



CITY OF CAMPBELL
Community Development Department

October 30, 2020

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **November 10, 2020**, for a Public Hearing to consider the application of Bekir Aksin for a Modification (PLN-2020-32) to a previous Site and Architectural Review Permit ("S" 67-52) to allow exterior façade improvements and the remodel of an existing eight-unit apartment building and expansion of an existing detached carport to accommodate additional parking, a new trash enclosure, and a new storage shed on property located at **201 Rose Court**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_zs1r2IzGQE2y2lpQUQpCUQ. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, November 6th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, October 30th, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

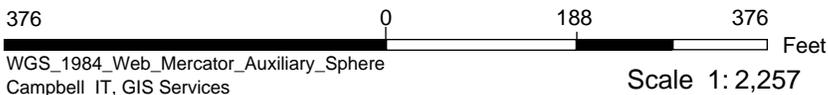
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE:

When calling on this Notice, refer to **201 Rose Court**



Location Map - 201 Rose Ct



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



230 ROSE COURT # 237 ROSE COURT



225 ROSE COURT # 215 ROSE COURT



PROJECT SITE (201 ROSE COURT)



55 JEFFERS WAY (CORNER)



SATELLITE VIEW MAP:



180 ROSE COURT ACROSS STREET # 190 ROSE COURT



200 ROSE COURT ACROSS STREET



210 ROSE COURT ACROSS STREET

ADJACENT BUILDINGS IN ROSE COURT



UNIT 1 & 2



COURT YARD VIEW



FRONT (STREET) VIEW



UNIT 1, 2, 3, 4



EXISTING GARAGE BUILDING TO BE DEMOLISHED



UNIT 7 & 8



UNIT 3 & 4



UNIT 1 & 2

PROJECT BUILDING PHOTOS

No.	Description	Date

ARTE ARCHITECTURE
 1208 SHAMISE STREET COSTA MESA, CA 92626
 PH: (949) 544-8104 LEVITIA@ARTEMAIL.COM

THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND NOT BE USED FOR ANY PROJECT EXCEPT THAT FOR WHICH THEY WERE PREPARED. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER IS STRICTLY PROHIBITED. THE DESIGNER SHALL HAVE NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS. AND THIS OFFICE MUST BE NOTIFIED OF ANY VIOLATIONS FROM THE BUILDERS AND CONTRACTORS SHOWING UP ON THE JOB SITE.

STREETSCAPE

**ROSE COURT APARTMENTS
 REMODELING
 201 ROSE COURT
 CAMPBELL, CA**

Project no.	JIM
Date	AUG-24-2020
Drawn by	Author
Checked by	Checker
Scale	A1a

C:\DRAWINGS REVIT\ROSE COURT\ROSE.MXD

ARBORIST REPORT:

TREE INVENTORY - 201 ROSE COURT, CAMPBELL

For James Castellanos 06/02/20

Number	Common Name	Botanical Name	DBH* (inches)	Height (feet)	Spread (feet)	Condition	Age	PRESCRIPTION
1	Sweet Gum	Liquidambar styraciflua	21	65	40	FAIR	MATURE	PRESERVE
2	Australian Willow	Geijera parviflora	17	25	35	FAIR	MATURE	PRESERVE
3	Sweet Gum	Liquidambar styraciflua	19	50	35	FAIR	MATURE	PRESERVE
4	Bush Cherry	Eugenia sp.	14	55	25	GOOD	MATURE	PRESERVE
5	Sweet Gum	Liquidambar styraciflua	19	60	25	FAIR	MATURE	PRESERVE
6	Bush Cherry	Eugenia sp.	9, 6	40	20	GOOD	MATURE	PRESERVE
7	Mock Orange	Pittosporum tobira	6	15	15	FAIR	MATURE	PRESERVE
8	Bush Cherry	Eugenia sp.	14, 9.5	40	15	GOOD	MATURE	PRESERVE
9	Plum	Prunus domestica	7, 4, 5	20	15	POOR	OVERMATURE	REMOVE (X)
10	English Walnut	Juglans regia	10	25	20	POOR	MATURE	REMOVE (X)
11	Blackwood Acacia	Acacia melanoxylon	16, 16	60	35	FAIR	MATURE	PRESERVE

