



CITY OF CAMPBELL
Community Development Department

March 12, 2020

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

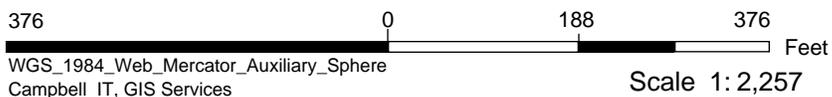
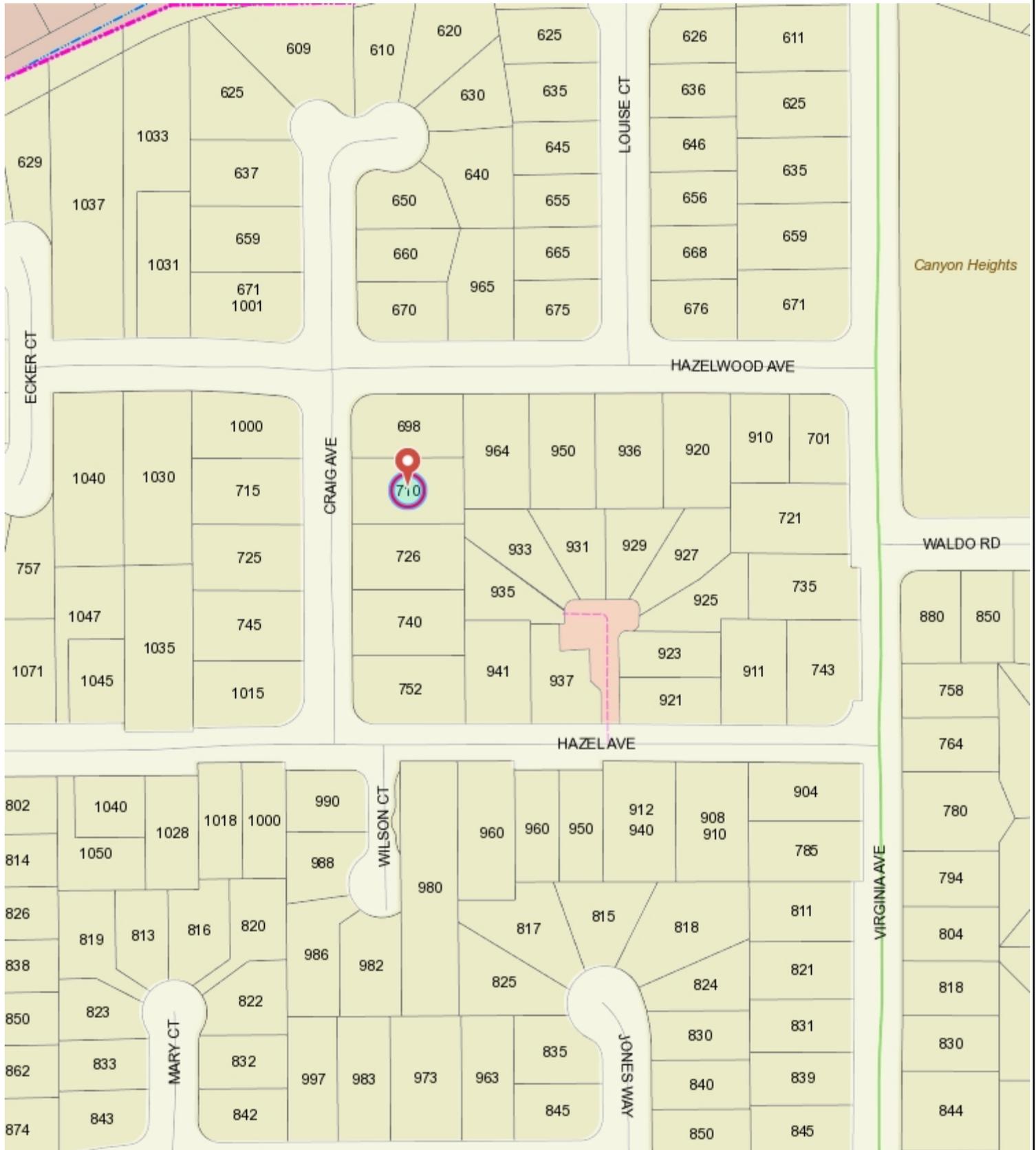
File No.: PLN2019-178
Applicant: Sanjay Jain
Project Address: 710 Craig Ave
Property Owner: Sanjay Jain
Zoning District: R-1-6 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: New approximately 4,113 sq ft two-story single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 12, 2020 and ends on March 23, 2020. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 23, 2020**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Naz Pouya Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email NazH@campbellca.gov.



710 Craig Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

owner
Manisha
& Sushama

CITY OF CAMPBELL

BUILDING INSPECTION DIVISION - COMMENTS TO THE DEVELOPMENT REVIEW COMMITTEE

DR: September 24, 2019

ADDRESS: 710 Craig Ave. Project Application: PLN2019-00178

RECOMMENDATION:

Note: No building code issue has been reviewed at Development Review Committee; it will be reviewed in the Building Permit process. Please be aware that building codes are changing constantly; plans submitted for building permit shall comply with the code in effect at that time. Submit permit application together with required documents to the Building Inspection Division to obtain a building permit. No construction can be commenced without an appropriate building permit.

It is recommended that this item be forwarded to the Planning Commission for review, with the following conditions.

TO THE SATISFACTION OF THE BUILDING DIVISION MANAGER/BUILDING OFFICIAL:

- PERMITS REQUIRED:** A building permit application shall be required for the proposed new single family dwelling structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
- PLAN PREPARATION:** This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be "wet stamped" and signed by the qualifying professional person.
- CONSTRUCTION PLANS:** The conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
- SIZE OF PLANS:** The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.
- SOILS REPORT:** Two copies of a current soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the building permit application. This report shall be prepared by a licensed engineer specializing in soils mechanics.
- SITE PLAN:** Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall

1:Building DR-C Comments 710 Craig Ave.doc

also include site drainage details. Elevation bench marks shall be called out at all locations that are identified as "natural grade" and intended for use to determine the height of the proposed structure.

