081
WWW.GTG.COM

BASH'S RESIDENCE
729 Filbert Way, CAMPPELL,
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ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSIONAL ACCURACY AND COMPLIANCE TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR PROCEEDS TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

CHANGES FROM THE DRAWINGS AND SPECIFICATIONS OR THE MODIFICATION OF THE WORK WHICH IS DEEMED NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK, SHALL NOT BE RELEASED FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK BY VARIATION, CORRECTION OR OMISSION.

THE CONTRACTOR, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK BY VARIATION, CORRECTION OR OMISSION.

BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACTOR'S OBLIGATION TO COMPLY WITH THE CITY OF CUPERTINO'S LOCAL ORDINANCES, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT BE RELEASED FROM THE OBLIGATION TO COMPLY WITH THE CITY OF CUPERTINO'S LOCAL ORDINANCES, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT BE RELEASED FROM THE OBLIGATION TO COMPLY WITH THE CITY OF CUPERTINO'S LOCAL ORDINANCES, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT BE RELEASED FROM THE OBLIGATION TO COMPLY WITH THE CITY OF CUPERTINO'S LOCAL ORDINANCES.

NO.	DESCRIPTION	DATE	BY

PROGRESS

BUILDING OWNER APPROVAL
DATE: _____

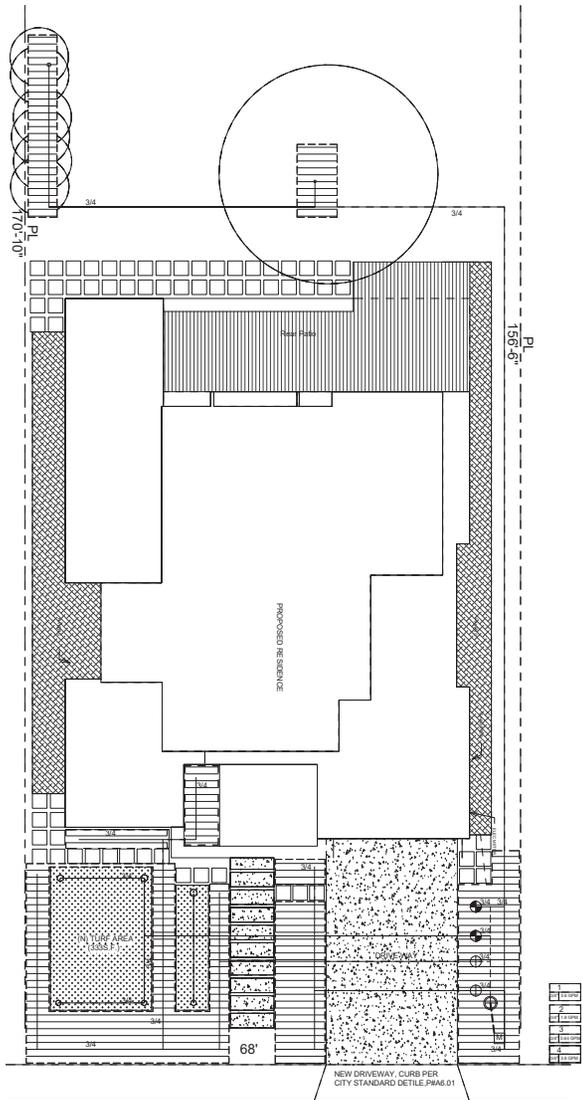
CITY/STATEMENT APPROVAL
DATE: _____

DESIGNER/ARCH. SIGNATURE
DATE: _____

KENNETH'S RESIDENCE

HYDROZONE PLAN

NORTH	DATE	PROJECT	SCALE	DRAWING
DRAWN	CHECKED	FLOOR	L0.2	



FILBERT WAY 60'

IRRIGATION NOTES

SCOPE
FURNISH ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT REQUIRED TO INSTALL THE IRRIGATION SYSTEM SPECIFIED ON THE PLANS.

PROTECTION
CALL DIG ALERT 811 TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY WORK.

DRAWINGS
THESE PLANS ARE SCHEMATIC. ACTUAL MAINLINE AND LATERAL LINES SHALL BE LOCATED IN LANDSCAPE BEDS IF POSSIBLE. ALL OTHER MAINLINE OR LATERALS UNDER PAVING AND/OR WALKWAYS SHALL BE SLEEVED IN SCH 40 PVC PIPE (2 TIMES THE DIAMETER OF THE ENCLOSED PIPE.)

GENERAL
ALL IRRIGATION EQUIPMENT SHALL BE NEW AND UNUSED.

PLASTIC PIPE AND FITTINGS
SHALL BE TYPE I POLY VINYL CHLORIDE. IT SHALL BE FREE FROM CRACKS OR DEFECTS.
MAINLINE SHALL BE SCH 40 PVC
LATERAL LINES SHALL BE CLASS 200 PVC.

WATER METER
NEW 3/4" WATER METER

SLEEVES
ALL MAINLINE OR LATERALS UNDER PAVING AND/OR WALKWAYS SHALL BE SLEEVED IN SCH 40 PVC PIPE (2 TIMES THE DIAMETER OF THE ENCLOSED LINE)

ALL CONTROL WIRES SHALL BE SLEEVED SEPARATELY FROM THE MAIN OR LATERAL LINES UNDER CONCRETE WALKS AND/OR DRIVEWAYS.

AUTOMATIC CONTROLLER
SEE IRRIGATION LEGEND FOR TYPE

PIPE AND CONTROL WIRE INSTALLATION
MAINLINES SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. LATERALS SHALL HAVE 12 INCHES OF COVER. LOCATE CONTROL WIRES UNDERNEATH MAINLINES.

DRIP TUBING
NET AFIM TECHLINE MAY BE PLACED IN TREE OR SHRUB RING FORMATION OR MAY BE LAID IN A GRID PATTERN AT 12 TO 18" O.C., WHICHEVER WILL PROVIDE AN EVEN AND ADEQUATE AMOUNT OF WATER TO THE PLANTS.