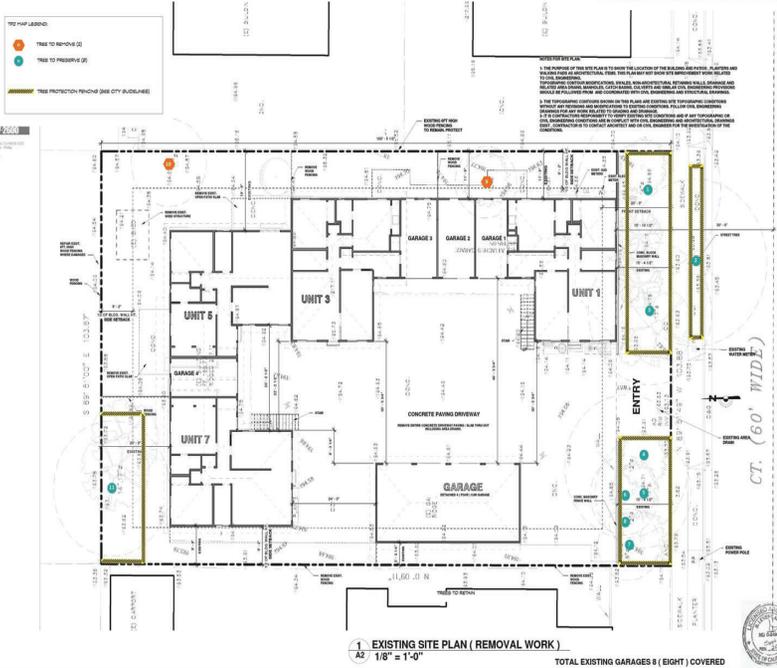


City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140

STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:

- Protective fencing shall be installed no closer to the trunk than the drip-line, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
 - The fence shall be a minimum of six feet in height and shall be set securely in place.
 - The fence shall be chain link without slats to allow visibility to the trunk for inspections and safety.
 - There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
 - The fence may be adjusted as necessary to accommodate work approved within the drip-line provided any excavation is done in accordance with instructions directed by a qualified arborist.
- The existing grade level around a tree shall normally be maintained out to the drip-line of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
- Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
- Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
- Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
- Soil compaction of the area under the drip-line of the tree shall be avoided during all phases of site clearing and construction.
- No soil sterilants or weed killer that will inhibit or restrict the tree's growth may be applied in the root area.
- No signs, wires or any other object shall be attached to the tree.
- Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
- The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.



1 EXISTING SITE PLAN (REMOVAL WORK)
A2 1/8" = 1'-0"

TOTAL EXISTING GARAGES 8 (EIGHT COVERED)

ROSE COURT
CT. (60' WIDE)

TREE REMOVAL AND PROTECTION PLAN
201 ROSE COURT, CAMPBELL, CA 95008

ROSE COURT APARTMENTS
EXISTING SITE PLAN REMOVAL
201 ROSE COURT
CAMPBELL, CA

A2
1/8" = 1'-0"

DATE: 06/02/20
TITLE: ROSE COURT APARTMENTS DEVELOPMENT
SHEET 1 OF 1

CONDITIONS OF APPROVAL:

FIRE DEPARTMENT CONDITIONS OF APPROVAL:



SANTA CLARA COUNTY FIRE DEPARTMENT
1700 Winchester Blvd., Los Gatos, CA 95030 | (408) 378-0119 | www.aocfd.com

DEVELOPMENTAL REVIEW COMMENTS

Plans and Scope of Review: This project shall comply with the following: The California Fire Code (CFC) & Building Code (CBC) 2019 Edition, as adopted by the City of Campbell Municipal Code (CMC) and California Code of Regulations (CCR).

The scope of this project includes the following: Revised plans for proposed 11 of existing 8,570 SF two-story apartment complex, to include the conversion of one existing attached garage into an Accessory Dwelling Units (ADU), remodel and 480 SF addition to the existing 847 SF detached garage to include a carport, storage area and attached trash enclosure. No additional storage lot/area is proposed for the residential structure.