- FOUNDATION INSPECTIONS:** A paid certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:
 - pad elevation
 - finish floor elevation (first floor)
 - foundation corner locations
- SPECIAL INSPECTIONS:** When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permit, in accordance with C.B.C. Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
- The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" X 36") is available at the Building Division service counter.
- APPROVALS REQUIRED:** The project requires the following agency approval or consultation prior to issuance of the building permit:
 - West Valley Sanitation District (378-2407)
 - Santa Clara County Fire Department (378-4010)
 - San Jose Water Company (408) 279-7900 (Customer Service)
 - School Districts:
 - Campbell Union School District (378-3405)
 - Campbell Union High School District (371-0960)
 - Montalvo School District (379-1370)
 - Castroville School District (372-3101)

Note: To Determine your district, contact the offices identified above. Obtain the School District payment form from the City Building Division, after the Division has approved the building permit application.
- P.G.&E.:** Applicant is advised that Secondary Dwelling Units on Residential lots are not able to have separate electrical and gas service. Gas and Electric service must be provided from the services associated with the main residential structure.

2:Building DR-C Comments 710 Craig Ave.doc

- CALIFORNIA GREEN BUILDING CODE:** This project is subject to the mandatory requirements for new residential structures (Chapter 4) under the California Green Building Code, 2016 edition.
- CONSTRUCTION FENCING:** This project shall be properly enclosed with construction fencing to prevent unauthorized access to the site during construction. The construction site shall be secured to prevent vandalism and/or theft during hours when no work is being done. All protected trees shall be fenced to prevent damage to root systems.
- AUTOMATIC FIRE SPRINKLER SYSTEMS:** This project shall comply with Section R313 of the California Residential Building Code 2016 edition, and be equipped with a complying Fire Sprinkler system.
- STORM WATER REQUIREMENTS:** Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.
- DEMOLITION PERMIT:** A Demolition permit shall be obtained for all structures proposed to be removed prior to the construction of this project.

3:Building DR-C Comments 710 Craig Ave.doc

SINGLE
FAMILY
HOUSE

710 CRAIG AVE.,
CAMPBELL, CA 95008
PROJECT

NEW BUILD

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T: 408.431.2952
AA.HomeDesignBuild@gmail.com

CONDITIONS
OF APPROVAL



DATE: 08.12.19
DRAWN: AA
SCALE: AS SHOWN
SHEET

A-1-3
OF 10 SHEETS

MEMORANDUM

CITY OF CAMPBELL

TO: Cindy McCormick, Senior Planner DATE: 9/20/19

FROM: Roger Storz, Senior Civil Engineer (408) 866-3190 PRS

SUBJECT: PLANNING APPLICATION

Site Address: 710 Craig Avenue
Per File No(s): PLN2019-178
Project Description: New Single Family Home

PUBLIC WORKS DEPARTMENT CONDITIONS OF APPROVAL

- The scope of this project triggers the requirement for Frontage Improvements as required by Campbell Municipal Code 11.24.040. However, per the San Tomas Area Neighborhood Plan, Craig Avenue has been designated to remain unimproved and as such the applicant will not be required to construct new curbs, gutters or sidewalks. However, the proposed AC driveway conform to the public right-of-way will require the applicant to submit for an Encasement Permit.
- Encasement Permit/Fees/Deposit:** Prior to issuance of the Building permit, the applicant shall obtain an encasement permit (including fees, surety and insurance) for construction of the proposed AC driveway conform to the existing edge of pavement.
- Storm Drain Area Fee:** Prior to issuance of any grading or building permits for the site, the applicant shall pay the required Storm Drain Area fee, currently set at \$2,120.00 per net acre, which is \$456.00.
- The following conditions only apply if the applicant has a need to install / upgrade utility services (water, sewer, gas, etc.) in the street:
 - Utility Encasement Permit:** Separate permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
 - Utility Coordination Plan:** Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the locations and size of all existing utilities and the associated main lines, indicate which utilities and services are to remain, which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.

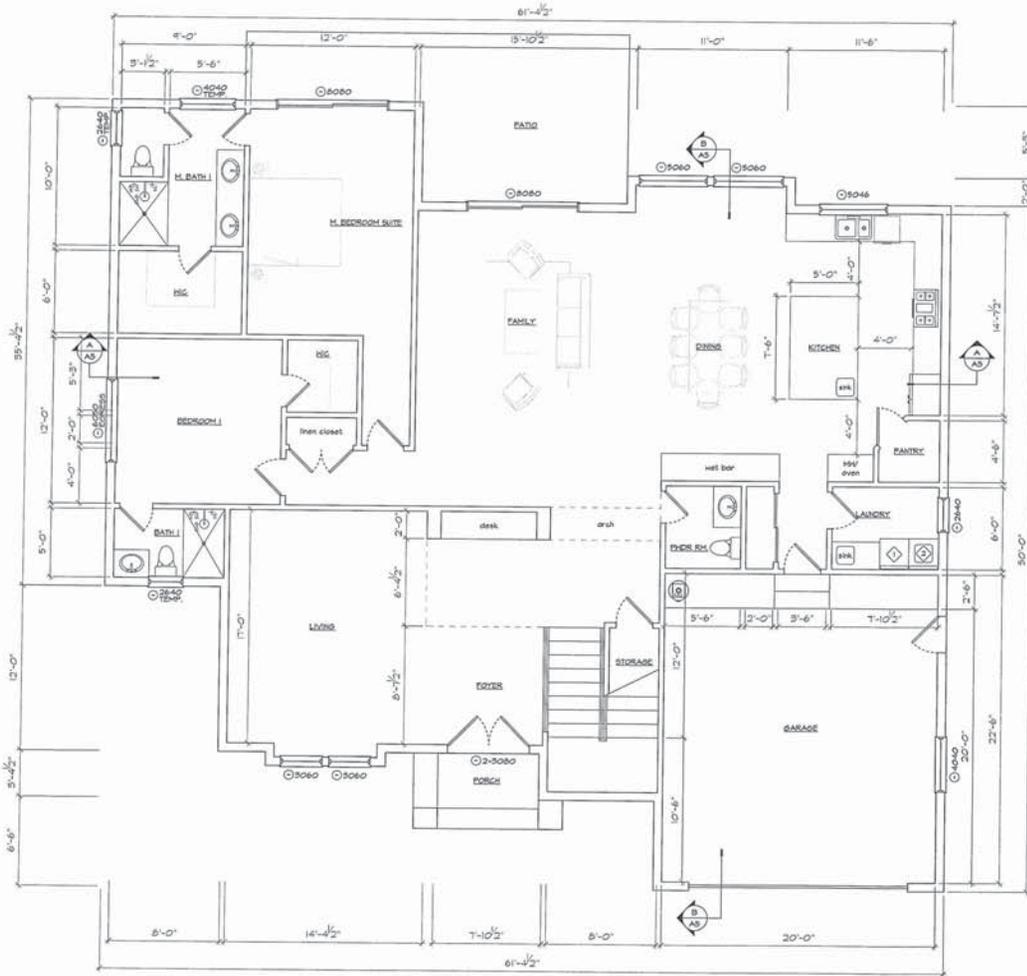
4:LandDev/Conditions/Plan/Craig 710.doc Page 1 of 2

