



CITY OF CAMPBELL
Community Development Department

June 12, 2020

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 23, 2020**, for a Continued Public Hearing to consider the application of Nandini Bhattacharya and Buddhadeb Basu for a Variance (PLN2019-176) to allow a reduced side-yard setback to legalize an unpermitted accessory dwelling unit (ADU) on property located at **309 Redding Road**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. This Planning Commission meeting will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor.

The following Commissioners of the Campbell Planning Commission are listed to permit them to appear electronically or telephonically at the Regular Planning Commission meeting on June 9, 2020: Chair Michael Krey, Vice-Chair Maggie Ostrowski, Commissioners Adam Buchbinder, Andrew Rivlin; Nick Colvill; Stuart Ching; and Terry Hines.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_jrlxXgyoREuoGZrXV9kf4w. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, June 19th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by June 12th on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least one week prior to the meeting. Hearing impaired or TTY/TDD text telephone users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice, refer to **309 Redding Road**



Location Map - 309 Redding Rd



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

A Second Dwelling Unit For:

Basu Residence

309 Redding Rd, Campbell, CA 95008



CODE INFORMATION

- JURISDICTION: CAMPBELL
 - ZONING: RS-54
 - APN: 41433009
 - LOT SIZE: 10,022 +/- SF
 - OCCUPANCY TYPE: RSU
 - TYPE OF CONSTRUCTION: MB
 - MAXIMUM LOT COVERAGE: 4,008.8 SF, OR 40%
 - MAXIMUM FLOOR AREA: 4,259.9 OR 45%
 - MAXIMUM ADU HEIGHT: 14 FT
 - EXISTING FLOOR AREA INCLUDE GARAGE: 2,017 SF
 - EXISTING LOT COVERAGE: 2,170 SF
 - PROPOSED ADU FLOOR AREA: 498 SF
- SPRINKLER: NOT REQUIRED

SCOPE OF WORK

- THIS IS A CONVERSION OF EXISTING RECREATION ROOM TO A SECOND DWELLING UNIT. PROPOSED WORK INCLUDES INTERIOR IMPROVEMENTS.
- CONSTRUCTION OF PARTITIONS.
 - NEW FLOORING.
 - REPLACING DOORS AND WINDOWS AT EXISTING LOCATION/SAME SIZE.
 - CONSTRUCTION OF CEILING.
 - NEW TANKLESS WATER HEATER.
 - ONE BEDROOM, ONE FULL BATH ROOM, KITCHEN AND LIVING ROOM.

NO SITE IMPROVEMENT PROPOSED
NO TREE REMOVAL PROPOSED

OWNER

Budhadab Basu
309 Redding Rd,
Campbell, CA 95008
P: 408-695-2042
F:
E: dev3042@gmail.com
CONTACT: Budhadab Basu

DESIGNER

Rolm Design Studio
5045 McCoy Ave,
San Jose, CA 95130
P: 925-949-6662
F:
E: mehnan@rolmdesignstudio.com
CONTACT: Mehran Solhantash

DRAWING INDEX AND ISSUE DATES

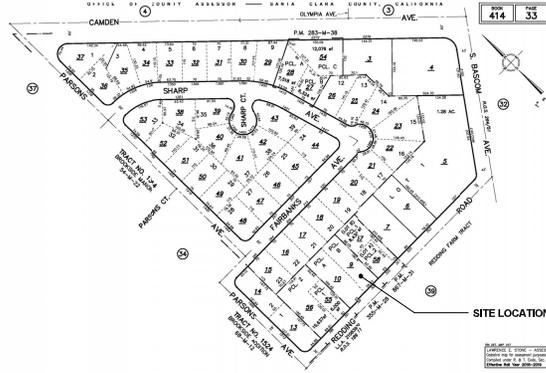
| Sheet Number | Sheet Name | Submittal Date 08/01/19 |
|---------------|--|-------------------------|
| ARCHITECTURAL | | |
| A1.02 | SITE PHOTOS | 0 |
| A2.00 | COVER SHEET | 0 |
| A2.06 | GENERAL NOTES | 0 |
| A2.07 | BEST MANAGEMENT PRACTICES | 0 |
| A1.01 | EXISTING SITE PLAN | 0 |
| A2.11 | EXISTING AND DEMOLITION AND IMPROVEMENT FLOOR PLAN | 0 |
| A2.21 | REFLECTED CEILING PLAN AND ROOF PLAN | 0 |
| A2.22 | ROOF FRAMING | 0 |
| A2.23 | ELECTRICAL AND LIGHTING FLOOR PLAN | 0 |
| A3.01 | ELEVATIONS | 0 |
| A4.01 | BUILDING SECTIONS | 0 |
| A4.01 | DETAILS | 0 |
| A4.02 | DETAILS | 0 |

Mehran

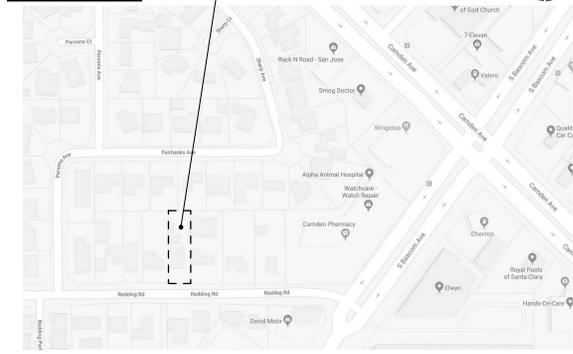
NOTE FOR CONTRACTOR:

1. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ROLM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK, OMBESIDING FROM THE DRAWINGS AND SPECIFICATIONS OR THE REDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY ROLM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ROLM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.

PARCEL MAP



VICINITY MAP



A Second Dwelling Unit For:
Budhadab Basu
309 Redding Rd, Campbell, CA 95008

DRAWING SYMBOL LEGEND

- BUILDING SECTION (PLAN): BUILDING SECTION (PLAN)
- BUILDING SECTION (ELEVATION): BUILDING SECTION (ELEVATION)
- ELEVATIONS: ELEVATIONS
- WALL SECTION: WALL SECTION
- DETAIL CALLOUT: DETAIL CALLOUT
- DETAIL CUT (PLAN/SECTION): DETAIL CUT (PLAN/SECTION)
- RELATED DETAIL CUT BELOW/ON ABOVE: RELATED DETAIL CUT BELOW/ON ABOVE
- ROOM NAME WITH FLOOR FINISH: ROOM NAME WITH FLOOR FINISH
- DOOR TAG: DOOR TAG
- WINDOW TAG: WINDOW TAG
- REVISION TAG: REVISION TAG
- LEVEL TAGS: LEVEL TAGS
- DRAWING TITLE: DRAWING TITLE
- NORTH ARROWS: NORTH ARROWS
- Room name: ROOM NAME
- DOOR TAG: DOOR TAG
- WINDOW TAG: WINDOW TAG
- REVISION TAG: REVISION TAG
- LEVEL TAGS: LEVEL TAGS
- DRAWING TITLE: DRAWING TITLE
- NORTH ARROWS: NORTH ARROWS

APPLICABLE CODES

- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA ENERGY CODE

| No. | Date | Revised Description |
|-----|---------|---------------------|
| 1 | 1/31/19 | PLING 01 |

| Description | |
|----------------|--------------|
| COVER SHEET | |
| Project Date | 11/12/2018 |
| Drawn by | RDS |
| Checked by | RDS |
| Project Number | 180711 |
| Scale | 1/2" = 1'-0" |

A0.00

General Notes

- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ROLM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK, OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISEDSCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARY PRACTICE, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH UNNOTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY ROLM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ROLM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- ALL EXTERIOR LIGHTS WILL BE SHIELDED AND DOWNWARD DIRECTED.
- EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10 FEET FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 650-495-5953, ANY CHANGES SHALL BE APPROVED BY THE SAME.
- DRYER VENTING SHALL TERMINATE ON THE EXTERIOR OF THE BUILDING AND WILL HAVE A BACK DRAFT DAMPER (FLAPPER), SCREENS SHALL NOT BE PERMITTED OR INSTALLED AT THE DRYER VENT TERMINATION. CLOTHES DRYER VENT PIPES SHALL NOT PASS THROUGH OR EXTEND INTO TO DUCTING OR PLENUMS, DRYER DUCTING SHALL NOT BE FASTENED WITH SCREW TYPE FASTENERS WHICH MAY IMPED THE AIR FLOW OR CATCH LINT. YET MUST BE FASTENED AND SEALED SUBSTANTIALLY AIR TIGHT AT EACH JOINT. (AN APPROVED FASTENING SYSTEM IS ALUMINUM DUCT TAPE.) A MINIMUM OF A 4-INCH DIAMETER DUCT IS REQUIRED.
- CLOTHES DRYER VENT DUCTS SHALL BE METAL AND SHALL HAVE A SMOOTH INTERIOR SURFACE. AN APPROVED FLEXIBLE DUCT CONNECTOR OF NOT MORE THAN 6 FEET IN LENGTH MAY BE USED TO CONNECT THE DRYER TO THE DRYER VENT DUCT. CONNECTORS SHALL NOT BE CONCEALED WITHIN THE CONSTRUCTION. (FLEX DUCT CONNECTORS SHALL NOT PASS INTO OR THROUGH A CONCEALED SPACE, THIS INCLUDES CABINETS, WALLS AND ATTIC SPACES).
- DISHWASHERS ARE REQUIRED TO HAVE A LISTED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. THE LISTED AIR GAP SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAIN-BOARD, WHICHEVER IS HIGHER.
- WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS, MAKE & MODEL. NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED.
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- ALL EXTERIOR DOORS SHALL BE AT LEAST 1 3/4" THICK.
- ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC, SHALL BE SAFETY TEMPERED.
- BEDROOM WINDOWS SHALL HAVE MAX 4" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 FEET PER C.B.C.
- PROVIDE MOISTURE RESISTANT UNDERPAYMENT TO A MIN. HEIGHT OF 72" ABOVE DRAIN IN ALL SHOWERS W/ TEMPERED GLASS ENCLOSURE PER CBC.
- PROVIDE TEMPERATURE MIXING VALVE @ ALL SHOWERS PER C.P.C.
- WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
- CONTRACTOR SHALL PROVIDE ALL DOCUMENTATION FOR WASTE MANAGEMENT PLAN TO THE JURISDICTION PRIOR OF FIRST INSPECTION.
- ALL ADHESIVES, SEALANT, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FILED VERIFICATION BY THE BUILDING INSPECTOR.
- PRIOR THE FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR OWNER MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATING, AEROSOL PAINTS, AEROSOL COATING, CARPET SYSTEM, RESILIENT FLOORING SYSTEM, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CBCSC SECTION 4.504.
- DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL.
- WATER-RESISTANT GYPSUM BACKING BOARD SHOULD NOT BE USED IN THE FOLLOWING LOCATIONS PER CBC: a) OVER A VAPOR RETARDER, b) IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, c) ON CEILING WHERE FRAME SPACING EXCEEDS 12 INCHES CENTER.
- PROVIDE FIRE-STOPS IN OPENINGS @ FLOOR & CEILLINGS OF ALL FIREPLACES PER C.B.C.
- PROVIDE A/C/D SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL WRAP ALL EXTERIOR WALLS WITH CDX PLYWOOD TYPICAL THROUGHOUT.
- PROVIDE 18" DEEP x 12" TALL GYPSUM BOARD SOFTI @ UPPER CABINETS @ KITCHEN & LAUNDRY ROOM.
- ALL HOSE BIBBS SHALL HAVE NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE.
- BASEMENTS (EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT AND NOT OVER 200 SOFT IN FLOOR AREA), HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING, R3101.1) MIN. NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT, R310.1.2) B) MIN. NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH, R310.1.3) C) MIN. NET CLEAR OPENABLE DIMENSION OF 5.7' SOFT IN AREA, GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR
- OPENING OF 5 SQFT, 310.1.1) OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES MEASURED FROM THE FLOOR, 310.
- FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 34" FEET BETWEEN THE COUNTER FRONTS AND APPLIANCES OR COUNTERS AND WALLS, CBC 1203.1 SHOWER COMPARTMENTS AND WALL ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO THE HEIGHT NOT LESS THAN 72 INCHES (6 FT), CRC R307.2
- THE DOOR BETWEEN GARAGE AND ENTRY REQUIRED TO BE SELF LATCHING AND SELF CLOSING, SOLID CORE DOOR NOT LESS THAN 1-3/8 INCH THICK.
- THE MAXIMUM RISER HEIGHT CAN BE 7.75-INCHES, MINIMUM TREAD DEPTH CAN BE 10-INCHES, FOR ANY TREAD DEPTH LESS THAN 11-INCHES, A NOSING OF NOT LESS THAN 0.75-INCHES, BUT NOT MORE THAN 1.25-INCHES SHALL BE PROVIDED.
- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, CBC 2406.3, GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, CBC 2406.3, #5
- GLAZING IN AN INDIVIDUAL FIXED OR PORTABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (I.E., SIDE LIGHT AT NEW MAIN ENTRY DOOR), CBC 2406.3, #6
- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, CBC 2406.3, GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, CBC 2406.3, #5
- GLAZING IN AN INDIVIDUAL FIXED OR PORTABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (I.E., SIDE LIGHT AT NEW MAIN ENTRY DOOR), CBC 2406.3, #6

