



CITY OF CAMPBELL
Community Development Department

July 31, 2020

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **August 11, 2020**, for a Public Hearing to consider the application of Dennis Shafer for a Site and Architectural Review Permit to allow a 285 square-foot second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum side setback of 5-feet where a ± 10 -foot side setback would otherwise be required on property located at **1789 Hurst Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. This Planning Commission meeting will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_uavFQC2sT1m_-cJvrGV1oA. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, August 7th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, July 31st, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

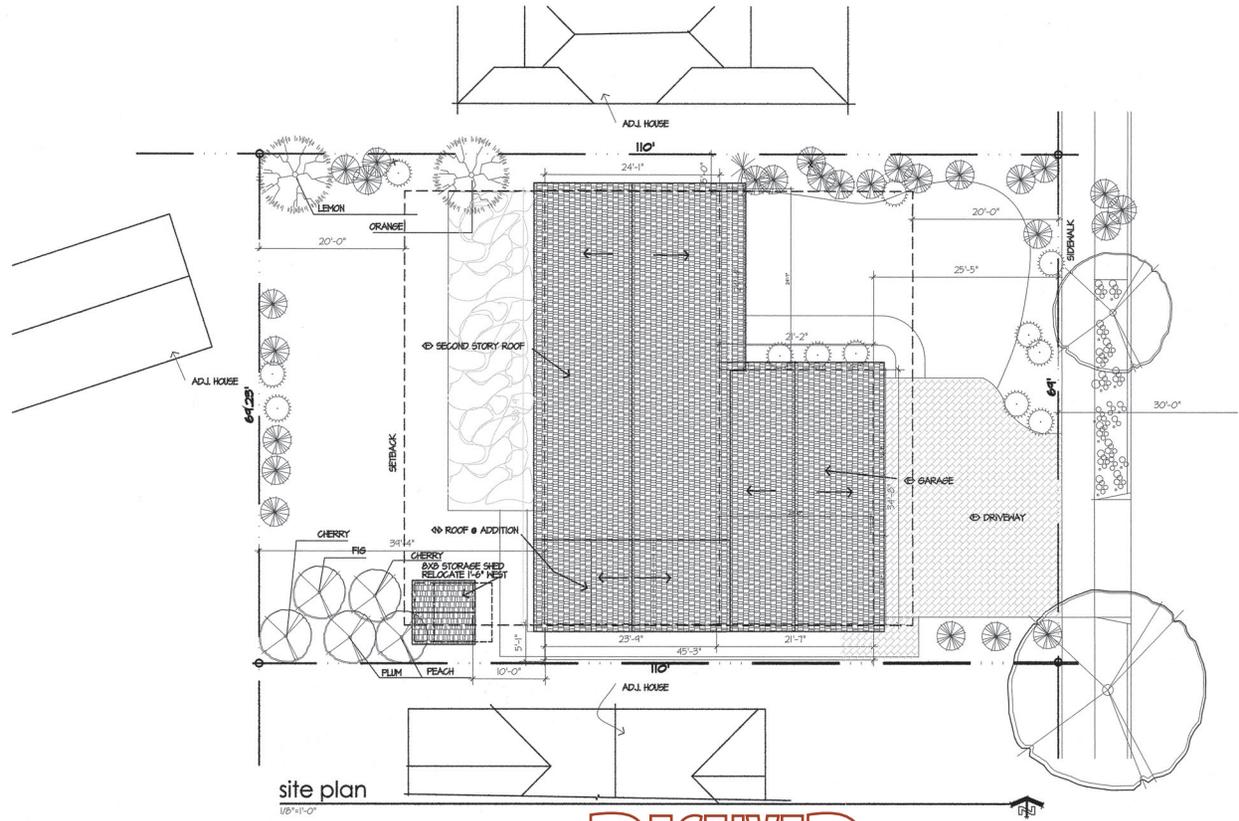
PLEASE NOTE: When calling about this Notice, refer to **1789 Hurst Avenue**