Plans Status: Plans are APPROVED with the following conditions:
Plan Review Comments:
1. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

2. Fire Sprinklers Required: (As noted on Sheets A1 and A2) Approved automatic sprinkler systems in new (B) Building and structures shall be provided in the locations described in this Section or in Section 903.2.1 through 903.2.18 whichever is the more restrictive. For the purposes of this section, firewalls used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. In other than residential buildings which require the installation of fire sprinklers for all new buildings according to the California Residential Code, an automatic sprinkler system shall be provided throughout all new buildings and structures. Exceptions: a) Buildings and structures that do not exceed 1,000 SF of building area. b) Group 5-2 or U occupancies used exclusively for vehicle parking and meeting all of the following conditions: i) Noncombustible construction ii) Maximum building area not to exceed 5,000 SF. iii) Structure is open on three or more sides. iv) Minimum of 10 feet separation from existing buildings unless area is separated by the firewalls complying with CFC 706. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to the department for review and approval prior to beginning their work. CFC Sec. 903.2 as adopted and amended by CFC 16C. **Please note that sprinklers are required throughout both the residential and garage structures.**

CITY PLANS	SPEED	NEW	REEL	AS	SECURITY	CONS	TITLE	APPROVED	DATE	PAGE	
CFC	<input checked="" type="checkbox"/>	R/S/U	Y/B	City of Campbell	06/24/2020	1 of 2					
SECTION	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE	PROJECT TYPE REVIEW	DATE					
2500			Commercial Development	Site Plan							

Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga.



SANTA CLARA COUNTY FIRE DEPARTMENT
1700 Winchester Blvd., Los Gatos, CA 95030 | (408) 378-0119 | www.aocfd.com

DEVELOPMENTAL REVIEW COMMENTS

3. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

4. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphanumeric letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a mounting, sign or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 525.1

5. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SB-7. Provide appropriate notations on subsequent plan submissions, as appropriate to the project. CFC Chp. 33.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. (CFC, Ch.1, 105.3.6)

CITY PLANS	SPEED	NEW	REEL	AS	SECURITY	CONS	TITLE	APPROVED	DATE	PAGE	
CFC	<input checked="" type="checkbox"/>	R/S/U	Y/B	City of Campbell	06/24/2020	2 of 2					
SECTION	AREA	LOAD	PROJECT DESCRIPTION	PROJECT TYPE	PROJECT TYPE REVIEW	DATE					
2500			Commercial Development	Site Plan							

Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga.

PUBLIC DEPARTMENT CONDITIONS OF APPROVAL:

The scope of this project triggers the requirement for Frontage Improvements as required by Campbell Municipal Code 11-24.040. The applicant will need to obtain an encroachment permit to remove the concrete from the park strip and install new landscaping in the park strip.

PUBLIC WORKS DEPARTMENT CONDITIONS OF APPROVAL

- Storm Drain Area Fee:** Prior to issuance of building permits for the site, the applicant shall pay the required Storm Drain Area Fee, currently set at \$2,385.00 per set acre, which is \$920.00 (set for multi family).
- Stormwater Pollution Prevention Measures:** Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003, *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999, and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* ("Using Site Design Techniques") by BASMAA, 2001.

- 101 Rose Court (PLN-20-02-13)
- Trash Capture:** Install trash capture inserts (Kistler FloCard or approved equal) in all on-site storm drain catch basins.
- Utilities:** All on-site utilities shall be installed underground per Section 21.18.140 of the Campbell Municipal Code for any new or remodeled buildings or additions. Applicant shall comply with all plan submittals, permitting, and fee requirements of the serving utility companies. Utility locations shall not cause damage to any existing street trees. Where there are utility conflicts due to established tree roots or where a new tree is installed, alternate locations for utilities shall be explored. Include utility trench details where necessary.
- Water Meters and Sewer Cleanouts:** Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line.
- Permit Restoration:** The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City's Street Curb Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Curb Moratorium. The City's Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/219>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.
- Plans / Encroachment Permit / Fees / Deposits:** Prior to issuance of any building permits for the site, the applicant shall cause plans for public street improvements to be prepared by a registered civil engineer, pay various fees and deposits, post security and provide insurance necessary to obtain an encroachment permit for construction of the standard public street improvements, as required by the City Engineer. The plans shall include the following, unless otherwise approved by the City Engineer:
 - Relocation of all existing utilities including utility boxes, covers, etc. outside of sidewalk area. No utility boxes, covers, etc. will be allowed in the sidewalk area.
 - Removal of concrete installed in the park strip and installation of landscaping in the park strip.
 - Installation of City approved street trees, tree wells and irrigation at 30 feet on center.
 - Construction of conforms to existing public and private improvements, as necessary.
 - Submit final plans in a digital format acceptable to the City.
- Street Improvements Completed for Occupancy and Building Permit:** Prior to allowing occupancy and/or final building permit sign-off for any and/or all buildings, the applicant shall have the required street improvements installed and accepted by the City, and the design engineer shall submit as-built drawings to the City.
- Maintenance of Landscaping, Owners' current and future:** We are required to maintain the landscaped park strip and tree wells in the public right of way. This includes, but is not limited to lawn, plantings, irrigation, etc. Street trees shall not be pruned by the property owner.