710 Craig Avenue (PLN2019-178)

- Pavement Restoration:** Craig Avenue has recently received a pavement treatment; therefore the project will be subject to the City's Street Curb Maintenance. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Curb Maintenance. The City's Pavement Maintenance Program website (<http://www.ci.campbell.ca.us/212>) has detailed information on the streets currently under maintenance and the enhanced restoration requirements.
- Stormwater Pollution Prevention Measures:** Prior to issuance of any grading or building permit, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2001. *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* ("Using Site Design Techniques") by BASMAA, 2001.

5:LandDev/Conditions/Plan/Craig 710.doc Page 2 of 2



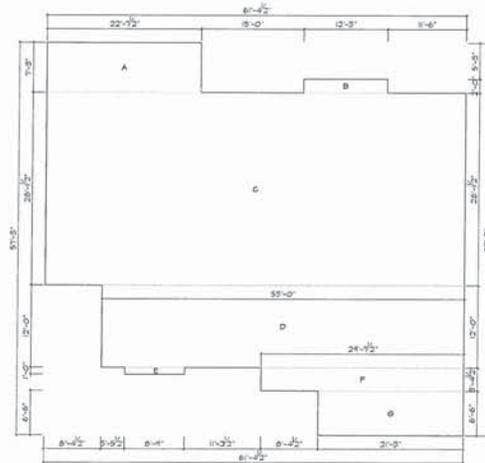
PROPOSED 1st FLOOR PLAN - 2,798 S.F. INCL. GARAGE

SCALE 1/4" = 1'-0"



AREA CALCULATIONS:

- A. 164.05 SF
- B. 24.50 SF
- C. 1726.11 SF
- D. 656 SF
- E. 8.75 SF
- F. 49.45 SF
- G. 196.15 SF
- 2,791.56 SF**



1st FLOOR AREA CALCULATIONS

SCALE 1/8" = 1'-0"

SINGLE FAMILY HOUSE

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SHEET TITLE

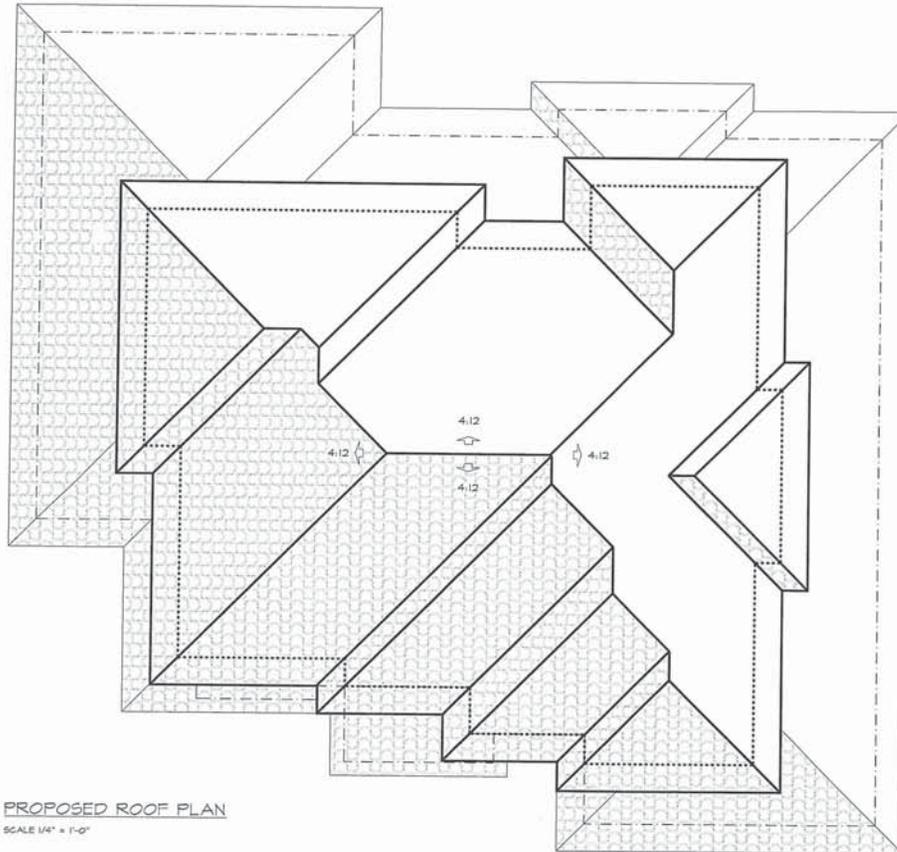
**PROPOSED
1ST FLOOR PLAN**

REVISION

- △
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DATE	08.13.19
DRAWN	JAA
SCALE	AS SHOWN
SHEET	

owner
 Manisha
 & Sushama



PROPOSED ROOF PLAN
 SCALE 1/4" = 1'-0"

LEGEND & NOTES :

D.S.
 DOWN SPOUT

FLASH BLOCK & COBBLISTONES TYP FOR ALL DOWN SPOUTS TO REDUCE VELOCITY OF ROOF WATERS TO PREVENT EROSION LANDSCAPE AREAS.