PRESSURE TESTING
AFTER ALL LINES ARE CONNECTED AND FLUSHED OUT. CAP ALL OUTLETS AND TEST MAINLINES AT A STATIC PRESSURE OF 50PSI FOR A CONTINUOUS 24 HOUR PERIOD. CHECK ALL JOINTS FOR LEAKS AND MAKE NECESSARY REPAIRS.

COVERAGE TEST
PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE ADJUSTED FOR COVERAGE AND PROPER FUNCTIONING.

GUARANTEE
IRRIGATION MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR.

IRRIGATION LEGEND			
WATER METER	SYMBOL	DESCRIPTION	SIZE
Quantity	1	WATER METER	3/4"
POINT OF CONNECTION	SYMBOL	DESCRIPTION	SIZE
Quantity	1	AT FRONT OF HOUSE	1/2" O.D. @ 50.00 PSI
CONTROLLERS	SYMBOL	DESCRIPTION	SIZE
Quantity	1	CONTROL RAIN DIAL-R R9000-EXT-R	9 ZONES
		CONTROL CLIMATE LOGIC WEATHER SENSOR	
PIPE (MAINLINE)	SYMBOL	DESCRIPTION	SIZE
Quantity	156'	SCHEDULE 40 PVC PIPE	2"
VALVES	SYMBOL	DESCRIPTION	SIZE
Quantity	8	RAIN BROTHERS BALL VALVE	3/4"
		HEATER PCV-075-ADJ	3/4"
		RAINBOW DMP PRESSURE REGULATOR & DMP FILTER	3/4"
PIPE (LATERAL)	SYMBOL	DESCRIPTION	SIZE
Quantity	50'	SCHEDULE 40 PVC PIPE	2"
PIPE (LATERAL)	SYMBOL	DESCRIPTION	SIZE
Quantity	156'	SCHEDULE 40 PVC PIPE	3/4"
DMP	SYMBOL	DESCRIPTION	SIZE
Quantity	4	HEATER PVP ROTATOR PFD00-80	6" PVP UP HEADS
		HEATER PVP ROTATOR PFD00-090	6" PVP UP HEADS
DMP	SYMBOL	DESCRIPTION	SIZE
Quantity	1	NETAFIM TECHLINECL. SIGNAL 12" O.C.	12mm



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BASH'S RESIDENCE
729 Filbert Way, CAMPPELL,
CA. 95008

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSIONS, QUALITY, MATERIALS AND COMPLIANCE TO THE EXISTING SITE. ANY DISCREPANCIES AND DEVIATED CONDITIONS MUST BE CORRECTED OR CHANGED PER WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO COMMENCEMENT OF WORK. UNLESS OTHERWISE SPECIFIED, ALL SUCH DISCREPANCIES ARE RESOLVED IF THE CONTRACTOR AGREES TO DO SO BEING RESPONSIBLE AT HIS OWN RISK.

ENGINEER FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS WARRANTED BY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS WHICH MAY BE FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH DUTIES OR BE DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND OBTAINING ALL NECESSARY APPROVALS FROM THE BUILDING OWNER PRIOR TO COMMENCEMENT OF ANY RELATED WORK.

NO.	DESCRIPTION	DATE	BY
1	CONTRACT	11-11-24	

PROGRESS

BUILDING OWNER APPROVAL
DATE: _____

CLIENT/OWNER APPROVAL
DATE: _____

KENNETH'S RESIDENCE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWFLO.

IRRIGATION PLAN
NORTH DATE PROJECT SCALE DRAWING

DRAWN CHK BY FLOOR L0.3

1 IRRIGATION PLAN
1/8" = 1'-0"



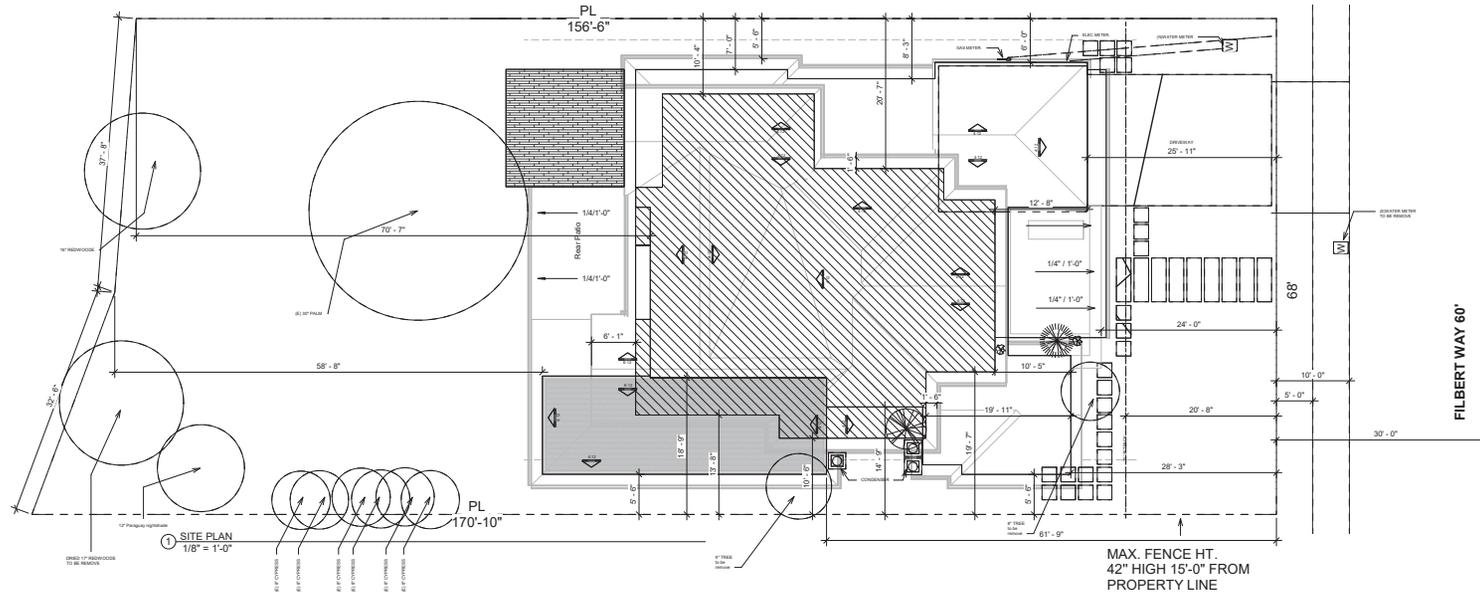
21088 HOMESTEAD DR
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TEL: (408) 442-8081
EMAIL: OFFICE@GOLDENGATEGROUP.COM