General Notes

- MINIMUM 36" DEEP LANDING IN THE DIRECTION OF TRAVEL AT NEW EXTERIOR DOORS SHALL BE PROVIDED, LANDING TO BE NOT MORE THAN 7-1/2 INCHES LOWER THAN THE DOOR'S THRESHOLD FOR IN-SWINGING AND SLIDING GLASS DOORS AND NOT MORE THAN 7" FOR IN-SWINGING AND MAIN ENTRY DOOR.
- 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING TO BE INSTALLED ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) CRC SEC. R302.6 AND TABLE R302.6 ALSO 5/8" TYPE "X" GYP. BOARD FINISH ON THE GARAGE SIDE OF THE WALL IS REQUIRED.
- 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING TO BE INSTALLED ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) CRC SEC. R302.6 AND TABLE R302.6 ALSO 5/8" TYPE "X" GYP. BOARD FINISH ON THE GARAGE SIDE OF THE WALL IS REQUIRED.
- 22" MIN SHOWER DOOR CLEARANCE TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS FOR BATHROOMS AND KITCHEN
- CEMENT BOARD SUBSTRATE FOR SHOWER WALLS REQUIRED.
- THE FINISH GRADE WITHIN 10' OF HOUSE SHALL HAVE A 5% SLOPE AWAY FROM FOUNDATION.
- EXISTING DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.
- PORTABLE WATER SUPPLY SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLY PER 2016 CFC SEC. 903.5.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED DOWN ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, PER 2016 CFC SEC. 505
- PHOTOELECTRIC SMOKE DETECTORS SHALL BE PROVIDED AT BOTH THE TOP AND BOTTOM OF THE STAIRCASE.
- PHOTOELECTRIC SMOKE ALARMS SHALL BE PROVIDED IN AREAS LEADING TO SLEEPING ROOMS AND ON EVERY LEVEL. SMOKE ALARMS WITHIN SLEEPING ROOMS SHALL BE DUAL SENSOR PHOTOELECTRIC IONIZATION.
- SMOKE DETECTORS AND TUBSHOWER COMBINATIONS SHALL BE INTERCONNECTED PER CBC. IN SHOWERS & TUBSHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC.
- WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F. - TYPICAL.
- PROVIDE A NON-COMBUSTIBLE HEATING GAS VALVE SUPPORTS IN FRONT OF FIREPLACE.
- COMBUSTIBLE MATERIAL SHOULD NOT BE PLACED WITHIN 6" OF THE FIREPLACE OPENING.
- COMBUSTIBLE MATERIALS WITHIN 12" OF THE FIREPLACE OPENING SHOULD NOT PROJECT MORE THAN 1/4" FOR EACH 1" CLEARANCE FROM THE FIREPLACE OPENING.
- GUEST ROOMS AND HABITABLE ROOMS WITHIN A DWELLING UNIT OR CONGREGATE RESIDENCE SHALL BE PROVIDED WITH ONE OR MORE EXTERIOR GLAZED DOORS WITH AN AREA NOT LESS THAN ONE TENTH OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 10 SQUARE FEET.
- WATER EFFICIENCY AND CONSERVATION INDOOR WATER USE (CGC 5,303) PLUMBING FIXTURES (WATER CLOSETS AND URINALS) SHALL COMPLY WITH THE FOLLOWING:
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GAL/FLUSH (CGC 403.1.1)
THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GAL/FLUSH (CGC 403.1.2)
FITTINGS (FAUCETS AND SHOWERHEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4,203.1.3 AND CGC 403.1.4 AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CGC 4,304 ENHANCED DURABILITY AND REDUCED MAINTENANCE
- ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE ROOFED PROTECTED BY GLAZING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4,061.1
- CONSTRUCTION waste reduction, disposal, and recycling (CGC 5,408) A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4,601.
- ENVIRONMENTAL QUALITY: ANY GAS FIREPLACES SHALL BE A DIRECT-VENT SEALED-COMBUSTIBLE TYPE, ANY WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS PER CGC 4,503.1
- POLLUTANT CONTROL (CGC 5,504) AT THE TIME OF ROUGH INSTALLATION, DURING STATION ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS, WHICH MAY ENTER THE SYSTEM PER CGC 4,504.1.
- PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4,504.2.2. AEROSOL PAINTS AND COATINGS SHALL MEET THE PROBABLY WEIGHTED MIX LIMITS FOR VOC AND OTHER REQUIREMENTS PER CGC 4,504.2.3. DOCUMENTATION WILL BE PROVIDED. AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4,504.2.4. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENT PER CGC 4,504.3. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 90% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE REQUIREMENTS PER CGC 4,504.4. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS PER CGC 4,504.5.
- INTERIOR MOISTURE CONTROL: A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEMS USED, THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 ML VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4,505.2 AND CRC R506.2.3.
- HEATING AND AIR-CONDITIONING SYSTEM SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
HEAT LOSS/HEAT GAIN VALUES IN ACCORDANCE WITH ANSI/ACCA 2 MANUAL J-2004 OR EQUIVALENT.
DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1, MANUAL D-2009 OR EQUIVALENT.
SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSI/ACCA 3, MANUAL S-2004 OR EQUIVALENT.
INSTALLER SPECIAL INSPECTOR QUALIFICATION HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM PER CGC 702.1.
- MIXING VALVE IN A SHOWER SHALL BE PRESSURE BALANCING SET A MAX. 120 °F. WATER-FILLER VALVE IN BATHTUBS SHALL HAVE A TEMP. LIMITING DEVICE SET AT 120 °F MAX.
- SHOWER STALLS SHALL BE A MIN. FINISHED INTERIOR OF 1.024 SQ. INCHES CLEAR CENTER DIMENSION OF A 30" x 60" DOORS SHALL SWING OUT WITH OPENINGS 22" MIN.
- THE WATER CLOSET SHALL HAVE MIN. CLEARANCES OF 30" WIDTH (15" ON AND 24" IN THE FRONT.
- ALL RECEPTACLES SHALL BE GFCI AND TAMPER-RESISTANT (TR). NEW OUTLETS SHALL HAVE A DEDICATED 20-AMP CIRCUIT.
- HYDRO-MASSAGE TUBS SHALL HAVE MOTOR ACCESS, A DEDICATED CIRCUIT, AND BE UL LISTED, ALL METAL, CABLES, FITTINGS, PIPING, ETC, WITHIN 5' OF THE INSIDE WALL OF THE TUB SHALL BE PROPERLY BONDED WITH AN ACCESS PANEL.
- LIGHTING FIXTURES LOCATED WITHIN 3' HORIZONTALLY AND 8' VERTICALLY OF THE TUBSHOWER SHALL BE LISTED FOR A DAMP LOCATION, OR WET LOCATIONS IF THE SUBJECT TO SHOWER SPRAY.
- AN EXHAUST FAN SHALL BE INSTALLED AND BE ON A SEPARATE SWITCH FROM THE LIGHTING. GLAZING IN TUB SHOWER ENCLOSURES SHALL BE SAFETY GLAZING WHEN >60" ABOVE THE STANDING SURFACE GLAZING WITHIN 60" OF A TUBSHOWER AND LESS THAN 60" ABOVE THE FINISHED FLOOR SHALL BE SAFETY GLAZING.
- INSTALLER SPECIAL INSPECTOR QUALIFICATION HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM PER CGC 702.1.