Location Map - 1789 Hurst Ave

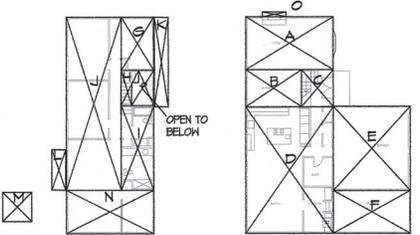


This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



site plan
1/8"=1'-0"

area calcs



SECOND FLOOR		1st FLOOR			
G	8'-11" x 4'-5"	129 SF	A	24'-1 1/2" x 4'-4"	346 SF
H	8'-11" x 9'-1"	34 SF	B	15'-4" x 10'-1"	155 SF
I	8'-11" x 2'-9"	206 SF	C	8'-8" x 10'-1"	87 SF
J	15'-2" x 4'-1"	713 SF	D	24'-1 1/2" x 3'-6"	831 SF
K	4' x 24'	1082 SF	E	21'-2" x 22'-1"	478 SF
L	4' x 11'	46 SF	F	21'-2" x 12'-1"	255 SF
M	8' x 6'	64 SF	O	6'-1" x 1'-4"	9 SF
N	24'-1" x 11'-10"	285 SF			2161 SF
		1521 SF			

general notes

PROGRAM: EXPAND EXISTING MASTER BEDROOM BY 285 SF.

SITE SUMMARY
 AREA OF SITE 1540 S.F. +/-
 CONST TYPE V-B
 APN 288-25-07B

BLDG AREA	ADJ HOUSE (0th FLR)	ADJ HOUSE (2nd FLR)	ADDITION
1674 S.F.	1222 S.F.	1674 S.F.	1222 S.F. - 44 S.F. = 1280 S.F.
TOTAL LIVING AREA	2296 S.F.	4 S.F.	3191 S.F.
FIREPLACE	4 S.F.	4 S.F.	4 S.F.
GARAGE	478 S.F.	478 S.F.	478 S.F.
SHED	64 S.F.	64 S.F.	64 S.F.
F.A.R.	3,447 / 1540 = 45.4	3,685 / 1540 = 40.6	

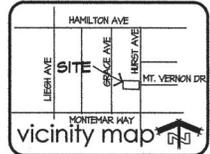
LOT COVERAGE ((1674 SF. + 4 SF. + 96 SF. + 64 SF. + 478 SF.) / 1540 = 30.6 %
 (2296 SF. + 4 SF. + 96 SF. + 64 SF. + 478 SF.) / 1540 = 30.6 %

- ALL INTERIOR FINISHES SHALL BE CLASS B FIRE RESISTANT MATERIALS, (CBC STANDARDS) UNO.
- ALL INTERIOR PARTITIONS TO MEET STRUCTURAL REQUIREMENTS OF CBC 2019, CRC, CFC, CHG, CFC, CEC.
- LIGHTING AND ELECTRICAL WORK IN ACCORDANCE WITH STATE OF CALIFORNIA ENERGY CONSERVATION STANDARDS, (TITLE 24) AND NATIONAL ELECTRICAL CODE.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL DUCTWORK TO BE INSTALLED AND INSULATED PER CBC ENERGY REQUIREMENTS.
- SPECIAL CONDITIONS TO BE HANDLED ON AN INDIVIDUAL BASIS.
- USE 205 F.T.D.P. MIDSPAN ANCHOR @ 4'-0" O.C. W/ 5/8" DIA ANCHOR BOLTS W/ 5/8" W/ 1/2" WASHERS, TYP. UNO.
- COMPLY WITH ALL REQUIRED CODES, ORDINANCES, ETC. 2019 CBC, CRC, CHG, CEC, CFC & CFC AND 2019 CA. ENERGY CODE.
- ALL METAL FASTENERS IN CONTACT WITH TREATED LUMBER TO BE HOT DIPPED ZINC COATED GALVANIZED STL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- ALL FASTENERS TO COMPLY WITH TABLE CRC R602.3 (I)