101 Rose Court (PLN-20-02-13)

- Utility Encroachment Permit:** Separate encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
- Trash Enclosure Requirements:** NPDES Permit No. CAS611008 (CRWQCB) C.3 a) (7).

For all new development and redevelopment projects that are subject to the Permittee's planning, building, development, or other comparable review, but not regulated by Provision C.3, encourage the inclusion of adequate source control measures to limit pollutant generation, discharge, and runoff. These source control measures shall include:

- Covered trash, food waste, and compactor enclosures
- Campbell Municipal Code 14 02 030 "Stormwater Pollution Control / Requirements". The code states that no pollutants or water containing pollutants can be discharged into the City's storm drain system. Trash enclosures contain pollutants. During a rain event (or during general cleaning) water washes over and into roofless enclosures, collecting pollutants and discharging to the City's storm drain system. Applicants are required to show how new trash enclosures will not discharge pollutants into the storm drain system. One possible method is to provide a sanitary drain in the trash enclosure.
- West Valley Sanitation District (WVSD), the local sanitary sewer agency, will require a roof on the enclosure if the trash enclosure drain connects to their sanitary sewer system.

 Trash enclosures should have grade breaks between the covered and uncovered areas. The grades shall be designed to prevent water run-on to the covered area and run-off from the covered area.

No.	Description	Date



THIS DRAWING IS THE PROPERTY OF THE DESIGNER AND NOT BE USED FOR ANY PROJECT EXCEPT THAT FOR WHICH IT WAS PREPARED. NO PART OF THIS DRAWING OR INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

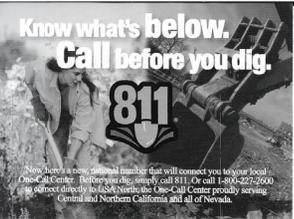
NOTES

ROSE COURT APARTMENTS
REMODELING
201 ROSE COURT
CAMPBELL, CA

PROJECT NO.: JIM
DATE: AUG-24-2020
DRAWN BY: Author
CHECKED BY: Checker
Scale: A1b