General Notes

- MIXING VALVE IN A SHOWER SHALL BE PRESSURE BALANCING SET A MAX. 120 °F. WATER-FILLER VALVE IN BATHTUBS SHALL HAVE A TEMP. LIMITING DEVICE SET AT 120 °F MAX. I,SHOWER STALLS SHALL BE A MIN. FINISHED INTERIOR OF 1,024 SQ. INCHES CLEAR CENTER DIMENSION OF A 30", & DOORS SHALL SWING OUT WITH OPENINGS 22" MIN.
- ALL RECEPTACLES SHALL BE GFCI AND TAMPER-RESISTANT (TR). NEW OUTLETS SHALL HAVE A DEDICATED 20-AMP CIRCUIT.
- HYDRO-MASSAGE TUBS SHALL HAVE MOTOR ACCESS, A DEDICATED CIRCUIT, AND BE UL LISTED, ALL METAL, CABLES, FITTINGS, PIPING, ETC, WITHIN 5' OF THE INSIDE WALL OF THE TUB SHALL BE PROPERLY BONDED WITH AN ACCESS PANEL.
- LIGHTING FIXTURES LOCATED WITHIN 3' HORIZONTALLY AND 8' VERTICALLY OF THE TUBSHOWER SHALL BE LISTED FOR A DAMP LOCATION, OR WET LOCATIONS IF THE SUBJECT TO SHOWER SPRAY.
- RECESSED LIGHTING FIXTURES SHALL BE RATED AS AIR-TIGHT (AT) AND, WHEN INSTALLED IN AN INSULATED CEILING SHALL HAVE AN APPROVED ZERO CLEARANCE INSULATION COVER (IC).
- CLOSET LIGHTS SHALL BE FLOURESCENT OR HAVE A SEALED LENS. (2016 CGC 410.16)
- LUMINAIRES OR CONTROLLED BY A VACUANCY SENSOR THAT COMPLIES WITH CGC SECTION 110.8(b) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINAIRES TO BE ALWAYS ON.
- WHERE EMERGENCY AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" (1118 MM) MEASURED FROM THE FLOOR.(R310.1)
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM OPENING OF 5.7 SQ.F. (0,503 SQ.M.)
- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ.F. (0,465 SQ.M.) R310.1.1
- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" (610MM) R310.1.2
- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" (508MM) R310.1.3
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTION OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL.
- FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE, R310.1.4 TUCCO SHALL BE 7/8" THICK AND THREE COAT APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE 'D' BUILDING PAPER, PROVIDE WEEP SCREED, (CBC 2510.6 CRC R703.6)
- SLIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE 'D' BUILDING PAPER, (CBC 1404.2/CRC R703.2)
- PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY, (CBC 2113.9.1/CRC 1003.9.1)
- ROOF SLOPES >2:12 AND >4:12 WITH ASPHALT SHINGLES SHALL HAVE TWO LAYERS OF 15 LB FELT APPLIED SINGLE STYLE, (CBC 1507.2.2/CRC 905.2.2)
- PROVIDE ALL UNDER-FLOOR AREAS WITH CROSS VENTILLATION AT 1/150 FOR THE ENTIRE AREA WITH 50% OF THE REQUIRED VENT AREA BE VENTILLATORS LOCATED A MINIMUM OF 3' ABOVE EAVE OR CORNICE VENTS.
- PROVIDE ATTIC ACCESS (22' X 30") AND UNDER-FLOOR ACCESS (18' X 24") FOR NEW AREAS, (CBC 1209/R408.4)
- PROVIDE UNDER-FLOOR CLEARANCE OF 18" FOR JOISTS TO EARTH AND 12" CLEARANCE FROM GIRDERS TO EARTH, (CBC 2304.11.2.1/CRC R317.1)
- ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM 3 FEET FROM ANY OPENINGS INTO THE BUILDING
- THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTIONS 4906 INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CGC R327.1.5



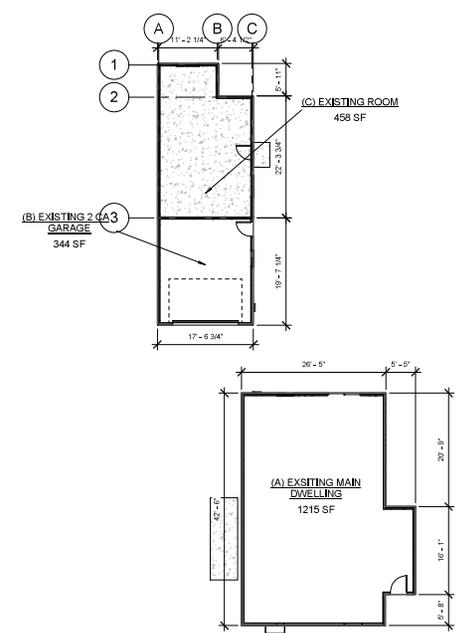
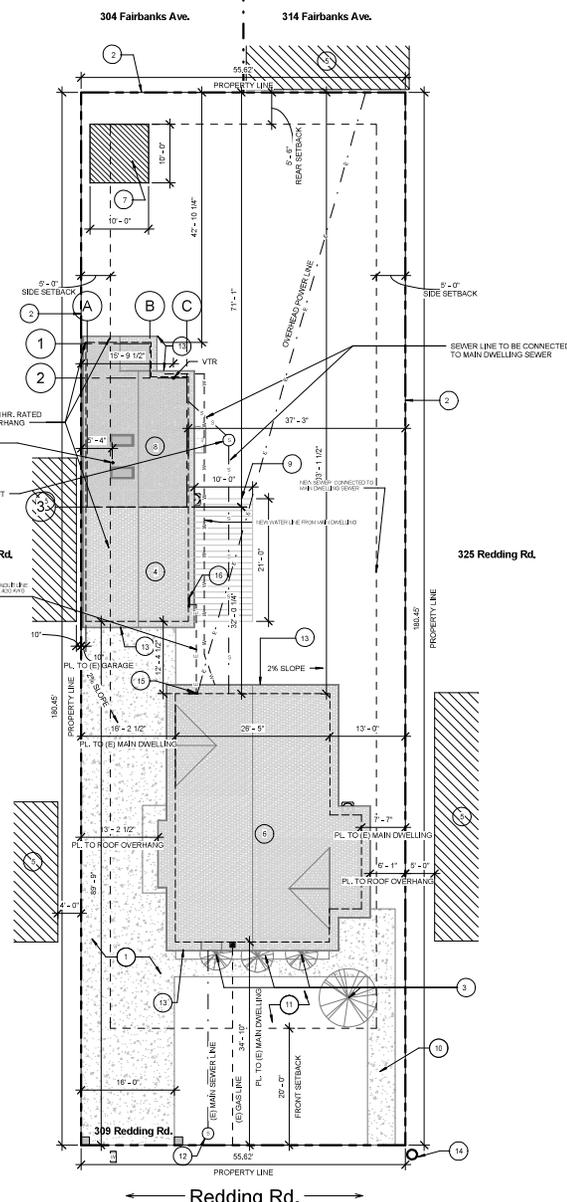
Mham

A Second Dwelling Unit For:
Burdhadeb Basu
360 Redding Rd, Campbell, CA 95008

| Revisions | | |
|-----------|------|----------------------|
| No. | Date | Revision Description |
| | | |

| Description | |
|----------------|------------|
| GENERAL NOTES | |
| Project Date | 11/12/2016 |
| Drawn by | RCS |
| Checked by | RCS |
| Project Number | 180711 |
| Scale | |

A0.06



1 EXISTING SITE PLAN
1" = 10'-0"

2 EXISTING GROUND LEVEL
3/32" = 1'-0"

GENERAL NOTES

- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE RDM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR PROCEEDS TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS FULLY AND COMPLETELY AS SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK, IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY RDM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM RDM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10 FEET FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 654-8880. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- REMOVE FLOORING AND BASE THROUGHOUT UNO.
- WHERE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR REBUILT-UP ZONES.
- ALL ITEMS FOR RE-USE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE RE-USED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REFINISHED AS REQUIRED PRIOR TO INSTALLATION.
- ITEMS NOT TO BE RE-USED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
- IF THE PROJECT DAMAGES THE CITY'S SIDEWALK OR CURB AND GUTTER AS RESULT OF CONSTRUCTION ACTIVITIES, THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND RE-PLACE ANY DAMAGES AS DIRECTED BY THE PUBLIC WORKS INSPECTOR. AN ENCROACHMENT PERMIT WILL ALSO BE REQUIRED.
- PUBLIC WORKS NOTES:
 - APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN IF DURING THE COURSE OF CONSTRUCTING IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF OR A DEVIATION FROM THE CITY OF CURSISTO SPECIFICATION OR THESE IMPROVEMENT PLANS. THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEVIATION AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SCALE EXPRESSED BY THE OWNER AND/OR CONTRACTOR.
 - CONTRACT PUBLIC WORKS: 408-777-3104 FOR INSPECTION OF GRADING, STORM DRAINAGE, AND PUBLIC IMPROVEMENTS.
 - ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
 - CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
 - CONTRACTOR SHALL REVIEW CITY DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
 - UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY WHICH DISTURBS THE SOIL.
 - A WORK SCHEDULE OF GRADING AND EROSION & SEDIMENT CONTROL PLAN SHALL BE PROVIDED TO THE CITY ENGINEER BY AUGUST 15. NO HILLSIDE GRADING SHALL BE PERFORMED BETWEEN OCTOBER 1 AND APRIL 15.
 - TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
 - ALL CONDUITS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.
 - PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.

KEYNOTES

- 1 EXISTING DRIVEWAY, CONPAVERS TO REMAIN.
- 2 EXISTING 6' HT. FENCE.
- 3 EXISTING TREE TO REMAIN.
- 4 NOT IN SCOPE, EXISTING 2 CAR GARAGE.
- 5 EXISTING NEIGHBOR BUILDING.
- 6 NOT IN SCOPE, EXISTING MAIN DWELLING UNIT.
- 7 EXISTING SHED TO REMAIN.
- 8 GRAY POCHIE INDICATE PROPOSED ADV OUTLINES.
- 9 EXISTING WOOD TRELLIS TO REMAIN.
- 10 EXISTING WALKWAY, CONPAVERS TO REMAIN.
- 11 EXISTING LAWN AND SHRUBS TO REMAIN.
- 12 EXISTING SEWER LINE TO REMAIN.
- 13 EXISTING ROOF LINE.
- 14 EXISTING UTILITY POLE.
- 15 200 AMP. EXISTING ELECTRICAL PANEL.
- 16 EXISTING SUB-PANEL.

| Area Schedule (Gross Building) | | |
|--------------------------------|----------------------------|---------|
| Number | Name | Area |
| 1 | (A) EXISTING MAIN DWELLING | 1215 SF |
| 2 | (C) EXISTING ROOM | 458 SF |
| 3 | (B) EXISTING 2 CAR GARAGE | 344 SF |
| TOTAL FLOOR AREA | | 2017 SF |

TOTAL LOT COVERAGE:
2017 SF, + 100 SF, (EXISTING SHED) + 210 (EXISTING TRELLIS) = 2327 SF.