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729 Filbert Way, CAMPPELL,
CA. 95008

Impervious Surface Area:

FRONT YARD: 68'X-26'=1,768 SQF

IMPERVIOUS AREA: Walk Way(200)+ Drive way(470)=670/1,768 =38%<50%



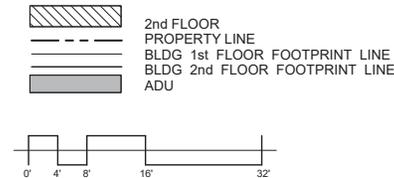
GRADING and DEMO NOTES:

- CONTACT PUBLIC WORKS, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
- ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- ALL NEW ELECTRICAL SERVICE (POWER, PHONE, AND OR CABLE) SHALL BE UNDER GROUND.
- TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
- ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
- PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
- PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL. WITH EXCEPTION:
 - IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
- (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

TREE PROTECTION NOTES:

- A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
- ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
- NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
- IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
- TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
- THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
- FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
- THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
- ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
- NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
- TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

LEGEND:



ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR PROVISION LOCAL STREET AND ADJACENT TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE DESIGN DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE GOLDEN GATE GROUP IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE UNIT PRICE AND COMPLETE SET FORMS PROVIDED BY THE CONTRACTOR UNLESS OTHERWISE PROVIDED BY THE CONTRACTOR'S OWNERS.

HATCH LEGEND
BASED UPON THE DRAWINGS AND SPECIFICATIONS FOR THE DESCRIPTION OF THE WORK WHICH IS MANIFESTED NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE INTENT OF THE ARCHITECT/ARBORIST AND SHALL BE RESPONSIBLE FOR THE WORK OF INTERPRETATION OF DRAWINGS.

NOTE: CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY CONDITIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF EXTRACTING THE WORK OF INTERPRETATION OF DRAWINGS.

NO.	DESCRIPTION	DATE	BY
1	6308 110 -	11-11-2011	

PROGRESS	
BUILDING OWNER APPROVAL DATE:	DESIGNER / ARCH SIGNATURE DATE:

KENNETH'S RESIDENCE

SITE PLAN			
NORTH	DATE	PROJECT NO.	SCALE
DRAWN	CHK BY	FLOOR	A0.1



GOLDEN GATE GROUP
Architectural & Construction

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BASH'S RESIDENCE
729 Filbert Way, CAMPPELL,
CA. 95008

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE DESIGNED FOR DIMENSION, GRADE, LETTER AND COMPLIANCE TO THE EXISTING SITE. ANY DISCREPANCIES AND UNRESOLVED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY UPON DISCOVERY OF SUCH DISCREPANCIES OR UNRESOLVED CONDITIONS. UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED BY THE CONTRACTOR'S CHOICE TO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH DUTIES OR BE DESCRIBED DETAILS OF THE WORKS AS FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

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NO.	DESCRIPTION	DATE	BY
PROGRESS:			
BUILDING OWNER APPROVAL DATE:		DESIGNER AND/OR SIGNATURE DATE:	
CLIENT/TENANT APPROVAL DATE:		DESIGNER AND/OR SIGNATURE DATE:	

"KENNETH'S RESIDENCE"

EXISTING FLOOR PLAN			
NORTH	DATE	SCALE	DRAWING
			A1.1
DRAWN	CHECKED	FLOOR	

GARAGE

① EXISTING FLOOR PLAN
1/4" = 1'-0"

WALL

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED/WDW. OR DR. TO INFILL

- INTERIOR ENVIRONMENT**
1. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1/150 OF UNDER FLOOR AREA. (R408.1)
- BUILDING ENVELOPE**
1. DAMPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1.
2. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R011.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

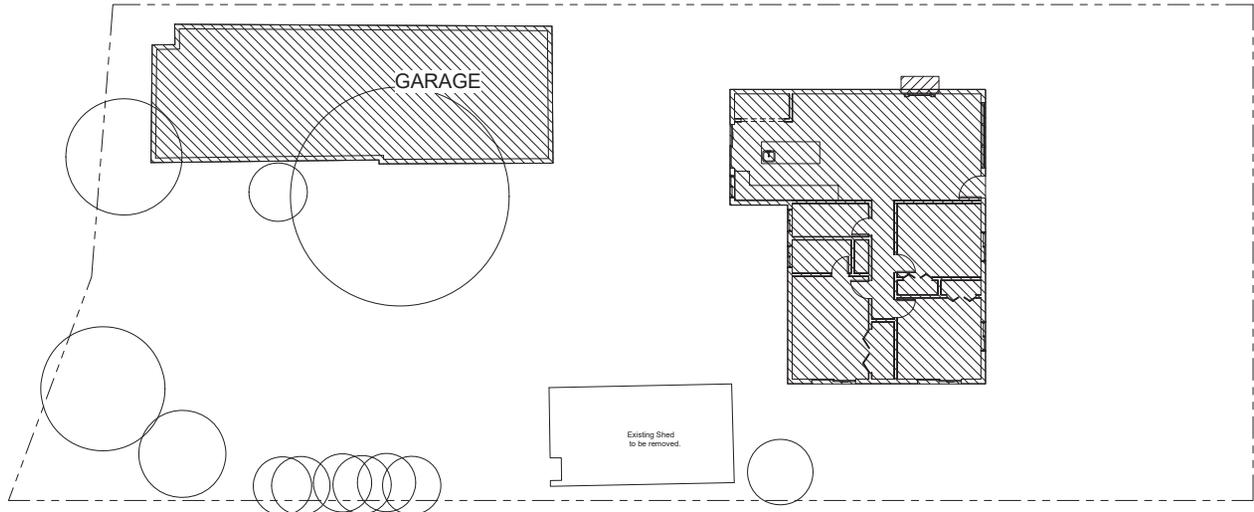


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BASHI'S RESIDENCE
729 Filbert Way, CAMPBELL,
CA. 95008