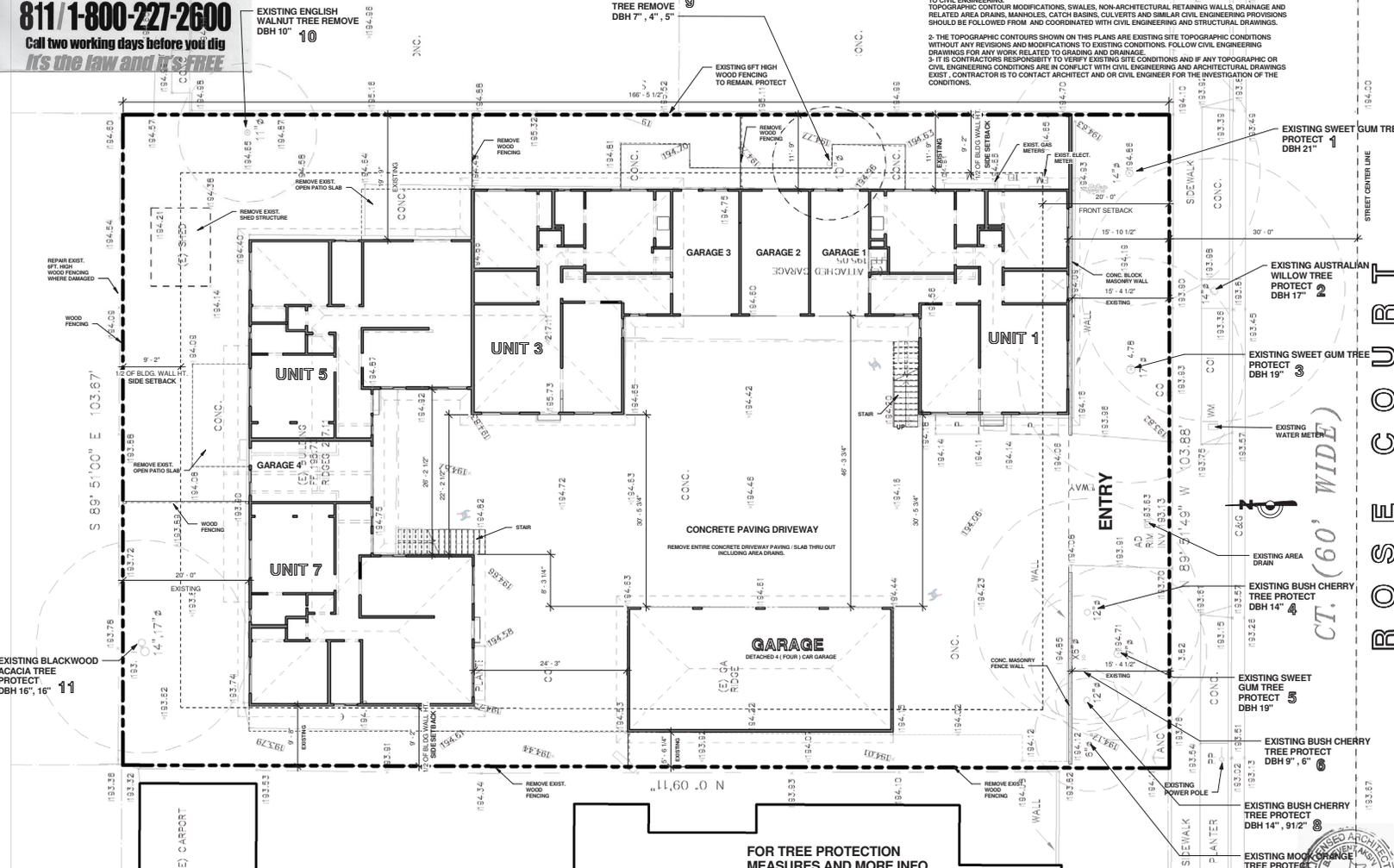
5 STEPS TO A SAFE EXCAVATION

- 1. Survey and Mark**
Before you proceed, coordinate site. Make a list of all affected operations of adjacent facilities. Obtain appropriate permits. Make the excavation site as safe as possible with proper shoring, bracing, dewatering, etc. (Hazardous sites use the EPA's Superfund Remedial Investigation Report.)
- 2. Call Before You Dig**
Call USA North 2 working days to 14 calendar days (legal notice before you dig in California and Nevada). Call operators who are members of the USA North program will be notified. Complete your list of affected operations and submit it to USA North. The list of operations marked by USA North will be used to coordinate the excavation site. USA North will be notified of any changes to the excavation site. USA North will be notified of any changes to the excavation site through its member applications only. Call USA North at 1-800-227-2600 for more information.
- 3. Wait The Required Time**
The United States has a long history of mining in California and Nevada. USA North members are required to excavate first underground utility records and respect to you. Excavation operations are required to wait until all operations of adjacent facilities have been provided a positive response to their excavation site. This positive response includes operations marking, an excavation site, and a positive response to their excavation site. USA North will be notified of any changes to the excavation site through its member applications only. Call USA North at 1-800-227-2600 for more information.
- 4. Respect The Marks**
Protect facility marks for the duration of the job. If any of the operations marked are not necessary, you must call USA North and request marking by the affected operator. A 6-month request requires a 2 working day notice. When you request an operation to be marked, mark facilities, you will be notified if your excavation site is still marked in California. USA North members are required to wait until all operations of adjacent facilities have been provided a positive response to their excavation site. USA North will be notified of any changes to the excavation site through its member applications only. Call USA North at 1-800-227-2600 for more information.
- 5. Dig With Care**
In California and Nevada, hand excavate within 2" of the outside diameter of the facility. Facilities that are in conflict with your excavation are to be located by using hand and pneumatic tools before your equipment is used. Notify the affected operator of any contact, scrap, dent, crack or damage to the facility.