RDS
Rdm Design Studio
1822 W Campbell Ave., Suite 108
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(925) 946-9002

A Second Dwelling Unit For:
Burdhadeb Basu
308 Redding Rd., Campbell, CA 95008

| No. | Date | Revision Description |
|-----|---------|----------------------|
| 1 | 1/21/19 | PLM:01 |
| 2 | 6/7/19 | PER:00 |

| Description | |
|--------------------|--------------|
| EXISTING SITE PLAN | |
| Project Date | 11/12/2018 |
| Drawn by | RCB |
| Checked by | RCB |
| Project Number | 180711 |
| Scale | As Indicated |

A1.01



P5



P4



P3



P2



P1



P6



P7



BIRD EYE VEIW 01



BIRD EYE VEIW 02



BIRD EYE VEIW 03



GOOGLE EARTH PHOTO JULY 2007



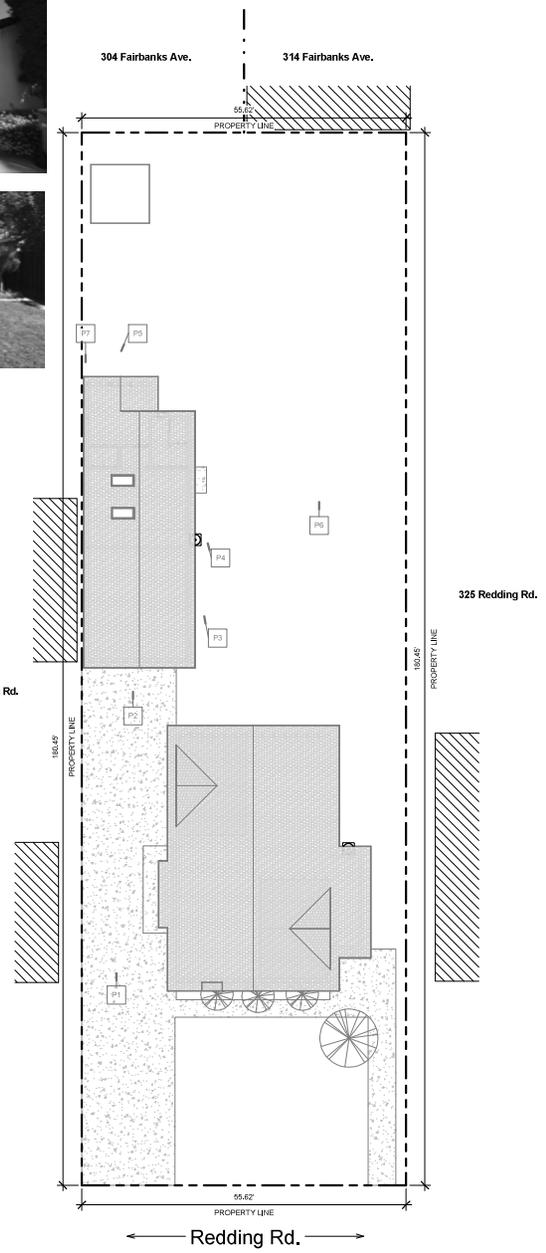
GOOGLE EARTH PHOTO SEP. 2008



GOOGLE EARTH PHOTO SEP. 2012



GOOGLE EARTH PHOTO AUG. 2018



1 KEY PLAN
1" = 10'-0"

RDS
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Mehrang

A Second Dwelling Unit For:
Burdhadeb Basu
308 Redding Rd. Campbell, CA 95008

| Revisions | | |
|-----------|------|----------------------|
| No. | Date | Revision Description |
| | | |

| Description | |
|----------------|-------------|
| SITE PHOTOS | |
| Project Date | 11/12/2018 |
| Drawn By | RCS |
| Checked by | RCS |
| Project Number | 180711 |
| Scale | 1" = 10'-0" |

A1.02

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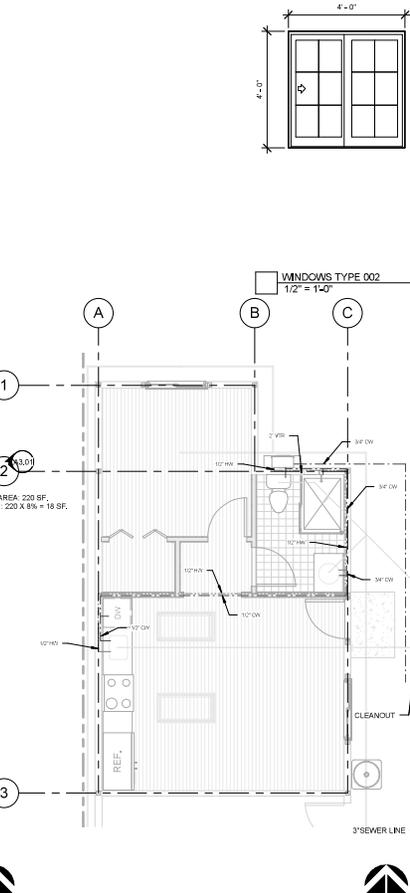
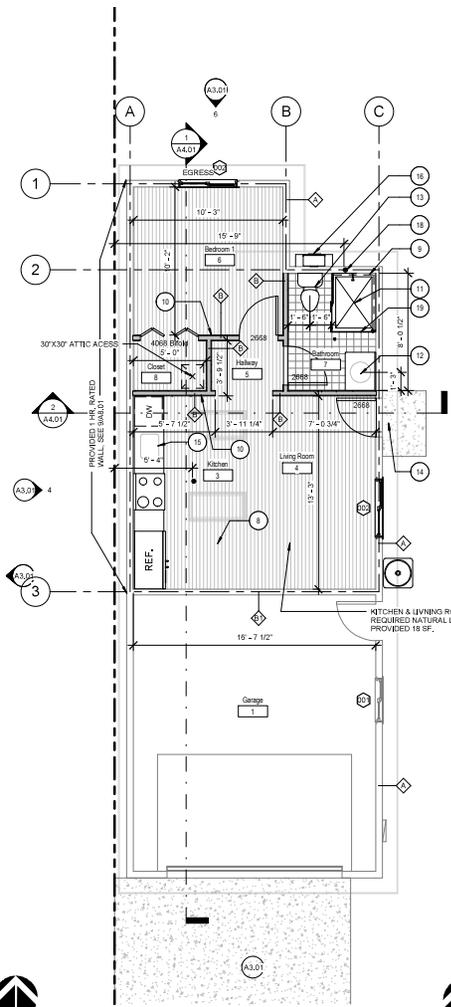
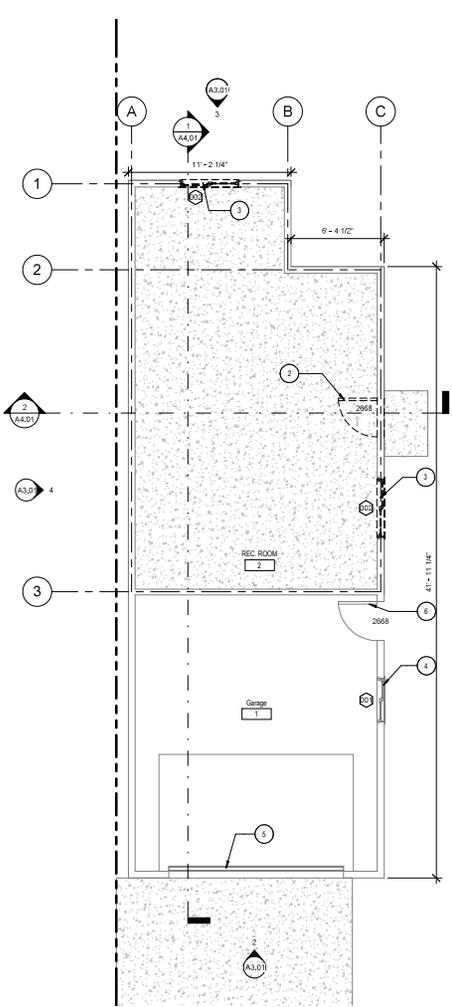
RESIDENTIAL BATHROOM NOTES (2016 CRC, CPC)

- A. MIXING VALVE IN A SHOWER SHALL BE PRESSURE-BALANCING. SET A MAX. 120" F. WATER-FILLER VALVE IN BATHTUBS SHALL HAVE A TEMP. LIMITING DEVICE SET AT 120" F. MAX.
- B. SHOWER STALLS SHALL BE 6" MIN. FINISHED INTERIOR OF 1/2" DIA. SQ. INCHES. CLEAR CENTER DIMENSION OF A 30" x DOORS SHALL SWING OUT WITH OPENINGS 22" MIN.
- C. THE WATER CLOSET SHALL HAVE MIN. CLEARANCES OF 30" WITH 18" ON CENTER AND 24" IN THE FRONT.
- D. ALL RECEPTACLES SHALL BE GFCI AND TAMPER-RESISTANT (TR). NEW OUTLETS SHALL HAVE A DEDICATED 20-AMP CIRCUIT.
- E. HYDRO-MASSAGE TUBS SHALL HAVE MOTOR ACCESS, A DEDICATED CIRCUIT, AND BE UL LISTED. ALL METAL CABLES, FITTINGS, PIPING, ETC., WITHIN OF THE INSIDE WALL OF THE TUB SHALL BE PROPERLY BONDED WITH AN ACCESS PANEL.
- F. LIGHTING FIXTURES LOCATED WITHIN 7' HORIZONTALLY AND VERTICALLY OF THE TUB/SHOWER SHALL BE LISTED FOR A DAMP LOCATION, OR NET LOCATIONS IF THE SUBJECT TO SHOWER SPRAY.
- G. AN EXHAUST FAN SHALL BE INSTALLED AND BE ON A SEPARATE SWITCH FROM THE LIGHTING.
- H. GLAZING IN TUB/SHOWER ENCLOSURES SHALL BE SAFETY GLAZING WITHIN 60" ABOVE THE FINISHED FLOOR SHALL BE SAFETY GLAZING.
- I. LIGHTING SHALL BE HIGH EFFICIENCY FIXTURES (E.G. FLUORESCENT) OR BE CONTROLLED BY A SWITCH WHICH REQUIRES MANUAL ACTIVATION AND AUTOMATICLY TURN OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED.
- L. THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL LISTED NON-WATER EFFICIENT PLUMBING FIXTURES THROUGHOUT THE HOUSE BE UPGRADED. HOUSES CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT.
- M. TOILETS +1.6 GALLONS. SHALL BE REPLACED WITH 1.28 GALLONS/FLUSH.
- N. SHOWERHEADS +2.5 GALLONS/MINUTE SHALL BE REPLACED WITH MAX. 2.0 GALLONS/MINUTE.
- O. BATH SINK FAUCETS +2.2 GALLONS/MINUTE SHALL BE REPLACED WITH MAX. 1.2 GALLONS/MINUTE.
- P. KITCHEN SINK FAUCETS +2.2 GALLONS/MINUTE SHALL BE REPLACED WITH MAX. 1.8 GALLONS/MINUTE.