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CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SPECIFICATIONS FOR THE WORK WHICH IS SHOWN IN THE DRAWINGS AND SHALL BE RESPONSIBLE FOR OBTAINING THE SAME. THE CONTRACTOR SHALL NOT RELY ON THE ARCHITECT FOR THE OBTAINING OF SUCH PERMITS OR SPECIFICATIONS UNLESS SO INDICATED IN THE DRAWINGS AND SPECIFICATIONS.
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All Existing Structural to be removed.



① DEMOLITION PLAN
1/8" = 1'-0"

NO.	DESCRIPTION	DATE	BY

PROGRESS

BUILDING OWNER APPROVAL
DATE: _____

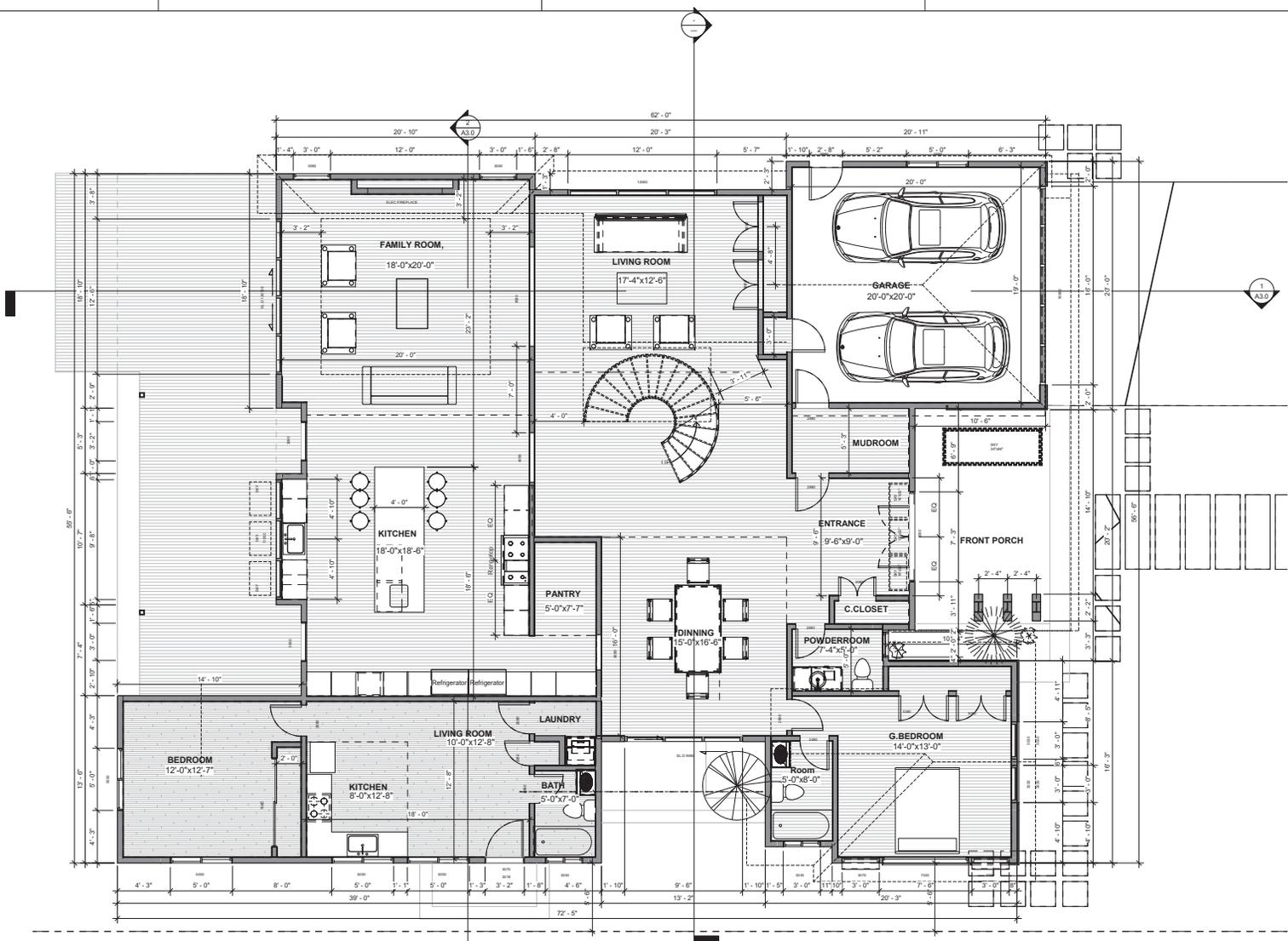
CLIENT/REMY APPROVAL
DATE: _____

RESPONSIBLE ARCHITECT SIGNATURE
DATE: _____

KENNETH'S RESIDENCE

DEMOLITION PLAN			
NORTH	DATE	PROJECT NO.	SCALE

DRAWN	CHECKED	FLOOR	AD.1



LEGEND:



⊕ PROPOSED FLOOR PLAN
1/4" = 1'-0"



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CA. 95008

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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CUPERTINO AND THE COUNTY OF SANTA CLARA. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS FROM ANY OTHER AGENCIES UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS.