RECEIVED
6/22/2020

legend

- HALLS TO REMAIN
- HALLS TO BE REMOVED
- NEW EXTERIOR WALLS- 2 x 4 HD. STUDS @ 16" O.C. W/ 1/2" GYP. BD. ON INTERIOR WALL AND 1/2" GYP. BD. ON EXTERIOR. CEMENT PLASTER, R-15 BATT INSULATION UNO.
- INTERIOR WALLS- 2 x 4 HD STUDS W/ 1/2" GYP. BD. EA. SIDE UNO.
- DETAIL KEY
○ DETAIL NO.
○ SHEET NO.
- ⬇ ELEVATION KEY
- ⊕ ELEC. OUTLETS (110)
- ⊕ SMOKE DETECTOR (110 V) INTERCONNECTED W/ BATTERY BACKUP UNO.
- ⊕ LIGHT FIXTURE F - FLUORESCENT, OR LED
⊕ I - INCANDESCENT
⊕ J - JUNCTION BOX
- RECESSED LIGHT FIXTURE
- ⚡ SWITCH
- ⊕ OUTLET
- ⊕ GUADFLEX
- ⊕ PHONE OUTLET
- ⊕ DATA (COAX, CAT5 OR CAT6)

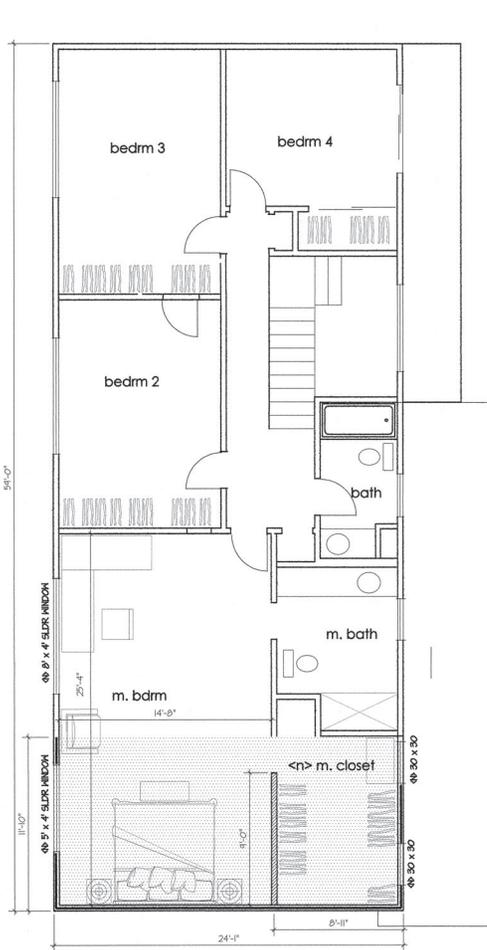


NO.	REVISIONS	DATE
1	PLI. 1/21/2020	7/27/20

MASTER BEDROOM EXTENSION
BETHLAHMY RESIDENCE
 10330 N. 41ST CAMINO REAL
 SUNNYVALE, CALIFORNIA 94087

shafte architecture
 10330 N. 41ST CAMINO REAL #1448
 SUNNYVALE, CALIFORNIA 94087
 PHONE: (408) 340-1336
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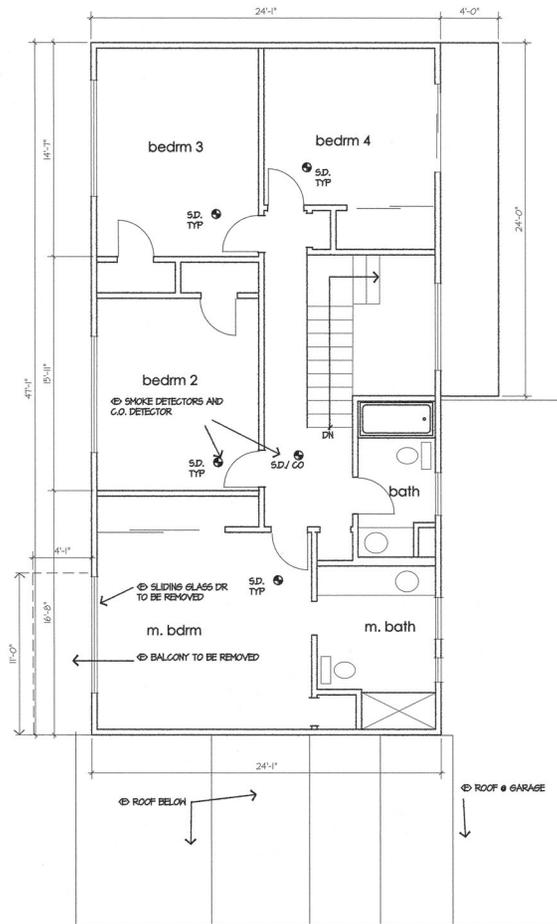
18-01
 2/11/18