GENERAL NOTES

- A. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE SOI IMMEDIATELY UPON DISCOVERY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE RESPONSIBLE FOR THE WORK. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND SPECIFICATIONS OF THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY OBSERVED IN THE TRADE. THE CONTRACTOR SHALL NOT RELY ON THE RESPONSIBILITY OF ESTIMATING THE WORK, IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ROOM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- B. ALL EXTERIOR LIGHTS SHALL BE DIMMABLE AND DOWNWARD DIRECTED.
- C. EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10 FEET FROM THE EXISTING STREET OR, AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT (916) 996-8863. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- D. DRYER VENTS SHALL TERMINATE ON THE EXTERIOR OF THE BUILDING AND WILL HAVE A BACK-DRAFT DAMPER (FLAP). SCREENS SHALL NOT BE PERMITTED OR INSTALLED AT THE DRYER VENT TERMINATION. CLOTHES DRYER VENT PIPES SHALL NOT PASS THROUGH OR EXTEND INTO TO DUCTING OR PLUMBING. DRYER DUCTING SHALL NOT BE FASTENED WITH SCREW TYPE FASTENERS WHICH MAY BEHIND THE AIR FLOW OR CAUTION. VENTS MUST BE FASTENED AND SEALED SUBSTANTIALLY AIR TIGHT AT EACH JOINT. (AN APPROVED FASTENING SYSTEM IS ALUMINUM DUCT TAPE).
- E. A MINIMUM OF A 4-INCH DIAMETER DUCT IS REQUIRED.
- F. CLOTHES DRYER VENT DUCTS SHALL BE METAL AND SHALL HAVE A SMOOTH INTERIOR SURFACE. AN APPROVED FLEXIBLE DUCT CONNECTOR OR NOT MORE THAN 10 FEET IN LENGTH MAY BE USED TO CONNECT THE DRYER TO THE DRYER VENT PIPES. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN THE CONSTRUCTION. FLEX DUCT CONNECTORS SHALL NOT PASS INTO OR THROUGH A CONCEALED SPACE. THIS INCLUDES CABINETS, WALLS AND ATTIC SPACES.
- G. A DRYER VENT DUCT SHALL NOT EXCEED THE MAXIMUM LENGTH (HORIZONTAL AND/OR VERTICAL) OF 14 FEET INCLUDING TWO (2) 90 DEGREE (TURN) TURNS WITHOUT A MECHANICAL UPGRADE. TWO FEET OF LENGTH SHALL BE DEDICATED FOR EACH ADDITIONAL 90 DEGREE TURN.
- H. MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER-TIGHT CONDITION.
- I. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT OR OCCUPY AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- K. THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- L. REMOVE MISCELLANEOUS ITEMS AS ATTACHED TO THE BUILDING AS INDICATED.
- M. REMOVE FLOORING AND BASE THROUGHOUT U.O.
- N. WHERE REMOVAL OF FLOORING AND WALLS AND BASE ARE REQUIRED, REMOVE ALL MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC., AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- O. CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR RIBBONED OFF ZONES.
- P. ALL ITEMS FOR REUSE SHALL BE STORED BY CONTRACTOR ON SITE IN BINS BUILDING AT SPECIFIED LOCATION. ITEMS TO BE REUSED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION.
- Q. ITEMS NOT TO BE REUSED SHALL BE DISPOSED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOOPLING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- R. PROTECTING AND REPAIRING EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- S. ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL, OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- T. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.

| OVERALL WINDOW SCHEDULE | | | |
|-------------------------|------------|------------|---------------------------|
| TYPE MARK | WIDTH | HEIGHT | Comments |
| 001 | 3'-0" | 3'-0" | Vinyl Slider Window |
| 002 | 4'-0" | 4'-0" | Vinyl Slider Window |
| 003 | 1'-10 1/2" | 3'-11 1/4" | Fixed deck mtg., Skylight |



KEYNOTES

- 1 NOT IN SCOPE.
- 2 EXISTING WINDOW FRAME, HARDWARE, TO BE REMOVED. PATCH AND REPAIR AT DOOR OPENING WHERE IT'S OCCURRED.
- 3 EXISTING WINDOW TO REMAIN.
- 4 EXISTING GARAGE DOOR TO REMAIN.
- 5 EXISTING DOOR TO REMAIN.
- 6 NO GYP. BD. IN THE BATHROOM.
- 7 NEW HARDWOOD FLOORING.
- 8 NONE ABERSTON SURFACE WITH +6" MIN. HEIGHT ABOVE THE FINISH FLOOR.
- 9 NEW INTERIOR WOOD FRAME WALL WITH GYP. BOARD. REFER TO PARTITION TYPE A SHEET A2.11.
- 10 NEW SHOWER WITH TEMPERED GLAZING AND SHOWERHEAD SELECTED BY OWNER. SHOWERHEAD SHALL COMPLY WITH CALIFORNIA GREEN BLDG. RESIDENTIAL MANDATORY MEASURES. SEE 12A.01 FOR TILE DETAIL.
- 11 NEW SINK CABINET AND FAUCET SELECTED BY OWNER. BATH SINK FAUCET SHALL COMPLY WITH CALIFORNIA GREEN BLDG. RESIDENTIAL MANDATORY MEASURES.
- 12 NEW FLOOR MOUNT TWO PIECES WATER CLOSET SELECTED BY OWNER. WATER CLOSET SHOWERHEAD SHALL COMPLY WITH CALIFORNIA GREEN BLDG. RESIDENTIAL MANDATORY MEASURES.
- 13 NEW CONCRETE STEPS WITH 2" MIN. LANDING.
- 14 NEW SINK/CABINET AND WITHCEN CABINETS. KITCHEN FAUCET SELECTED BY OWNER AND SHALL COMPLY WITH CALIFORNIA GREEN BLDG. RESIDENTIAL MANDATORY MEASURES.
- 15 NEW 40 TANKLESS WATER HEATER.
- 16 EXISTING ATTIC FURNACE 40 TON.
- 17 2" VTR. SEE VTR CALCULATION, SHEET 2.31 AND 2A.02.
- 18 FRAMELESS 3/8" THICK TEMPERED GLASS PANEL WITH 1" ANKORED ALUM. U-CHANNEL AT BOTTOM.
- 19 EXISTING GAS METER.

DEMOLITION FLOOR PLAN SYMBOLS LEGEND

- WALL TO BE REMOVED
- WALL TO REMAIN
- WINDOW TO REMAIN
- WINDOW TO BE REMOVED
- DOOR TO REMAIN
- DOOR TO BE REMOVED

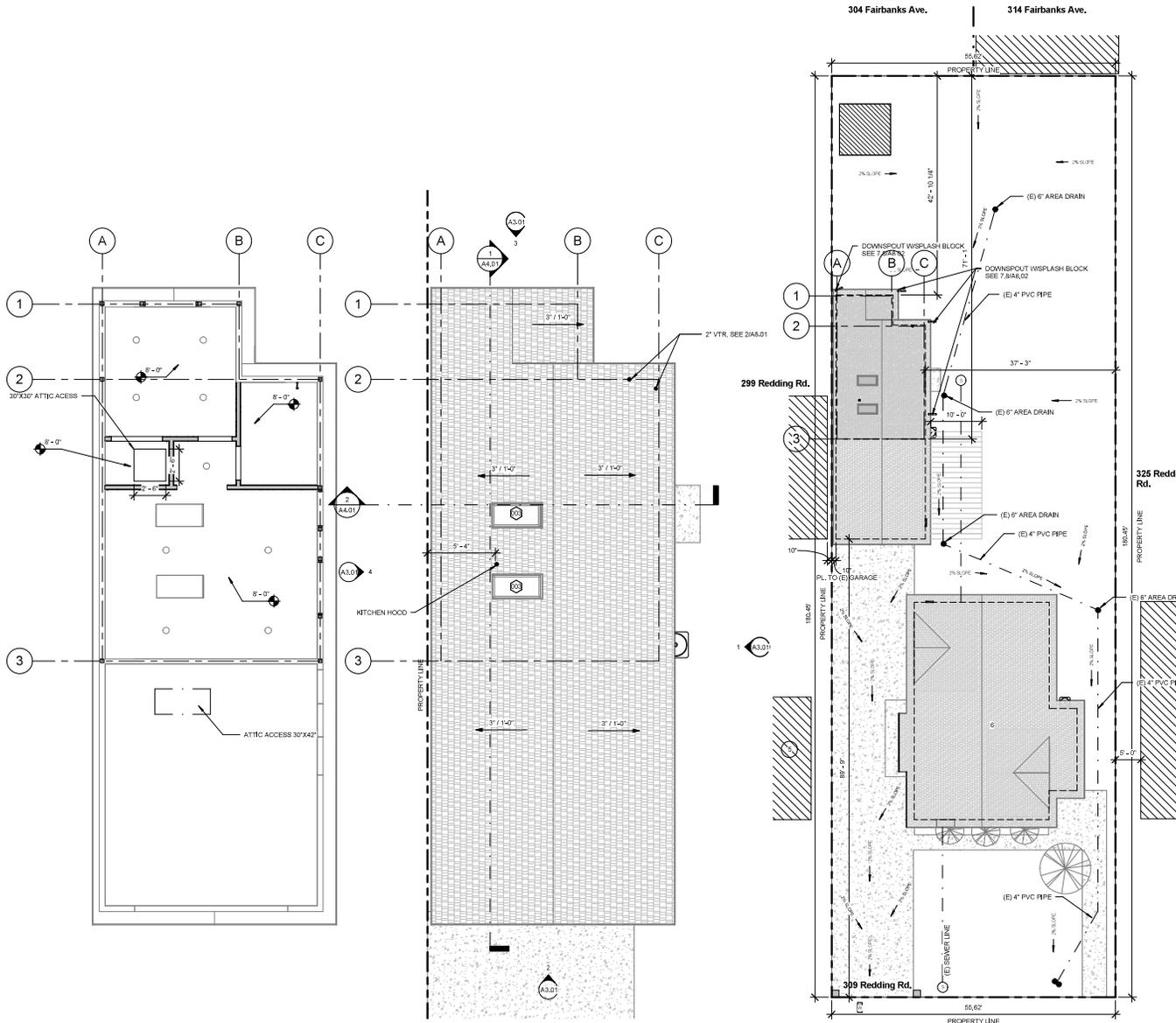
FLOOR PLAN SYMBOLS LEGEND

- NEW WALL, SEE WALL TYPE NOTES
- EXISTING WALL
- NEW WINDOW
- EXISTING WINDOW
- NEW DOOR
- EXISTING DOOR
- 6" x 14" G.I. FOUNDATION VENT