811/1-800-227-2600
Call two working days before you dig
It's the law and it's FREE

811 1-800-227-2600
USA NORTH
4090 Nilesen Avenue, Suite A • Campbell, CA 95008-1232
Call 609.A.S.A. • 702.F.O.C. • Member • Utility • Utility
Dig | Safety
www.811.org



NOTES FOR SITE PLAN:

- 1- THE PURPOSE OF THIS SITE PLAN IS TO SHOW THE LOCATION OF THE BUILDING AND PATIOS, PLANTERS AND WALKING PADS AS ARCHITECTURAL ITEMS. THIS PLAN MAY NOT SHOW SITE IMPROVEMENT WORK RELATED TO CIVIL ENGINEERING. TOPOGRAPHIC CONTOUR MODIFICATIONS, SWALES, NON-ARCHITECTURAL RETAINING WALLS, DRAINAGE AND RELATED AREA DRAINS, MANHOLES, CATCH BASINS, CULVERTS AND SIMILAR CIVIL ENGINEERING PROVISIONS SHOULD BE FOLLOWED FROM AND COORDINATED WITH CIVIL ENGINEERING AND STRUCTURAL DRAWINGS.
- 2- THE TOPOGRAPHIC CONTOURS SHOWN ON THIS PLAN ARE EXISTING SITE TOPOGRAPHIC CONDITIONS WITHOUT ANY REVISIONS AND MODIFICATIONS TO EXISTING CONDITIONS. FOLLOW CIVIL ENGINEERING DRAWINGS FOR ANY WORK RELATED TO GRADING AND DRAINAGE.
- 3- IT IS CONTRACTORS RESPONSIBILITY TO VERIFY EXISTING SITE CONDITIONS AND IF ANY TOPOGRAPHIC OR CIVIL ENGINEERING CONDITIONS ARE IN CONFLICT WITH CIVIL ENGINEERING AND ARCHITECTURAL DRAWINGS EXIST, CONTRACTOR IS TO CONTACT ARCHITECT AND OR CIVIL ENGINEER FOR THE INVESTIGATION OF THE CONDITIONS.