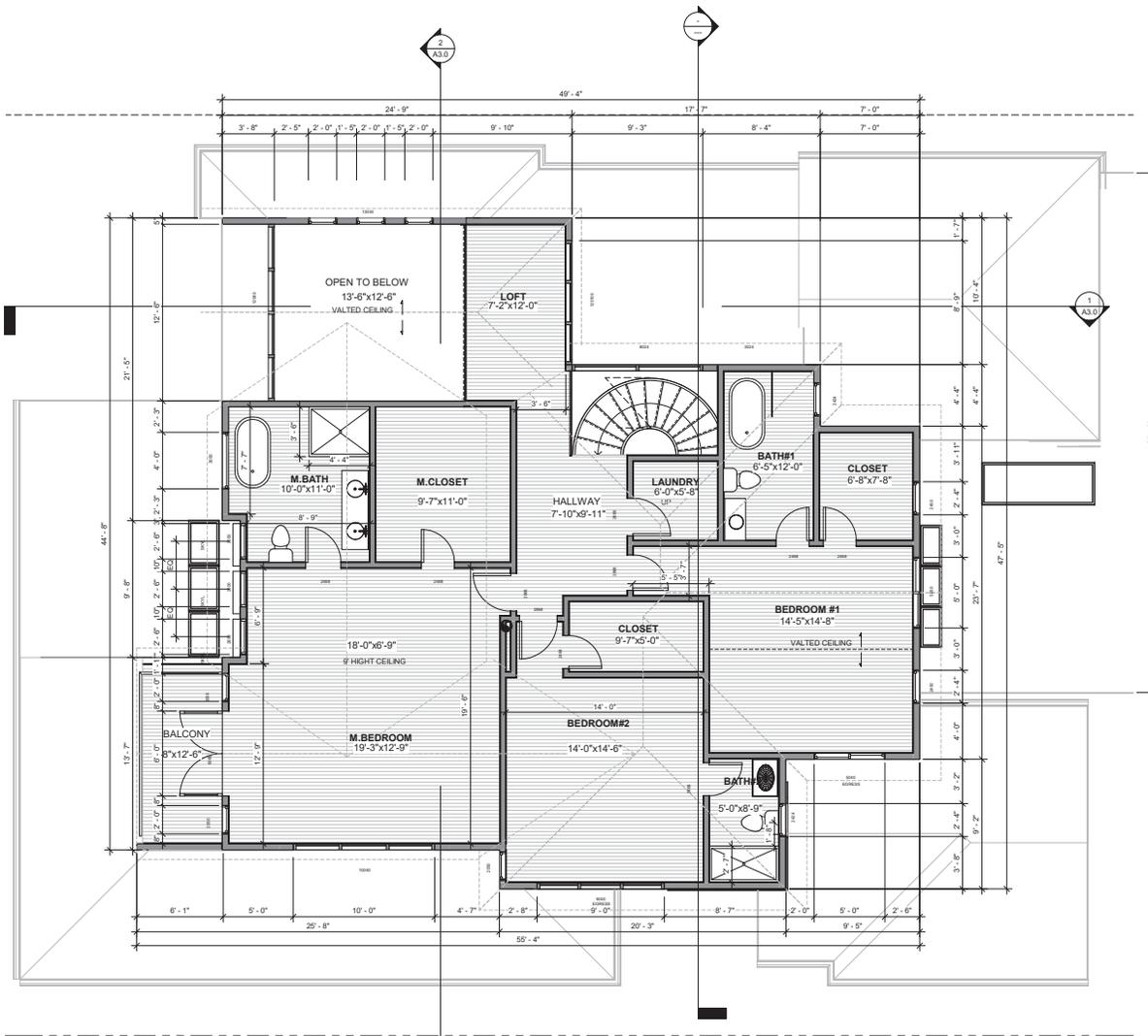
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NO.	DESCRIPTION	DATE	BY
1	ADD		

PROGRESS	
BUILDING OWNER APPROVAL DATE:	DESIGNER/ARCHITECT SIGNATURE DATE:

KENNETH'S RESIDENCE

PROPOSED FLOOR PLAN			
NORTH	DATE	PROJECT NO.	SCALE
DRAWN	CHECKED	FLOOR	A1.2

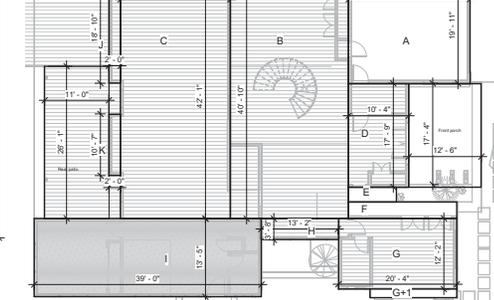


FLOORS	SPACES	SIZE	AREAS(SQF)	TOTAL
GARAGE	A	20'-0\"/>		

TOTAL BUILDING AREA 4,859

1ST FLOORS	SPACES	SIZE	AREAS(SQF)	TOTAL
	Front porch	12'-6\"/>		

1 1/2\"/>



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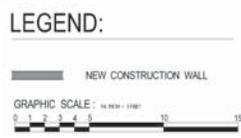
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NO.	DESCRIPTION	DATE	BY
1	PROGRESS		

BUILDING OWNER APPROVAL DATE: _____

CLIENT/ARCHITECT APPROVAL DATE: _____

KENNETH'S RESIDENCE

PORPOSED SECOND FLOOR

NORTH DATE PROJECT SCALE DRAWING

DRAWN	CHECKED	FLOOR	A1.3
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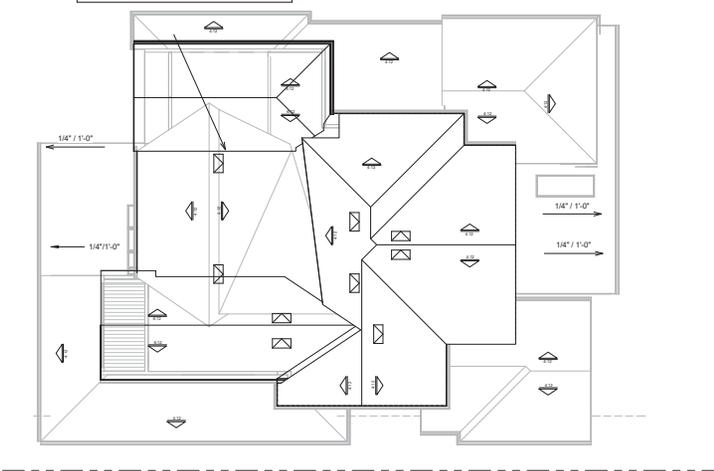
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CUPERTINO, CA. 95014
TEL: (408) 442-8081
WWW.GGAGROUPARCHITECT.COM

**RESIDENTIAL ADDITION:
15750 Oakridge Court, LL,
Morgan Hill, CA**

ATTIC VENTILATION CALCULATION:	
NEW ROOF AREA:	3,172 S.F.
VENTILATION REQ: 3.172/300 =	10.57 S.F.
(AT 1/300 W/50% VENTS HIGH & 50% LOW)	
VENTILATION PROVIDED:	
LOW VENTS (8)@ 34 S.F.=	2.72 S.F.
HIGH VENTS (8)@ 34 S.F.=	2.72 S.F.