RAINWATER LEADERS FROM ROOF GUTTERS SHALL NOT BE PIPED DIRECTLY TO THE STORM DRAIN. THEY SHALL BE CONNECTED TO AN EXTERIOR SHALES AND AREA GRABBS CONNECTED TO THE STORM DRAIN SYSTEM OR A COMPARABLE METHOD TO EFFECTIVELY REDUCE THE ENTRY OF POLLUTANTS INTO STORM WATER RUNOFF.

ROOF NOTES:

FRAMING - CONVENTIONAL ROOF FRAMING
 ROOF PITCH - 4:12
 ROOFING - CORIC ROOF TILE OR 30# FELT
 DECKING - OSB ROOF SHEETING (SEE SHEAR SCHEDULE)
 FASCIA - 3/4" MOOD FASCIA BOARD TYP AT EAVES PAINTED
 GUTTER & DS- ALUMINUM
 SOFFITS - CLOSED MOOD SOFFIT w/ GALV. METAL SCREENED VENT

CONCRETE TILE ROOFING MATERIALS INSTALLED ON ROOFS WITH 2.5:12 TO 4:12 ROOF SLOPES ARE REQUIRED TO HAVE DOUBLE UNDERLAYMENT APPLICATION. (IRC R905.3.5.1)

SINGLE
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SHEET TITLE

PROPOSED
 ROOF PLAN

REVISION

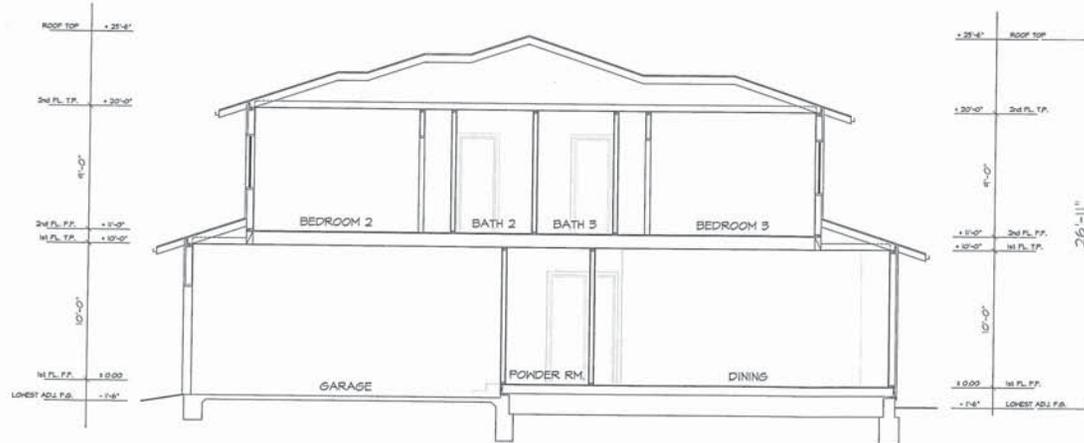
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DATE 08.13.19
 DRAWN SA
 SCALE AS SHOWN
 SHEET

owner
Manisha
& Sushama



SECTION A-A
SCALE 1/4" = 1'-0"



SECTION B-B
SCALE 1/4" = 1'-0"

SINGLE
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SHEET TITLE

SECTIONS

REVISION



DATE 08.13.19
DRAWN AA
SCALE AS SHOWN
SHEET

A-5

OF 18 SHEETS

owner
Manisha
& Sushama

SINGLE
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SHEET TITLE

ELEVATIONS

REVISION



DATE 08.13.19
DRAWN AA
SCALE AS SHOWN
SHEET

A-6
OF 10 SHEETS



PROPOSED FRONT ELEVATION

SCALE 1/4" = 1'-0"