<n> 2nd floor plan

114'-11-0"

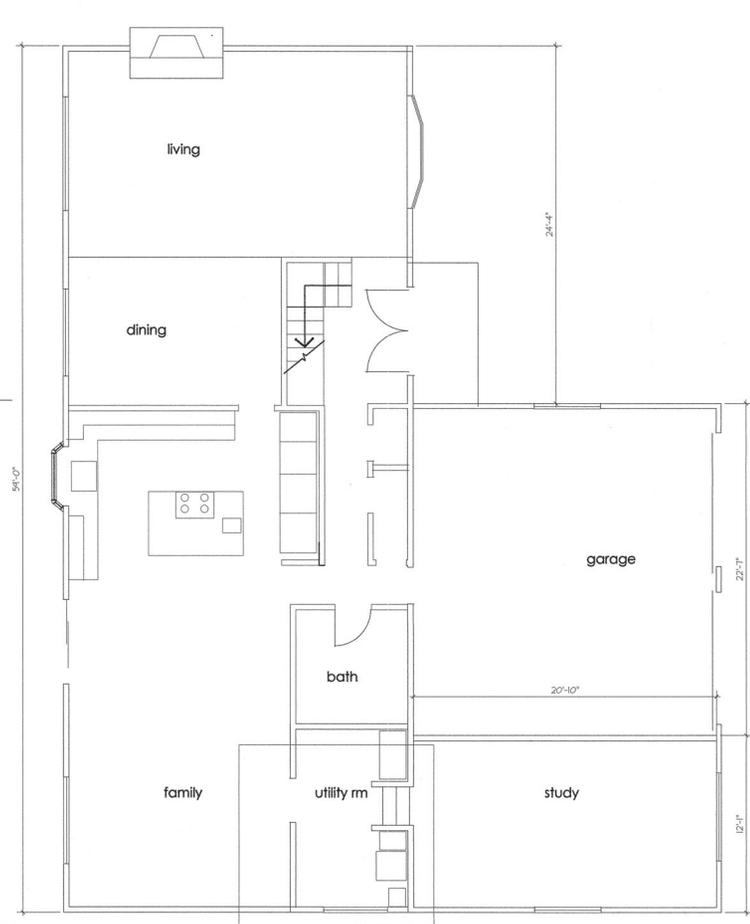
1082 SF LIVING, 96 BAL, REMOVE 44 BAL
 @ 295 ADDITION
 1367 SF LIVING, 46 BAL, 1463 SF TOTAL



<e> 2nd floor plan

114'-11-0"

1082 SF LIVING, 96 BAL, 44 BAL 1222 SF TOTAL



<e> 1st floor plan

114'-11-0"

1614 SF LIVING SPACE 410 SF GARAGE 2025 SF TOTAL

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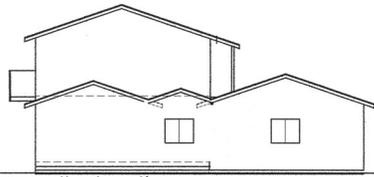
shafers
 architecture
 shafers is a registered architect
 P.O. Box 1336
 San Jose, CA 95128
 (408) 943-1336

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 Sunnyvale, California 94087