TYP. EYE BROW ROOF VENTS
.34S.F. FREE AIR MIN. EA. VENT



1 ROOF PLAN
1/8" = 1'-0"

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, SCALE, LETTER AND COMPLETENESS TO THE EXISTING SITE. ANY DISCREPANCIES AND DELETED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY UPON DISCOVERY BY THE CONTRACTOR. UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR PROCEEDS TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.
DISCREPANCIES FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK OR BE DESCRIBED IN FULL OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
SITE CONDITIONS, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK AS VISIBLE TO CONTRACTOR OR DESIGNER.
BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACTOR'S OBSERVATIONS, THE CONTRACTOR OR SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN WRITING AND RETAIN WRITTEN EVIDENCE FROM GOLDEN GATE GROUP ARCHITECT PRIOR TO PROCEEDING WITH ANY RELATED WORK.

NO.	DESCRIPTION	DATE	BY
1	ADD		

PROGRESS

BUILDING OWNER APPROVAL DATE: _____

CLIENT/OWNER APPROVAL DATE: _____

DESIGNER/ARCH. SIGNATURE: _____

KENNETH'S RESIDENCE

ROOF PLAN			
NORTH	DATE	PROJECT/SCALE	DRAWING
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DRAWN	CHECKED	FLOOR	A1.4

- ROOF SLOPE**
- ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN DRAWING.
 - ALL FLAT ROOFS AND BALCONIES SHALL SLOPE A MINIMUM OF 1/4" : 12" TOWARD DRAINS.
 - IN THE ABSENCE OF SLOPES SHOWN ON STRUCTURAL DRAWINGS OR ARCHITECTURAL DRAWINGS, ROUGH CARPENTER SHALL PROVIDE REQUIRED SHIMMING BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN.
 - NO OBSTACLE SHALL PREVENT WATER FLOW TOWARD DRAINS OF 2% TOWARD DRAINS.

- ROOF PENETRATION**
- VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
 - ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS.
 - CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATION SHALL BE PROVIDED WITH W.R. GRACE 4000 BITUMETHENE WRAPPINGS AND 24 GA. GALVANIZED METAL FLASHING AND COUNTER FLASHING. ALL JOINTS AT SHEET METAL SHALL BE CAULKED.
 - COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT.

- GUTTERS AND ROOF DRAINS**
- GUTTERS SHALL BE CONSTRUCTED OF 24 GA. COPPER METAL WITH 5/8" EXPANSION JOINTS EVERY 30 FEET MAXIMUM.
 - GUTTERS SHALL SLOPE 1/16" PER FOOT TOWARD RAIN WATER LEADERS.
 - UNLESS SPECIFIED OTHERWISE, RAIN WATER LEADERS ARE EXPOSED AND LOCATION IS SHOWN ON ROOF PLAN.
 - PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER.
- NOTE: ALL ROOF DRAINS SHALL CONNECT TO SUBSURFACE DRAINAGE SYSTEM WHICH SHALL DISCHARGE AT STREET.



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BASH'S RESIDENCE
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CA. 95008



① FRONT ELEVATION1
1/4" = 1'-0"



② REAR ELEVATION1
1/4" = 1'-0"

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CONTRACTOR SHALL VERIFY DIMENSIONS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO COMPLY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS WHICH MAY BE DISCOVERED AT THE WORKSITES IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

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1	NO	NO	NO
NO	DESCRIPTION	DATE	BY

PROGRESS	
BUILDING OWNER APPROVAL DATE:	DESIGNER ARCH. SIGNATURE DATE:
CUSTOMER APPROVAL DATE:	DESIGNER ARCH. SIGNATURE DATE:

KENNETH'S RESIDENCE			
EXTERIOR ELEVATIONS			
NORTH	DATE	PROJECT NO.	SCALE
DRAWN	CK'D BY	FLOOR	A2.0



2 NORTH ELEVATION1
1/4" = 1'-0"



1 SOUTH ELEVATION2
1/4" = 1'-0"



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EMAIL: OFFICE@GOLDENGATEGROUP.COM