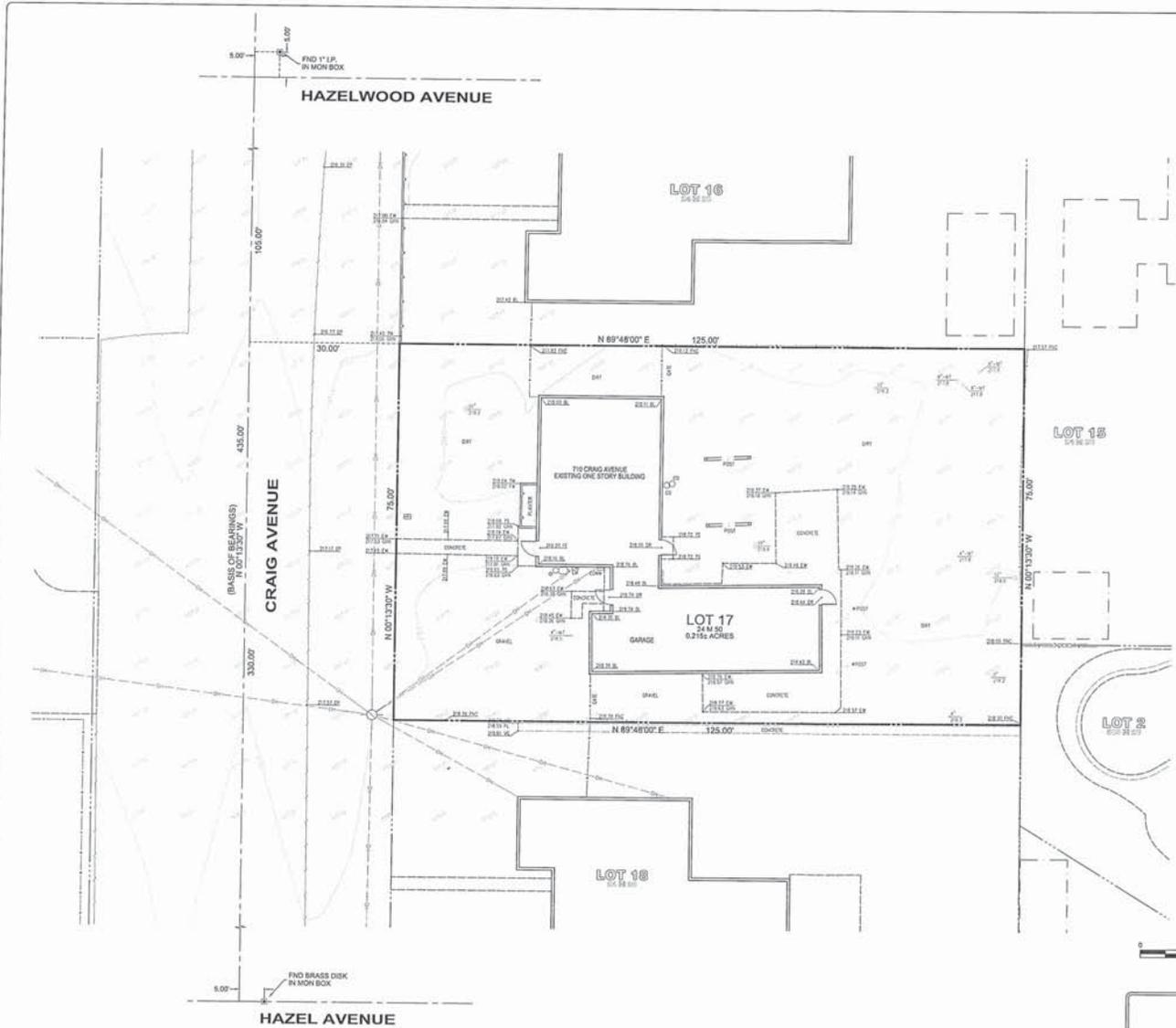
EXTERIOR ELEVATION AND SITE NOTES

1. EXTERIOR WALL: STUCCO O/ 2 LAYERS TYPE 57 PAPER OR PLYWOOD SHEATHING (BRIDGE) LIGHT BROWN COLOR & TEXTURE VERIFY WITH OWNER
2. ROOFING: CONC. TILES (EAGLE TILES - CAPSTRAND - 50% SAN RAMON RANGE)
3. WINDOWS: MILBARD VINYL DUAL PANE WHITE SIM. (SEE SCHEDULE)
4. WINDOW TRIM: STUCCO PDAM 2X (DARK BROWN COLOR - VERIFY WITH OWNER)
5. GUTTER: ALUMINUM FASCIA (DARK BROWN COLOR - VERIFY WITH OWNER)
6. FASCIA BOARD: PAINTED (DARK BROWN COLOR - VERIFY WITH OWNER)
7. HALL TO ROOF FLASHING: GALV. METAL PAINTED



PROPOSED REAR ELEVATION

SCALE 1/4" = 1'-0"



- NOTES**
- All distances shown herein are in U.S. Survey feet and decimals thereof.
 - This boundary and easements shown on this survey was based solely on the following recorded documents:
Tract No. 666 filed for record on December 13th, 1949 in Book 24 of Maps at Pages 50, Santa Clara County Records.
No liability is assumed for matters of record not shown on said document that may affect the boundary lines, exceptions, or easements affecting the property.
 - The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
 - A.P.N.: 024-00-017
 - Basis of Bearings:
The bearing of North 00°13'30" West taken on the centerline of Craig Avenue as shown on that certain Map of Tract No. 666 filed for record on December 13, 1949 in Book 24 of Maps at Pages 50, Santa Clara County Records was taken as the Basis of all Bearings shown herein.
 - Benchmark:
City of Campbell Benchmark "BM 58".
Found Brass Disk in top of curb at Northeast corner of Virginia Avenue and Watto Road, at east end of curb return.
Elevation: 211.602 feet. (Vertical) (Datum) NAVD 1988
 - Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 06033R 0229H, dated May 18, 2009, as being located in Flood Zone "1".
Areas in which flood hazards are undetermined but possible.
Information was obtained from the FEMA website (www.fema.gov) on August 26, 2019.

ABBREVIATIONS

BL	BUILDING
CO	CLEAN OUT
COMM	COMMUNICATIONS BOX
DR	DOOR
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EW	EDGE OF WALK
FF	FINISH FLOOR
FL	FLOW LINE
FW	FACE OF WALL
GRN	GROUND
TS	TOP OF STEP
VG	VALLEY GUTTER

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
BUILDING LINE W/ DOOR	---
BUILDING OVERHANG	---
FOUND MONUMENT AS NOTED	■
FOUND IRON PIPE OR AS NOTED	●
STREET LIGHT	⊙
STORM DRAIN MANHOLE	⊕
SANITARY SEWER MANHOLE	⊗
CLEAN OUT	⊖
GAS METER	⊘
UTILITY POLE W/ GUY WIRE	⊙
VALVE	⊕
WATER METER	⊗
UTILITY BOX (SIZE VARIES)	⊖
SIGN	⊙
TREE W/ SIZE AND ELEVATION	⊙
SPOT ELEVATION	15
CONTOUR	---
INDEX CONTOUR	---
CURB	---
CURB & GUTTER	---
CONCRETE	---
FENCE	---
RETAINING WALL	---
EDGE OF PAVEMENT	---
OVERHEAD	---