1 EXISTING SITE PLAN (REMOVAL WORK)
A2
1/8" = 1'-0"

FOR TREE PROTECTION MEASURES AND MORE INFO RELATED TO TREES FOLLOW AND COORDINATE W/ SHEET A1b

TOTAL EXISTING GARAGES 8 (EIGHT) COVERED



No.	Description	Date

ARTE ARCHITECTURE
1208 GAVANE STREET, CAMPBELL, CA 95008
PH: (408) 504-8104
LETTING@ARTE.COM

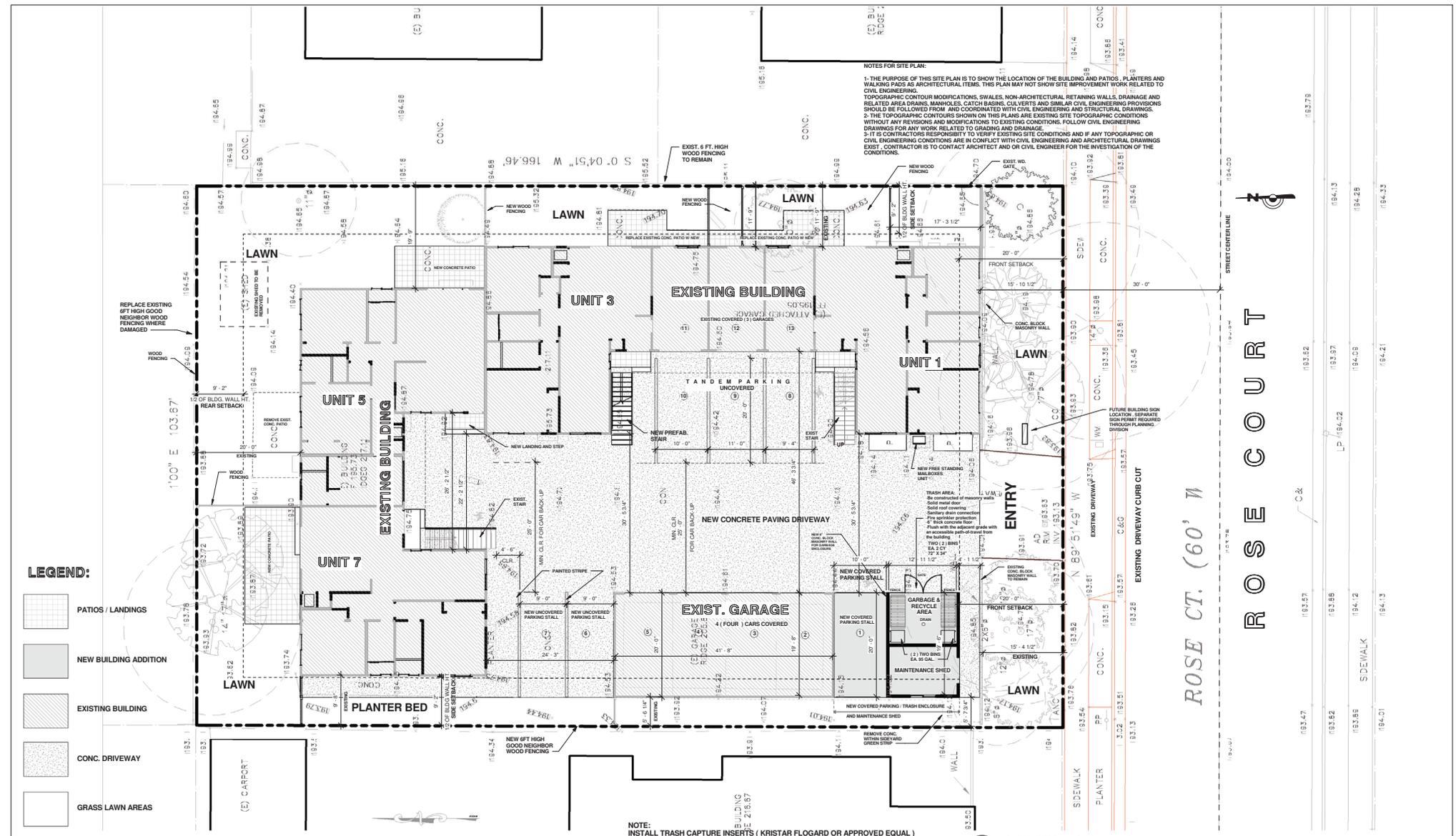


EXISTING SITE PLAN REMOVAL

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ROSE COURT APARTMENTS REMODELING
201 ROSE COURT
CAMPBELL, CA

Project no: JIM
Date: AUG-24-2020
Drawn by: Author
Checked by: Checker
A2
Scale: 1/8" = 1'-0"



- LEGEND:**
- PATIOS / LANDINGS
 - NEW BUILDING ADDITION
 - EXISTING BUILDING
 - CONC. DRIVEWAY
 - GRASS LAWN AREAS

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3. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING SITE CONDITIONS AND IF ANY TOPOGRAPHIC OR CIVIL ENGINEERING CONDITIONS ARE IN CONFLICT WITH CIVIL ENGINEERING AND ARCHITECTURAL DRAWINGS EXIST, CONTRACTOR IS TO CONTACT ARCHITECT AND OR CIVIL ENGINEER FOR THE INVESTIGATION OF THE CONDITIONS.

NOTE:
INSTALL TRASH CAPTURE INSERTS (KRISTAR FLOGARD OR APPROVED EQUAL)
IN ALL ON-SITE STORM DRAIN CATCH BASINS.

Water Meter(s) and Sewer Cleanout(s): Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line.

Pavement Restoration: The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City's Street Cut Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Cut Moratorium. The City's Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/219>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.

Relocation of all existing utilities including utility boxes, covers, poles, etc. outside of sidewalk area. No utility boxes, covers, etc. will be allowed in the sidewalk area.