RESIDENTIAL : INCE
7503 KENNETH AVE; PELL,
(CAMPELL, CA. 95008

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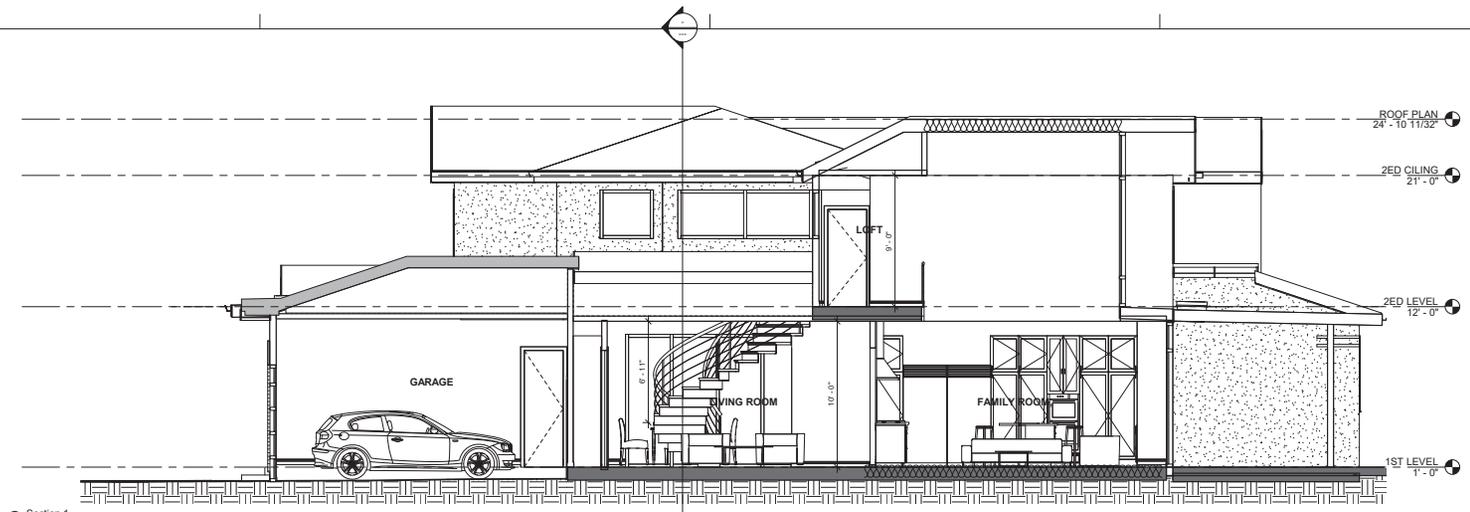
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1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



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CA. 95008

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OWNER'S FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO COMPLY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR SUCH OMISSIONS OR DISCREPANCIES DETAIL OF THE WORKS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE CONTRACTOR'S OBLIGATION TO THE OWNER. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS OR FOR ANY DISCREPANCIES OR OMISSIONS IN THE WORKS UNLESS SUCH DISCREPANCIES OR OMISSIONS ARE IDENTIFIED BY THE CONTRACTOR OR SUB-CONTRACTOR PRIOR TO PROCEEDING WITH ANY RELATED WORK.

NO.	DESCRIPTION	DATE	BY
PROGRESS			
BUILDING OWNER APPROVAL DATE:		DESIGNER ARCH. SIGNATURE DATE:	

KENNETH'S RESIDENCE

SECTIONS & STREET VIEW			
NORTH	DATE	PROJECT NO.	SCALE



STREET VIEW



Existing View



EXTERIOR MATERIAL SCHEDULE

TITLE	TYPE	INFO
ROOF	TILE ROOFING	US TILE/ CARMEL BLEND
SIDING	STUCCO	SMOOTH/BEIGE
SIDING	HARDWOOD	Cumaru 1x6 Siding
EXTERIOR TRIM	SQR. EDGE - 4" HT. X 2" DPT.	DECORAMOULD/WHITE
GARAGE DOOR	CLOPAY	BROWN COLOR
DOOR	Feather River Doors	BROWN COLOR
WINDOWS	MILGARD	TUSCANY /BROWN

STUCCO



TILE ROOFING



GARAGE DOOR



Cumaru 1x6 Siding



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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL NOT RELIEVE THE CONTRACTOR FROM OBTAINING SUCH PERMITS OR BE RESPONSIBLE FOR THE WORK AS FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

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NO.	DESCRIPTION	DATE	BY
1	CONTRACT		

PROGRESS	
BUILDING OWNER APPROVAL DATE:	DESIGNER/ARCHITECT SIGNATURE DATE:

KENNETH'S RESIDENCE

SAMPLED BOARD			
NORTH	DATE	PROJECT	SCALE

DRAWN	CHECKED	FLOOR	SCALE



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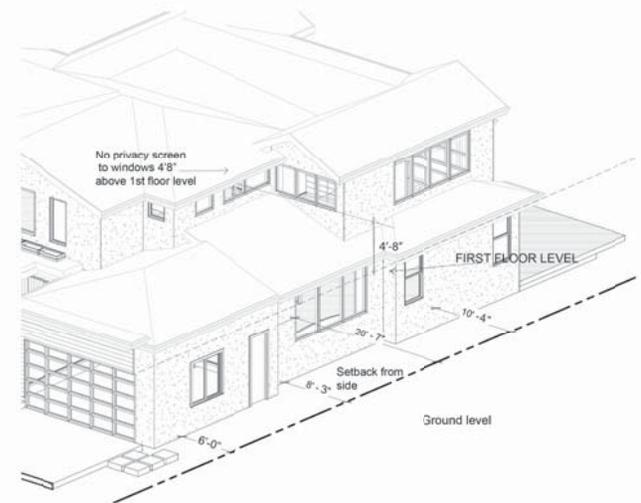
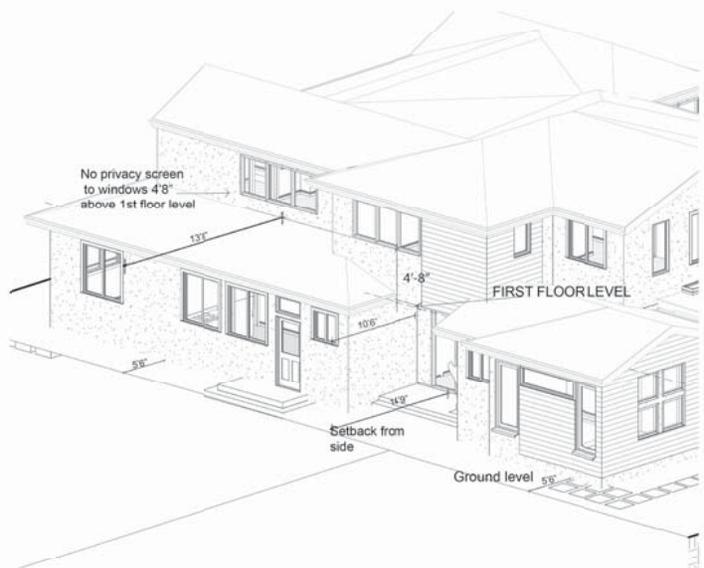
BASHI'S RESIDENCE
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CA. 95008

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ENGINEER FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE ENGINEER'S SIGNATURE, FEE STAMP, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK OR BE DESCRIBED IN DETAIL OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK AS VISIBLE TO CONTRACTOR OR DESIGNER.

BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACTOR'S OBSERVATION OF THE EXISTING CONDITIONS OR DISCREPANCIES, THE CONTRACTOR OR DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OBTAINING NECESSARY RESOLUTION FROM GOLDEN GATE GROUP AND DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.



② SOUTH ELEVATION2 Copy 1
1/8" = 1'-0"



① NORTH ELEVATION1 Copy 1
1/8" = 1'-0"

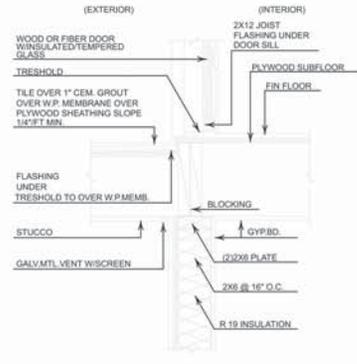
1	2024-08-15	N-10-204
NO	DESCRIPTION	DATE BY

PROGRESS	
BUILDING OWNER APPROVAL DATE:	DESIGNER/ ARCH. SIGNATURE DATE:
CUSTOMER APPROVAL DATE:	

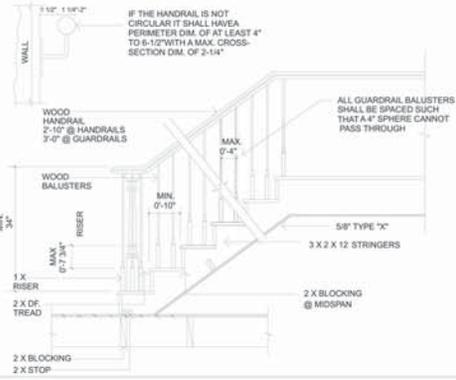
KENNETH'S RESIDENCE

PRIVACY PLAN			
NORTH	DATE	PROJ. NO.	SCALE
DRAWN	CHK'D BY	FLOOR	A4.2

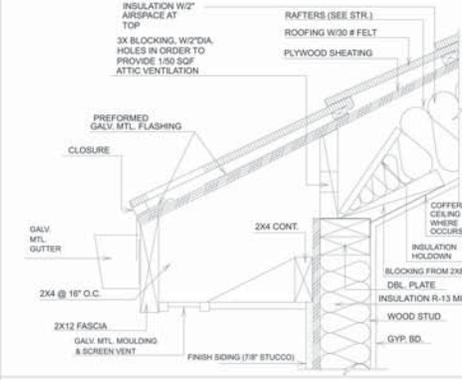
MAX. 1 1/2" HEIGHT OF THRESHOLD ABOVE FLOOR AT EXTERIOR DOORS



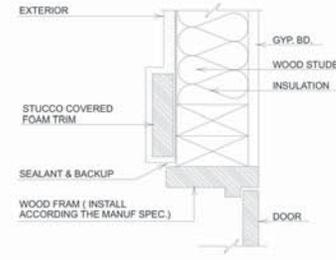
D1 - ROOF DECK ASSEMBLY



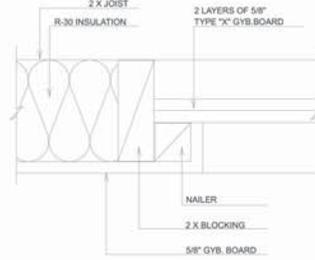
D4 - HANDRAIL DETAIL



D7 - EAVE DETAIL



D2 - EXTERIOR DOOR DETAIL



3- ROOF / WALL FLASHG.SS DETAIL

Figure A

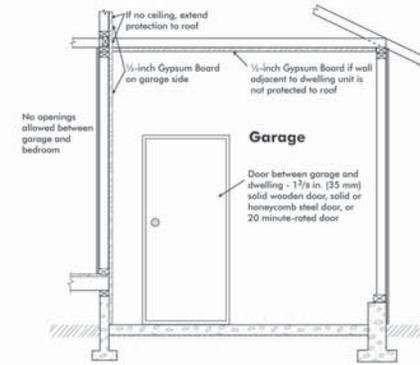
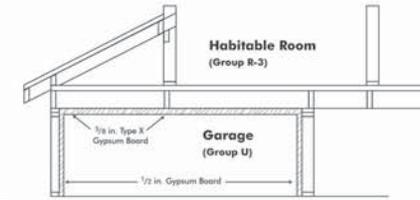


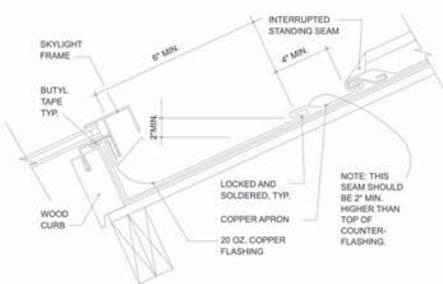
Figure B



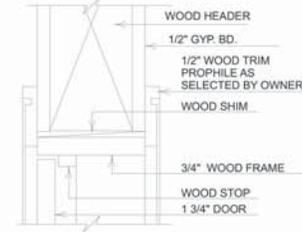
1- TYP. EAVE

D8 - GARAGE SEPARATION DETAIL

SKYLIGHT SHALL BE INSTALLED ON A CURB.



D3 - SKYLIGHT DETAIL



D6 - INTERIOR DOOR DETAIL



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1	CONTR.	11-11-20
NO	DESCRIPTION	DATE BY

PROGRESS	
BUILDING OWNER APPROVAL DATE:	
CLIENT/OWNER APPROVAL DATE:	
DESIGNER/ARCH. SIGNATURE DATE:	

KENNETH'S RESIDENCE

ARCHITECTURAL DETAILS			
NORTH	DATE	PROJECT/SCALE	DRAWING