30 Aug 2019 DATE

Scale 1" = 10 ft

PREPARED BY OR UNDER THE SUPERVISION OF
SHANE R. BARBER, L.S. 5057
sharbar@barbersurveying.com

30 Aug 2019 DATE

SHANE R. BARBER
STATE OF CALIFORNIA
L.S. 5057

TOPOGRAPHIC SURVEY
710 CRAIG AVENUE

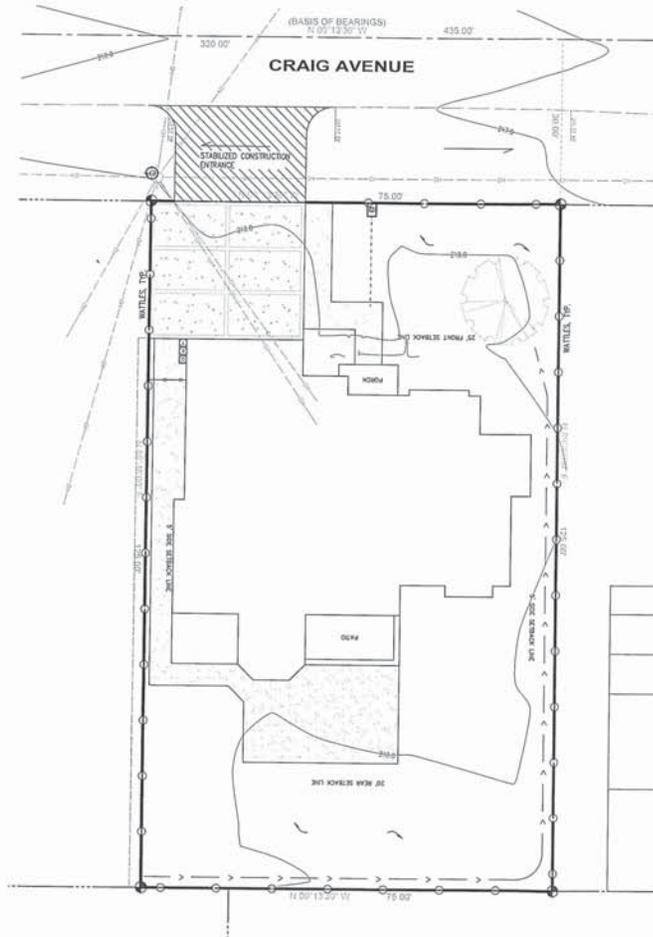
NO.	REVISION	BY	DATE

BY: AUG. 2019
Scale: 1" = 10'
Job No.: 19-074
Sheet No.: 1
Of 1 Sheets

CAMPBELL CALIFORNIA

BARBER SURVEYING, Inc.
713 Nagamts Court
Tracy, CA 95304 (925) 344-6451

USER:Barber SHANE,SHANE@BARBERSURVEYING.COM AUG07 10:18 10/29/19



EROSION CONTROL NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.

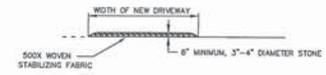
DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT THE FLOW OF SEDIMENT LOAD RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SHALLES AND WATER COURSES.

CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

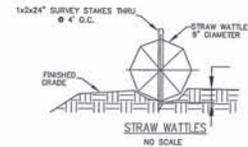
THE FACILITIES SHOWN ON THIS PLAN ARE INTENDED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. CONSTRUCTION ENTRANCE SHALL BE MINIMUM 6" THICK 2" TO 3" AGGREGATE BASE.

CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.



STABILIZED CONSTRUCTION ENTRANCE
NO SCALE



STRAW WATTLES
NO SCALE



LEGEND

STRAW WATTLES/SILT FENCE

OWNER
Manisha

SINGLE FAMILY HOUSE

45231 ONONDAGA DR.
FREMONT, CA 94539

PROJECT
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AA HOME DESIGN & BUILD LLC

DESIGN SERVICES
T: 408.431.2952
alexander.angkawijaya@yahoo.com

SHEET TITLE
EROSION CONTROL PLAN

REVISION

- △
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DATE 8.1.19
DRAWN RAJ
SCALE 1/4"=1'-0"
SHEET C2