WALL TYPE

- R3 HIGH DENSITY FIBERGLASS BATT INSULATION IN 2X4 EXTERIOR WOOD FRAMED WALL CAVITIES TYPICAL THROUGHOUT. 7/8" MIN. STUCCO (3 COAT) MINERALS WOOL DUAL LAYER GRADE 15 PAPER TO MATCH EXISTING AND LAYER OF GYP. BD. INSIDE AND PROVIDE 26 GA. GALVANIZED WEEP SCREED WITH MINIMUM VERTICAL AIR GAP BEHIND FLANGES OF 3/4" INCHES SHALL BE PROVIDED AT FOUNDATION PLATE LINE AT LEAST 1" ABOVE GRADE (OR 2" INCHES ABOVE CONCRETE OR PAVING) AND SHALL BE OF A TYPE THAT WILL ALLOW DRAINED WATER TO DRAIN THE EXTERIOR OF THE BUILDING.
- 2X4 INTERIOR WOOD FRAMED WALL WITH 12" GYPSUM HWL BOARD ON BOTH SIDES.
- SAME AS WALL TYPE EXCEPT: A LAYER OF 5/8" TYPE "X" GYP. BOARD AT GARAGE SIDE. THIS WALL TO BE EXTENDED TO ROOF SHEATHING.

| No. | Date | Description |
|-----|---------|-------------|
| 1 | 1/31/19 | PRELIMINARY |
| 2 | 6/7/19 | PERMITS |



GENERAL NOTES

- A. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE PERFORMED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE RDM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH MANIFESTS ITSELF NECESSARILY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMISSIONS OR DESCRIBED DETAILS OF THE WORK AS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY RDM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM RDM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- B. ANY EXISTING LIGHTS SHALL BE SHIELDED AND DOWNWARD DIRECTED.
- C. EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 18 FEET FROM THE EXISTING STREET TREES, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 606-986-8600. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- D. EXTERIOR LIGHTS SHALL TERMINATE ON THE EXTERIOR OF THE BUILDING AND WILL HAVE A BACK DRAFT DAMPER (FLAPPER) SCREENS SHALL NOT BE PERMITTED OR INSTALLED AT THE EXTERIOR VENT TERMINATION. CLOTHES DRYER VENT PIPES SHALL NOT PASS THROUGH OR ENTER INTO DUCTING OR PLUMBING. EXTERIOR DUCTING SHALL NOT BE FASTENED WITH SCREWS THE FASTENERS WHICH MAY WEAR, THE AIR FLOW OR CATCH UNIT, YET MUST BE FASTENED AND SEALED SUBSTANTIALLY AIRTIGHT AT EACH JOINT (AN APPROVED FASTENING SYSTEM IS ALUMINUM DUCT TAPE).
- E. A MINIMUM OF A 4-INCH DIAMETER DUCT IS REQUIRED.
- F. CLOTHES DRYER VENT DUCTS SHALL BE METAL AND SHALL HAVE A SMOOTH EXTERIOR SURFACE. AN APPROVED FLEXIBLE DUCT CONNECTOR OF NOT MORE THAN 6 FEET IN LENGTH MAY BE USED TO CONNECT THE DRYER TO THE DRYER VENT PIPE. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN THE CONSTRUCTION. FLEX DUCT CONNECTORS SHALL NOT PASS INTO OR THROUGH A CONDENSABLE SPACE. THIS INCLUDES CABINETS, WALLS AND ATTIC SPACES.
- G. A DRYER VENT DUCT SHALL NOT EXCEED THE MAXIMUM LENGTH HORIZONTAL AND/OR VERTICAL OF 14 FEET INCLUDING TWO (2) 90 DEGREE TURNS WITHOUT A MECHANICAL UPSHADE. TWO FEET OF LENGTH SHALL BE DEDUCTED FOR EACH ADDITIONAL 90 DEGREE TURN.
- H. MOBILE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- I. CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- J. THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF CONSTRUCTION DEBRIS AND ITEMS NOT DESIGNATED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- K. REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- L. REMOVE FLOORING AND BASE THROUGHOUT UNDO.
- M. WHERE REMOVAL OF FLOOR COVERINGS AND WALLS IS REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC., AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- N. CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE SAFERINGS OR RIBBING OF ZONES.
- O. ALL ITEMS FOR REUSE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE REUSED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION.
- P. ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STORING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- Q. DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- R. ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL, OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- S. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
- T. APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. DURING THE COURSE OF CONSTRUCTING IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF OR A DEPARTURE FROM THE CITY OF CUPERTINO SPECIFICATION OR THESE IMPROVEMENT PLANS. THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER AND/OR CONTRACTOR.
- U. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- V. CONTRACTOR IS RESPONSIBLE FOR DUCT CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- W. CONTRACTOR SHALL REVIEW CITY DETAIL 8.4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- X. UTILIZE BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY WHICH DISTURBS THE SOIL.
- Y. A WORK SCHEDULE OF GRADING AND EROSION & SEDIMENT CONTROL PLAN SHALL BE PROVIDED TO THE CITY ENGINEER BY AUGUST 15. NO HILLSIDE GRADING SHALL BE PERFORMED BETWEEN OCTOBER 1 AND APRIL 15.
- Z. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
- AA. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
- AB. DRAINAGE IS INDICATIVELY PROVIDED. THEREFORE, A STREET CUT MORTARISM IS IN PLACE FOR A PERIOD OF THREE YEARS. HOWEVER, EXCEPTIONS CAN BE GRANTED WITH PROPER PAVEMENT RESTORATION SUCH AS SLURRY SEAL. THEREFORE, ADDITIONAL COST MAY BE ADDED TO ANY UTILITY WORK IN THE PAVEMENT.
- AC. IF THE PROJECT DAMAGES THE CITY'S SIDEWALK OR CURB AND GUTTER AS RESULT OF CONSTRUCTION ACTIVITIES, THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE ANY DAMAGES AS DIRECTED BY THE PUBLIC WORKS INSPECTOR. AN ENCROACHMENT PERMIT WILL ALSO BE REQUIRED.

ATTIC VENTILATION AND VTR CALCULATION

| | | |
|---|--|--|
| <ul style="list-style-type: none"> • PROVIDE 4"x16" ATTIC VENTS EVENLY SPACED AROUND PERIMETER OF ROOF FOR CROSS VENTILATION REQUIREMENTS. VENT NEW ATTIC 1109 SF MIN. REQ. | <ul style="list-style-type: none"> OR • PROVIDE 2"x14" EYEBROW VENTS EVENLY SPACED AROUND PERIMETER OF ROOF FOR CROSS VENTILATION REQUIREMENTS. | <p>VTR CALCULATION</p> <p>1'x2' VENT = 1 x 1.31416</p> <p style="text-align: right;">= 4</p> |
| <ul style="list-style-type: none"> • 30% x 438 SF = 131.4 SF • 229 SF / 57.5 = 3.98 SF • 2 SF x 144 = 288 SQ. IN. • FREEZE VENT SIZE 4" X 16" = 64 SQ. IN. EA. 288/4 = 72 | <ul style="list-style-type: none"> • 30% x 438 SF = 131.4 SF • 229 SF / 57.5 = 3.98 SF • 2 SF x 144 = 288 SQ. IN. • FREEZE VENT TYP 2" X 14" = 56 SQ. IN. EA. 288/4 = 72 | |
| <ul style="list-style-type: none"> • LATIC VENT MIN. REQ. IN LOWER PORTION | <ul style="list-style-type: none"> OR • EYEBROW VENTS MIN. REQ. IN UPPER PORTION | |

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Handwritten signature

A Second Dwelling Unit For:
Burdhadeb Basu
309 Redding Rd., Campbell, CA 95008

| Rev. | Date | Revision Description |
|------|---------|----------------------|
| 1 | 1/31/19 | PLM:01 |
| 2 | 6/7/19 | PER:00 |

Description:
REFLECTED CEILING PLAN AND ROOF PLAN

Project Date: **11/12/2018**

Drawn by: **RCB**

Checked by: **RCB**

Project Number: **180711**

Scale: **As Indicated**

A2.21

1 MAIN FLOOR - REFLECTED CEILING PLAN 1/4" = 1'-0"

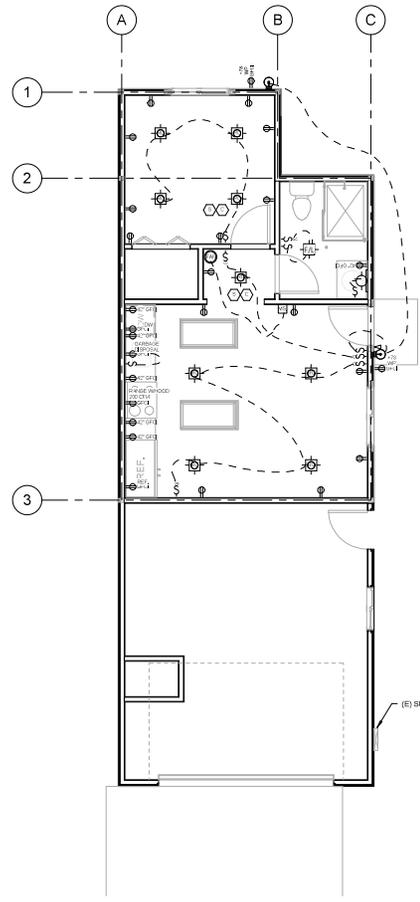
2 ROOF PLAN 1/4" = 1'-0"

3 EXISTING SITE DRAINAGE PLAN 1" = 10'-0"

10/20/18 10:55:59 AM

GENERAL NOTES

- a. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE PERFORMED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ROOM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO PROCEED, THE CONTRACTOR SHALL BE PROCEEDING AT HIS OWN RISK. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, SITE CONDITIONS, AND CUSTOMARY PRACTICES SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY ROOM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ROOM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- b. ALL EXTERIOR LIGHTS WILL BE SHIELDED AND DOWNWARD DIRECTED.
- c. REMOVABLE EQUIPMENT, FURNITURE, ETC., SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- d. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
- e. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- f. THE OWNER WILL RETAIN SALVAGE ITEMS AS DESCRIBED BY THE OWNER OR REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- g. REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- h. WHERE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES ADHESIVES, GROUTING BEDS, ETC., AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- i. CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR RIBBONED OFF ZONES.
- j. ALL ITEMS FOR RE-USE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNERS BUILDING AT SPECIFIED LOCATION. ITEMS TO BE RE-USED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION.
- k. ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOOPLING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- l. DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- m. ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- n. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.