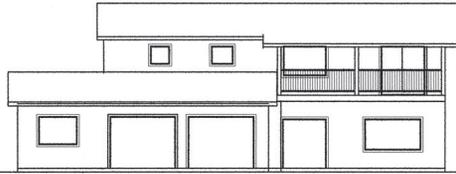
MASTER BEDROOM EXTENSION
BETH ANNY RESIDENCE
 1784 HURST AVE.
 CAMPBELL, CA

no.	revisions	date
1	Final submittal	12/22/14

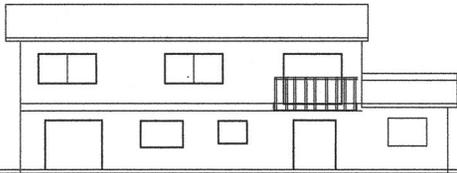
18-01
A2
 2/1/20



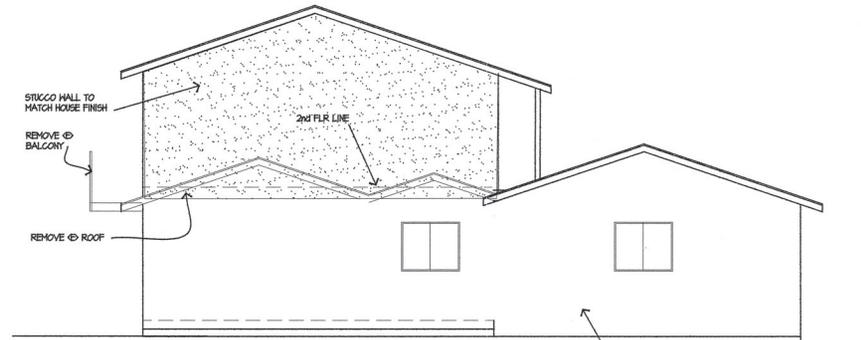
<e> south elevation
SCALE: 1/8"=1'-0"



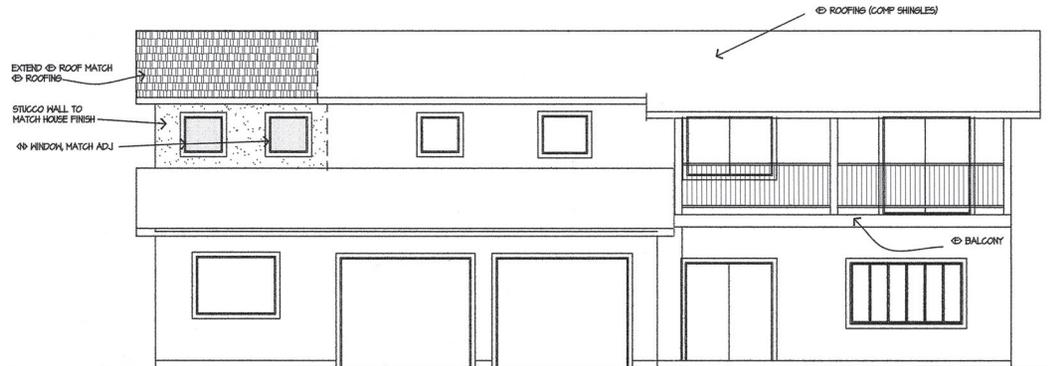
<e> east elevation
SCALE: 1/8"=1'-0"



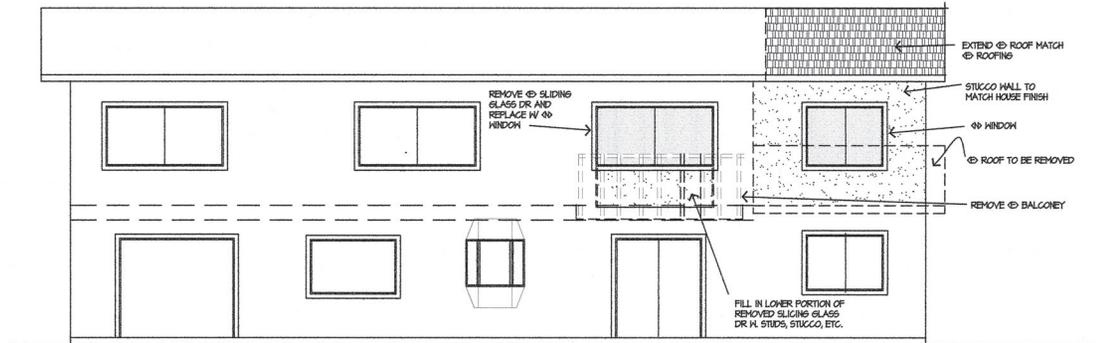
<e> west elevation
SCALE: 1/8"=1'-0"