REVISIONS	BY
10/16/19	JW
10/24/19	JW

2007 Pacific Avenue
Campbell, CA 95008
(408) 954-9000
www.utopianlandscapes.com

UTOPIAN LANDSCAPES
LANDSCAPE ARCHITECTURE AND DESIGN SERVICES



LANDSCAPE PLAN

SHEET TITLE

710 Craig Avenue
Campbell, CA

PROJECT
DATE 9/4/19
SCALE 1"=10'
DRAWN JW
SHEET L1

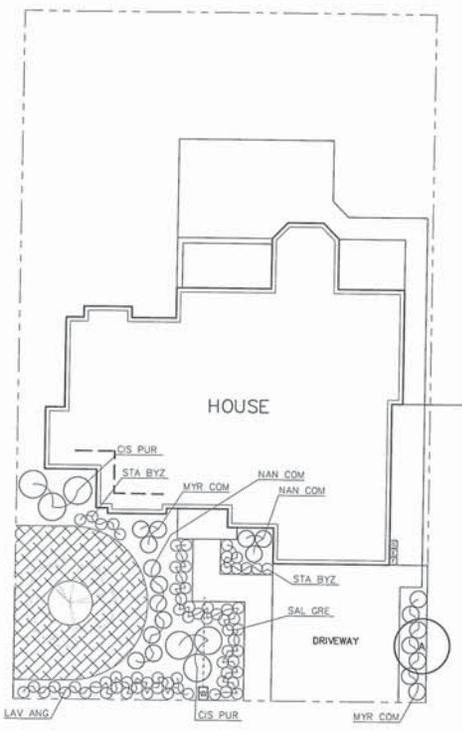
OF 3 SHEETS

PLANT LIST

Symbol	Qty	Botanical Name	Common Name	MUCOLS Water Factor North Central/Central Region
	15 gal.	Leprosanthus latifolia 'Wink 270'	Grape Kyles	Low
Existing tree to remain				
	5 gal.	Chamaelirium luteum	Chalk Bush	Low
	5 gal.	Kylea c. 'Compact'	Dwarf Kylea	Low
	5 gal.	Parthenocarpus 'Compact'	Compact Honeyberry	Low
	5 gal.	Lonicera 'Honeyberry'	Lonicera	Low
	5 gal.	Solanum 'Dwarf'	Solanum	Low
	5 gal.	Stachys 'Lanceolata'	Lanceolata	Low
Groundcover & Assets				
	1 sq ft	Antirrhinum 'Tweed Carpet'	Carpet Marigold	Low
	36 sq ft			

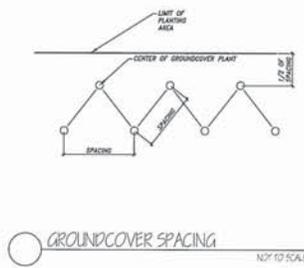
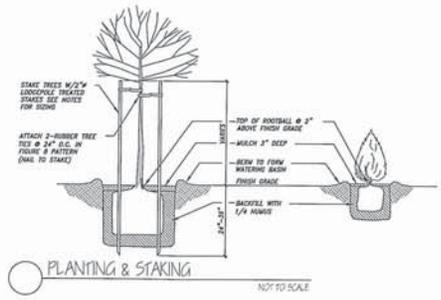
PLANTING NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL CODES AND ORDINANCES WHICH APPLY TO THE CITY OF CAMPBELL.
- THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. THE LANDSCAPE CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL OBTAIN COORDINATION WITH ALL APPLICABLE TRACES PRIOR TO SUBMITTING A BID.
- CONTRACTOR SHALL RECEIVE SITE GRADED TO +/- .1 FT. THE CONTRACTOR IS RESPONSIBLE FOR SURFACE DRAINAGE OF ALL PLANTING AREAS. NO LOW SPOTS WHICH HOLD STANDING WATER WILL BE ACCEPTED.
- CONTRACTOR SHALL FURNISH AND APPLY 2 CUBIC YARDS OF MIXED SOIL CONDITIONER AND 20 LBS. OF A COMMERICAL FERTILIZER (8-20-20) PER 1000 SQ. FT. OF PLANTING AREA, AND REDDITL HORIZONALLY INTO THE TOP 6" OF SOIL. THE CONTRACTOR SHALL OBTAIN A SOILS REPORT FOR ACTUAL SOIL ANALYSIS. CONTRACTOR SHALL SUPPLY SUFFICIENT FOR AMENDMENTS AS PROOF OF INSTALLATION PRIOR TO ISSUANCE OF AN INTERIM FINAL.
- UPON INSTALLATION OF THE IRRIGATION SYSTEM, ALL PLANTING AREAS SHALL BE RAKED SMOOTH AND ALL BODS AND PEBBLES OVER 1" IN DIAMETER REMOVED FROM THE SITE.
- SUPPLY DIG AERIFORM TABLETS AS FOLLOWS: 1-10, 2-50 4-150 8-24"BOX
- DIG PLANTING FITS TWO TIMES THE HEIGHT AND WIDTH OF THE ROOT BALL. SHADOLE FITS WITH 1/3 SOIL CONDITIONER AND 2/3 EXISTING SOIL. PLANT FITS ARE ALSO TO RECEIVE A COMMERICAL FERTILIZER (8-20-20) AT 2.5 LBS. PER 1000 SQ. FT. OF BACKFILL.
- STAKE ALL 150 TREES WITH 2"X4" STAKES AND 2 RUBBER TIES PER TREE. SEE DETAIL FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS SHALL RECEIVE 3" LAYER OF WALK ON BARK (1/4" + 1/4" LAYER) AFTER ALL TREES, SHRUBS, AND GROUNDCOVERS HAVE BEEN PLANTED.
- PLANT AT THE SPACING SHOWN. AFTER THE SITE IS PLANTED, A PRE-EMERGENT SHALL BE APPLIED TO ALL PLANTING AREAS AS PER MANUFACTURER'S RECOMMENDATIONS. THE LANDSCAPE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE USE OF CHEMICAL PRODUCTS AND TO SO SUPPLY THE CHEMICAL WITH A MIXED RECORD OF USE. THE CONTRACTOR SHALL OBTAIN DATE APPLIED AND RATE OF APPLICATION. CONTRACTOR SHALL OBTAIN SCHEDULE OF THE CERTIFICATES OF ANALYSIS AND INSTALLATION AND ALL RELATED DOCUMENTS. CONTRACTOR SHALL OBTAIN SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. LANDSCAPE IRRIGATION ADJUST REPORT AND SOIL MANAGEMENT REPORT UPON COMPLETION OF CONSTRUCTION, PRIOR TO PROJECT ACCEPTANCE.