RESIDENTIAL ENERGY REQUIREMENT NOTES

- a. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE. SHALL BE CERTIFIED AS ARTIGHT (INCLUDING EXHAUST FAN HOUSINGS), SHALL BE SEALED WITH A GASKET OR CALK BETWEEN THE LUMINAIRE HOUSING AND CEILING. SHALL NOT CONTAIN SCREW BASE SOCKETS, AND ALL LIGHT SOURCES SHALL BE MARKED WITH "IM2018-E" AS SPECIFIED IN REFERENCE: LUMI APPENDIX J.M
- b. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA ICSL 7A.
- c. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
- d. LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
- e. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- f. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS).
- g. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- h. RESIDENTIAL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH WITH PHOTOCELL AND MOTION SENSOR.
- i. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE. SHALL BE CERTIFIED AS ARTIGHT (INCLUDING EXHAUST FAN HOUSINGS), SHALL BE SEALED WITH A GASKET OR CALK BETWEEN THE LUMINAIRE HOUSING AND CEILING. SHALL NOT CONTAIN SCREW BASE SOCKETS, AND ALL LIGHT SOURCES SHALL BE MARKED WITH "IM2018-E" AS SPECIFIED IN REFERENCE: LUMI APPENDIX J.M
- j. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA ICSL 7A.
- k. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
- l. LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
- m. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- n. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQ. FT. AND HALLWAYS).
- o. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- p. RESIDENTIAL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH WITH PHOTOCELL AND MOTION SENSOR.
- q. COMPLETED ELECTRICAL FORM MUST BE PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. A CONDENSATE DRAIN THAT IS MORE THAN 2" HIGHER THAN BASE OF INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMPS ASSISTANCE. PROVIDED VENTILATION HEATING AND AIR CONDITIONING SYSTEM WITH MERV 6 FILTERS OR BETTER.
- r. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLOYS, DENIS, BEDROOMS, SLEEPING PORCHES, RECREATIONS ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER, SEE ELECTRICAL OUTLET HEIGHT AT 11A/10/2.
- s. TERMINATION OF ENVIRONMENTAL AIR DUCTS, ENVIRONMENTAL AIR DUCT EXHAUST SHALL TERMINATE A MINIMUM OF THREE (3) FEET (914 MM) FROM PROPERTY LINE AND THREE (3) FEET (914 MM) FROM SPRINGS INTO THE BUILDING. LIGHTING TO BE HIGH EFFICIENCY.

ELECTRICAL LEGEND

ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLOYS, LIBRARIES, DENIS, BEDROOMS, SLEEPING PORCHES, RECREATIONS ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER, SEE ELECTRICAL OUTLET HEIGHT AT 11A/10/2.

| | | | | | |
|--|---|--|--|--|---|
| | EXTERIOR WALL MOUNTED INTEGRATED PHOTO CELL - WATER PROOF | | WATERPROOF/PROOF OF FIRE DUPLEX, PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER | | STANDARD DUPLEX, PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. TO BE INSTALLED 15" ASB.F.F |
| | 220V OUTLET / GFCI | | WATER PROOF EXHAUST FAN/LIGHT-PANASONIC 150 CFM | | WET LOCATION ADJUSTABLE 4" RECESSED CAN W/WP SOLID LENS |
| | GROUND FAULT CIRCUIT INTERRUPTER | | SINGLE SWITCH DIMMER | | 247 FAN - 110 CFM W/ 0.3 SQ. IN. W/PROP-COMP/PANASONIC 247 CONTINUOUS 458 BTU / HOUR (45 (1+1)X7.5) 53 db |
| | SUB PANEL | | THREE OR FOUR WAY SWITCH DIMMER | | MOTION SWITCH |
| | HARDWARE DOORBELL /BUZZER | | OCCUPANCY SWITCH | | NEW CARBON MONOXIDE DETECTOR INTERCONNECTED 110V W/ 10 YR. BATTERY LIFE BACK-UP ** |
| | WALL MOUNT VAINITY MIRROR LED LIGHT | | 4" CEILING RECESSED LED LIGHT | | NEW SMOKE DETECTOR INTERCONNECTED 120V W/ 10 YR. BATTERY LIFE BACK-UP ** |

THE EXHAUST SYSTEM SHALL TERMINATE AS FOLLOWS

- a. OUTSIDE THE BUILDING WITH A FAN OR DUCT THROUGH THE ROOF, OR TO THE ROOF FROM OUTSIDE, AS IN SECTION 910.8.2, OR THROUGH A WALL, AS IN SECTION 910.8.3, ROOFTOP TERMINATIONS.
- b. ROOFTOP TERMINATIONS SHALL BE ARRANGED WITH OR PROVIDED WITH THE FOLLOWING:
 - a. A MINIMUM OF TEN (10) FEET (3.05 MM) OF CLEARANCE FROM THE OUTLET TO ADJACENT BUILDINGS, PROPERTY LINES, AND AIR INTAKES, WHERE SPACE LIMITATIONS ABSOLUTELY PREVENT A TEN (10) FOOT (3.05 MM) HORIZONTAL SEPARATION FROM AN AIR INTAKE, A VERTICAL SEPARATION SHALL BE PERMITTED, WITH THE EXHAUST OUTLET BEING A MINIMUM OF THREE (3) FEET (914 MM) ABOVE ANY AIR INTAKE LOCATED WITHIN TEN (10) FEET (3.05 MM) HORIZONTAL.
 - b. THE EXHAUST SHALL DISCHARGE OUT OF ANY TRAPS OR LOW POINTS FORMED IN THE FAN OR DUCT NEAR THE TERMINATION OF THE SYSTEM INTO A COLLECTION CONTAINER THAT IS NONCOMBUSTIBLE, CLOSED, RAINPROOF, STRUCTURALLY SOUND FOR THE SERVICE TO WHICH IT IS APPLIED, AND WILL NOT SUSTAIN COMBUSTION. A GREASE COLLECTION DEVICE THAT IS APPLIED TO EXHAUST SYSTEMS SHALL NOT IMPAIR THE PERFORMANCE OF ANY FAN.
 - c. EXCEPTION: GREASE CONTAINERS THAT ARE EVALUATED FOR EQUIVALENCY WITH THE PRECEDING REQUIREMENTS AND LISTED AS SUCH.
- c. A LISTED GREASE DUCT COMPLYING WITH SECTION 910.4, OR WITH DUCTWORK COMPLYING WITH SECTION 910.5.
- d. A MINIMUM OF TEN (10) FEET (3.05 MM) OF CLEARANCE FROM THE OUTLET TO ADJACENT BUILDINGS, PROPERTY LINES, AND AIR INTAKES, WHERE SPACE LIMITATIONS ABSOLUTELY PREVENT A TEN (10) FOOT (3.05 MM) HORIZONTAL SEPARATION FROM AN AIR INTAKE, A VERTICAL SEPARATION SHALL BE PERMITTED, WITH THE EXHAUST OUTLET BEING A MINIMUM OF THREE (3) FEET (914 MM) ABOVE THE ROOF SURFACE.
- e. THE ABILITY TO DRAIN GREASE OUT OF ANY TRAPS OR LOW POINTS FORMED IN THE FAN OR DUCT NEAR THE TERMINATION OF THE SYSTEM INTO A COLLECTION CONTAINER THAT IS NONCOMBUSTIBLE, CLOSED, RAINPROOF, STRUCTURALLY SOUND FOR THE SERVICE TO WHICH IT IS APPLIED, AND WILL NOT SUSTAIN COMBUSTION. A GREASE COLLECTION DEVICE THAT IS APPLIED TO EXHAUST SYSTEMS SHALL NOT IMPAIR THE PERFORMANCE OF ANY FAN.
- f. EXCEPTION: GREASE CONTAINERS THAT ARE EVALUATED FOR EQUIVALENCY WITH THE PRECEDING REQUIREMENTS AND LISTED AS SUCH.
- g. A LISTED GREASE DUCT COMPLYING WITH SECTION 910.4, OR WITH DUCTWORK COMPLYING WITH SECTION 910.5.
- h. A MINIMUM OF TEN (10) FEET (3.05 MM) OF CLEARANCE FROM THE OUTLET TO ADJACENT BUILDINGS, PROPERTY LINES, AND AIR INTAKES, WHERE SPACE LIMITATIONS ABSOLUTELY PREVENT A TEN (10) FOOT (3.05 MM) HORIZONTAL SEPARATION FROM AN AIR INTAKE, A VERTICAL SEPARATION SHALL BE PERMITTED, WITH THE EXHAUST OUTLET BEING A MINIMUM OF THREE (3) FEET (914 MM) ABOVE THE ROOF SURFACE AND THE FAN DISCHARGES A MINIMUM OF FORTY (40) INCHES ABOVE THE ROOF SURFACE. (SEE SECTION 911.1.1).
- i. OTHER APPROVED FAN, PROVIDED: (1) IT MEETS THE REQUIREMENTS OF SECTIONS 910.8(2)(C) AND 911.1.3, AND (2) ITS DISCHARGE OR ITS EXTENDED DUCT DISCHARGE MEETS THE REQUIREMENTS OF SECTION 910.8(2B).

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|--------------------|--|-----------------------|-------------------------------|
| POWER SOURCE: | 120VAC, 9V BATTERY BACKUP | MIDDLE - M1-COOP-54PM | THREE AA BATTERIES (INCLUDED) |
| AUDIC: | ISOBS AT DUPT | SENSOR: | ELECTRO-CHEMICAL |
| TEMPERATURE RANGE: | (40C) TO 100F (37.4C) | AUDIC ALARM: | 80DB AT 100 FT |
| HUMIDITY RANGE: | UP TO 85% RELATIVE HUMIDITY (RH) | TEMPERATURE RANGE: | 40F (4.4C) TO 100F (37.8 C) |
| (RH) SENSOR: | NON-DATATION | HUMIDITY RANGE: | 5% TO 90% RELATIVE HUMIDITY |
| (RH) WIRING: | QUICK CONNECT PLUGS WITH 8' PRETALS | (RH): | 4.5" X 2.275" X 1.5" D |
| SIZE: | 5.75" IN DIAMETER X 1.25" DEPTH | (WGT): | .66LBS (WITH BATTERIES) |
| WEIGHT: | 0.4LB | (WIRING): | NO |
| INTERCONNECTS: | UP TO 24 DEVICES OF WHICH 16 CAN BE INITIATING | INTERCONNECTS: | NO |
| | | WARRANTY: | 10 YEAR LIMITED |

A Second Dwelling Unit For:
Burdhadeb Basu
 300 Redding Rd, Campbell, CA 95008

| | | |
|------|--------|---------------------|
| Rev. | Date | Revised Description |
| 3 | 7/2/19 | PHD/MS |

| | |
|-----------------|---|
| Description: | ELECTRICAL AND LIGHTING FLOOR PLAN |
| Project Date: | 11/12/2018 |
| Drawn by: | PHD |
| Checked by: | PHD |
| Project Number: | 180711 |
| Scale: | As Indicated |

A2.23

GENERAL NOTES

- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE PERFORMED TO DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE RDM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISREPRESENTATION OF THE WORK WHICH IS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMISSIONS OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS OF THE EXISTING ROAD, THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY RDM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM RDM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- DEMOLITION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10 FEET FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 650-496-5963. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- REMOVE FLOORING AND BASE THROUGHOUT UNL.
- REMOVE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED. REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC., AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR BARRICADED OFF ZONES.
- ALL ITEMS FOR REUSE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE REUSED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION.
- ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DEPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL, OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
- GAZONING OR IS RECENTLY PAVED, THEREFORE A STREET CLOSURE MORATORIUM IS IN PLACE FOR A PERIOD OF THREE YEARS. HOWEVER, EXCEPTIONS CAN BE GRANTED WITH PROPER PAVEMENT RESTORATION SUCH AS SURFACE SEAL. THEREFORE, ADDITIONAL COST MAY BE ADDED TO ANY UTILITY WORK IN THE PAVEMENT.
- IF THE PROJECT DAMAGES THE CITY'S SIDEWALK OR CURB AND GUTTER AS RESULT OF CONSTRUCTION ACTIVITIES, THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE ANY DAMAGES AS ORDERED BY THE PUBLIC WORKS INSPECTOR. AN ENCROACHMENT PERMIT WILL ALSO BE REQUIRED.

1) APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN DURING THE COURSE OF CONSTRUCTING IMPROVEMENTS. PUBLIC INTEREST REQUIRES A MODIFICATION OF OR A DEPARTURE FROM THE CITY OF CUPERTINO SPECIFICATION OR THESE IMPROVEMENT PLANS. THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER AND/OR CONTRACTOR.

2) CONTACT PUBLIC WORKS (408) 777-3104 FOR INSPECTION OF GRADING, STORM DRAINAGE, AND PUBLIC IMPROVEMENTS.

3) ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.

4) CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.

5) CONTRACTOR SHALL REVIEW CITY DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVAL ANY TREES.

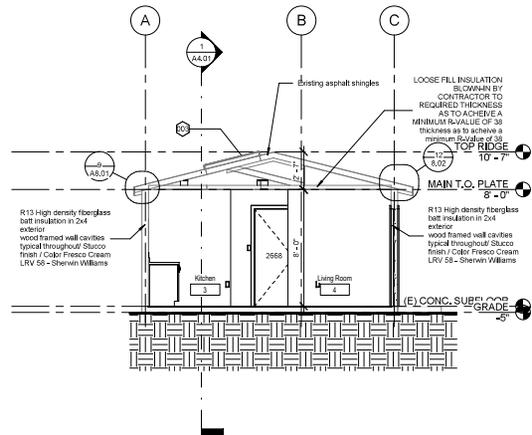
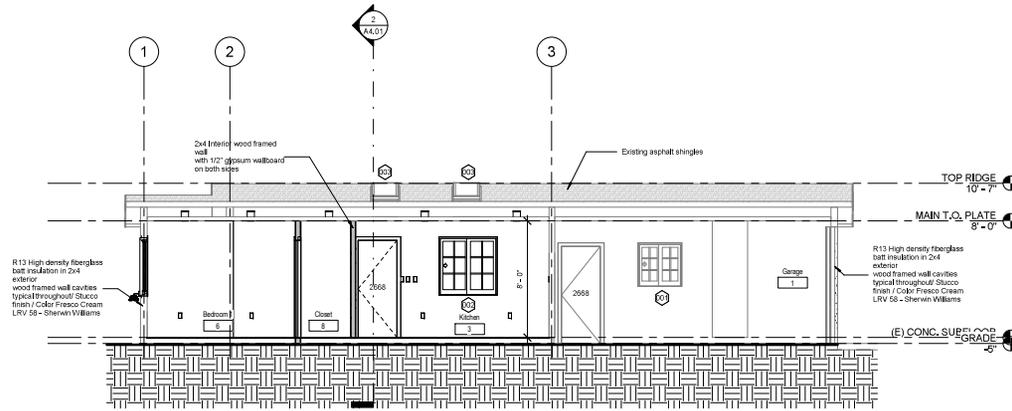
6) UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY WHICH OUTLIES THE SOIL.

7) A WORK SCHEDULE OF GRADING AND EROSION & SEDIMENT CONTROL PLAN SHALL BE PROVIDED TO THE CITY ENGINEER BY AUGUST 16. NO FURTHER GRADING SHALL BE PERFORMED BETWEEN OCTOBER 1 AND APRIL 15.

8) TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.

9) ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.

10) PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.



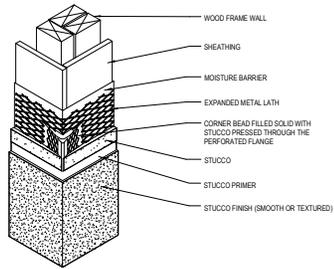
1822 W Campbell Ave., Suite 108
Campbell, CA 95008
mwh@rdmdesignstudio.com
(925) 949-9002

A Second Dwelling Unit For:
Burdhadeb Basu
308 Redding Rd., Campbell, CA 95008

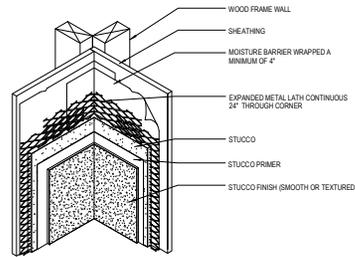
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11/12/2018
RCS
RCS
180711
1/4" = 1'-0"

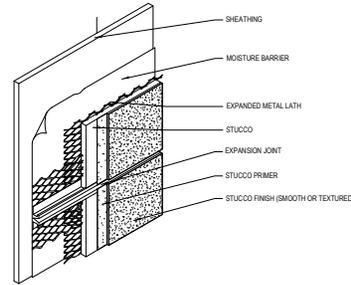
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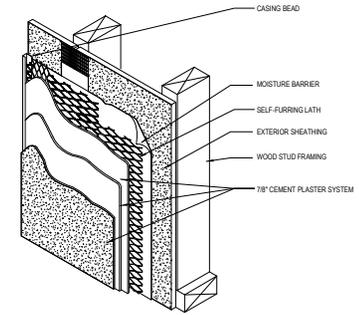
10 STUCCO AT OUTSIDE CORNER
6"=1'-0"



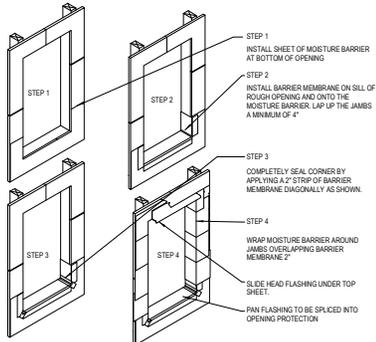
7 STUCCO INSIDE CORNER
6"=1'-0"



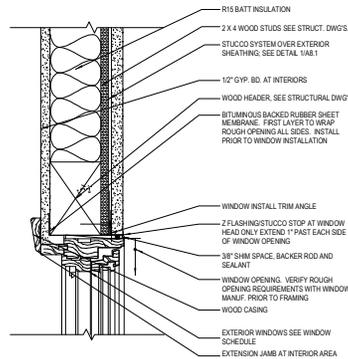
4 STUCCO CONTROL JOINT
NTS



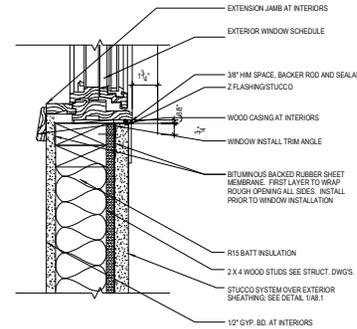
1 TYPICAL EXTERIOR THREE-COAT STUCCO SYSTEM OVER CEMENT BOARD
NTS



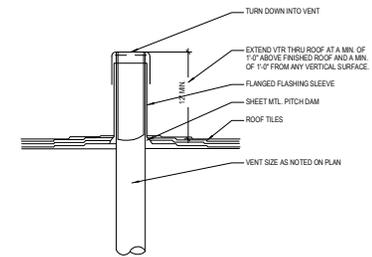
11 STUCCO - PREPARATION OF ROUGH OPENING
3/4"=1'-0"



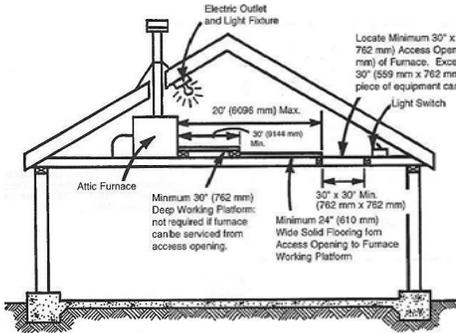
8 TYP. WINDOW HEAD DETAIL
3/8"=1'-0"



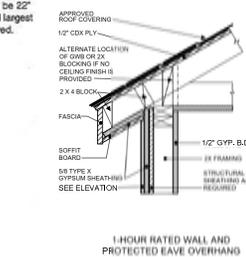
5 WINDOW SILL DETAIL
3/8"=1'-0"



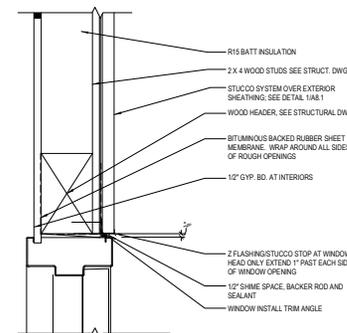
2 VENT TRHU ROOF DETAIL
1 1/2"=1'-0"



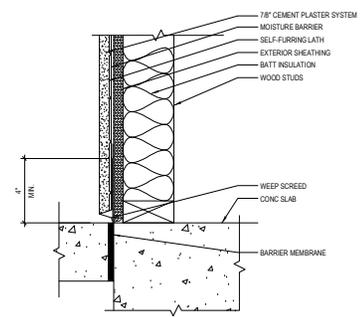
12 FURNANCE AT ATTIC DETAIL
NTS



9 TYPICAL EAVE DETAIL - 1 HR. RATED
3/8"=1'-0"



6 DOOR JAMB AT STUCCO
3/8"=1'-0"



3 STUCCO TERMINATION AT SLAB EDGE
3/8"=1'-0"

Mehran

| Rev. | Date | Description |
|------|------|-------------|
| | | |

| Description | |
|----------------|--------------|
| DETAILS | |
| Project Date | 11/12/2015 |
| Drawn by | RCS |
| Checked by | RCS |
| Project Number | 180711 |
| Scale | As Indicated |