south elevation
SCALE: 1/4"=1'-0"



east elevation
SCALE: 1/4"=1'-0"



west elevation
SCALE: 1/4"=1'-0"

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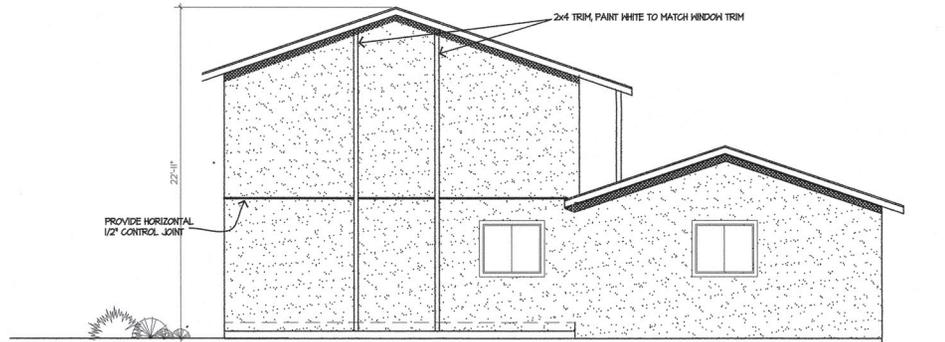
NO.	REVISIONS	DATE

MASTER BEDROOM EXTENSION
BETHLAHMY RESIDENCE
 1754 HURST AVE.
 CAMPBELL, CA

1030 W. O. Camino Real #244E
 Sunnyvale, California 94087

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 PRT (408) 343-1336

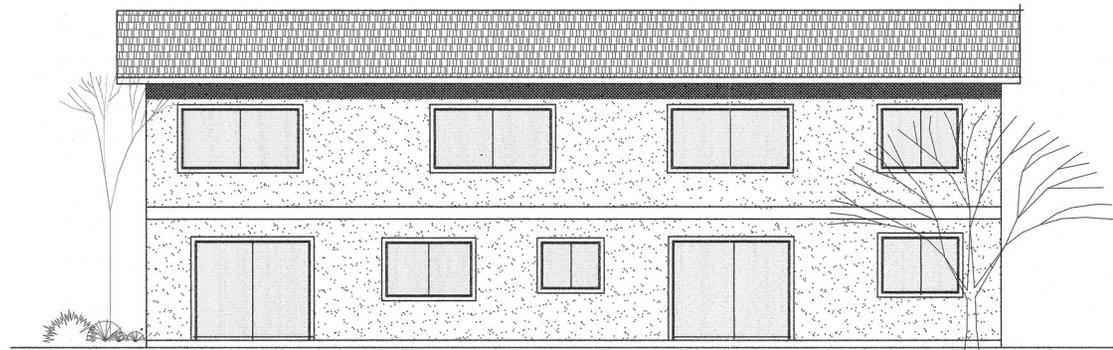
18-01
A3
 2/14/20



south elevation
SCALE: 1/4"=1'-0"



east elevation



west elevation
SCALE: 1/4"=1'-0"

no.	revisions	date
1	REV. (initials)	9/27/22

MASTER BEDROOM EXTENSION
BETHLAHMY RESIDENCE
7164 HURST AVE
CAMPBELL, CA

shafers architecture
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PHONE: 415.226.0712
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18-01
ABA
2/14/20

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