CRAIG AVENUE

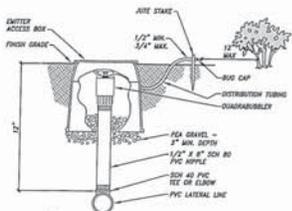
LANDSCAPE AREA = 1,544 SF - ALLOWS FOR PRESCRIPTIVE METHOD



PROJECT NOTES

PROJECT NAME: SANJAY AND MANISHA JAIN RESIDENCE
 PROJECT APPLICANT: SANJAY AND MANISHA JAIN
 PROJECT ADDRESS: 710 CRAIG AVENUE
 CAMPBELL, CA 95008
 TOTAL LANDSCAPE AREA: 1,544 SQFT - NO TURF
 PROJECT TYPE: NEW SINGLE FAMILY HOME
 WATER SUPPLY TYPE: SAN JOSE WATER COMPANY (POTABLE)
 OWNER INFORMATION: SANJAY AND MANISHA JAIN
 710 CRAIG AVENUE
 CAMPBELL, CA 95008
 (408) 230-5812

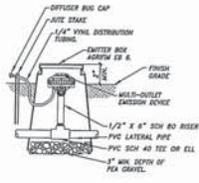
COMPLIANCE STATEMENT:
 I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE WELD.
 SANJAY AND MANISHA JAIN, PROJECT OWNER & APPLICANT DATE



- NOTES:
1. SOCKET POINT PLUG ON ALL UNUSED ORIFICES.
2. APPLY TEFLON TAPE TO ALL THREADED CONNECTIONS.
3. LEAVE BLACK IN DISTRIBUTION TUBING. DO NOT PAINT LIGHT.

QUADRA-BUBBLER

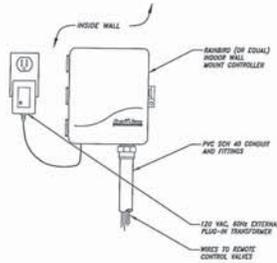
NOT TO SCALE



- NOTES:
1. INSTALL (1) POINT PER 1 GAL. (2) POINTS PER 4 GAL. AND (4) POINTS PER 18 GAL. WHEN INSTALLING DISTRIBUTION TUBING DO NOT PAINT LIGHT.
2. BARE WIRE SHALL BE FLESH WITH BOX LID.

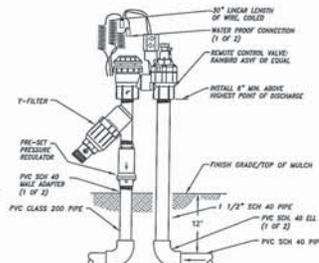
OCTA-BUBBLER

NOT TO SCALE



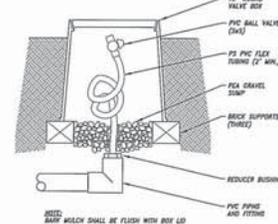
INTERIOR CONTROLLER

NOT TO SCALE



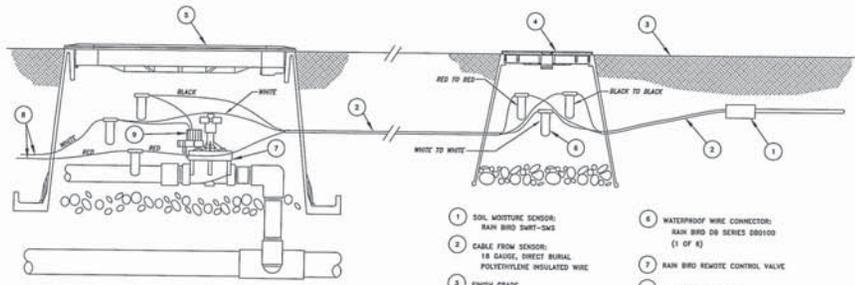
ANTI SIPHON VALVE-DRIP

NOT TO SCALE



FLUSH VALVE

NOT TO SCALE

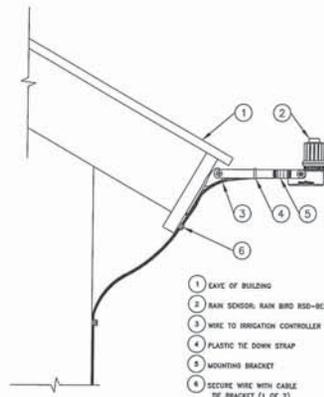


- 1 SOIL MOISTURE SENSOR: RAIN BIRD SMT-Y-100
2 CABLE FROM SENSOR: 18 GAUGE, DIRECT BURIAL POLYETHYLENE INSULATED WIRE
3 FINISH GRADE
4 ROUND VALVE BOX WITH COVER USED AS JUNCTION BOX: RAIN BIRD YB-TEND
5 VALVE BOX WITH COVER: RAIN BIRD YB-SIT
6 WATERPROOF WIRE CONNECTOR: RAIN BIRD DN SERIES 000100 (1 OF 4)
7 RAIN BIRD REMOTE CONTROL VALVE (LENGTH AS REQUIRED)
8 VALVE SOLENOID

- NOTES:
1. SENSOR CANNOT BE LOCATED MORE THAN 400' FROM CONTROLLER.
2. FOR LOCATION PURPOSES KEEP THE SENSOR, SPACE BOX, AND VALVE BOX IN A STRAIGHT LINE.
3. FORM A LINE JOINING THE END OF THE SPACE BOX TO SHOW THE DIRECTION OF THE SENSOR.
4. USE WATERPROOF WIRE CONNECTORS TO ENSURE ADEQUATE SENSOR FUNCTIONALITY.
5. SELECT A TONE WIRE WHICH ACTIVATES A SINGLE VALVE.
6. INSTALL THE SENSOR IN A LOCATION WHICH IS THE MOST REPRESENTATIVE OF THE ENTIRE SITE BEING IRRIGATED.

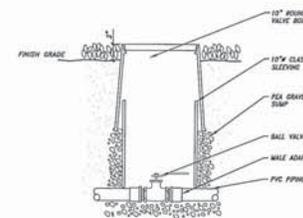
SMART-Y SOIL MOISTURE SENSOR

NOT TO SCALE



RSD-BE x RAIN SENSOR

NOT TO SCALE



BALL VALVE

REVISIONS	BY
10/16/19	JW
10/24/19	JW

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UTOPIAN
LANDSCAPES
LANDSCAPE ARCHITECTURE AND DESIGN SERVICES



DETAILS

SHEET TITLE

PROJECT
710 Craig Avenue
Campbell, CA

DATE	9/4/19
SCALE	NONE
DRAWN	JW
SHEET	L3
OF 3 SHEETS	