1 PROPOSED SITE PLAN
A3 1/8" = 1'-0"

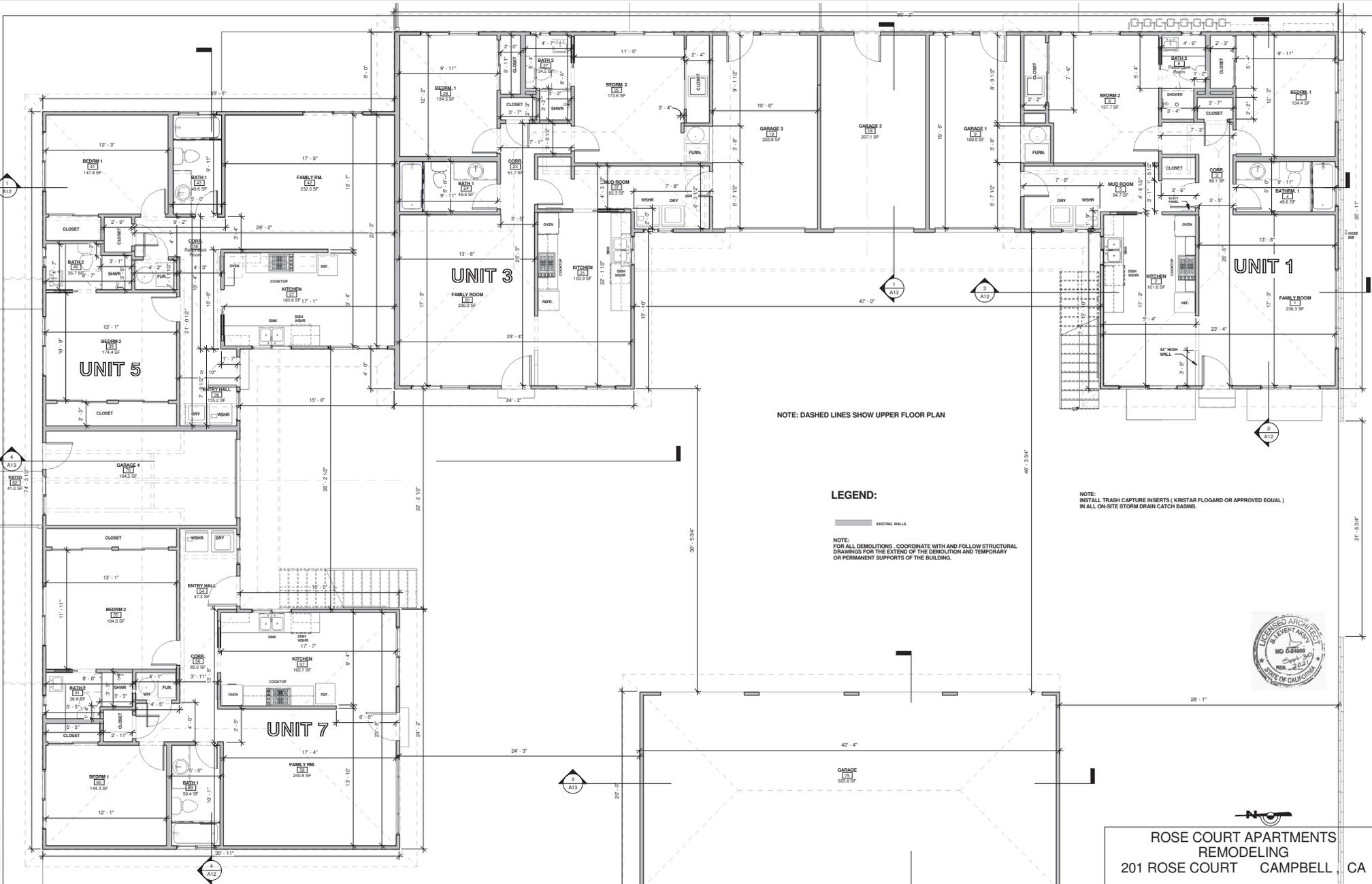


**ROSE COURT APARTMENTS
REMODELING
201 ROSE COURT CAMPBELL, CA**

No.	Description	Date	Date
			AUG-24-2020
			Author
			A3
			Scale 1/8" = 1'-0"

COURTAPARTMENTS-ROSE-COURT-ROSE-PLAN-1

COURTNAME REVITHOUSE COURTHOUSE.rvt



NOTE: DASHED LINES SHOW UPPER FLOOR PLAN

LEGEND:

EXISTING WALLS

NOTE: FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.

NOTE: INSTALL TRASH CAPTURE INSERTS (KRISTAR FLOGARD OR APPROVED EQUAL) IN ALL ON-SITE STORM DRAIN CATCH BASINS.



**ROSE COURT APARTMENTS
REMODELING**
201 ROSE COURT CAMPBELL, CA

No	Description	Date	Date	Author
1			AUG-24-2020	A4

Scale: 1/4" = 1'-0"

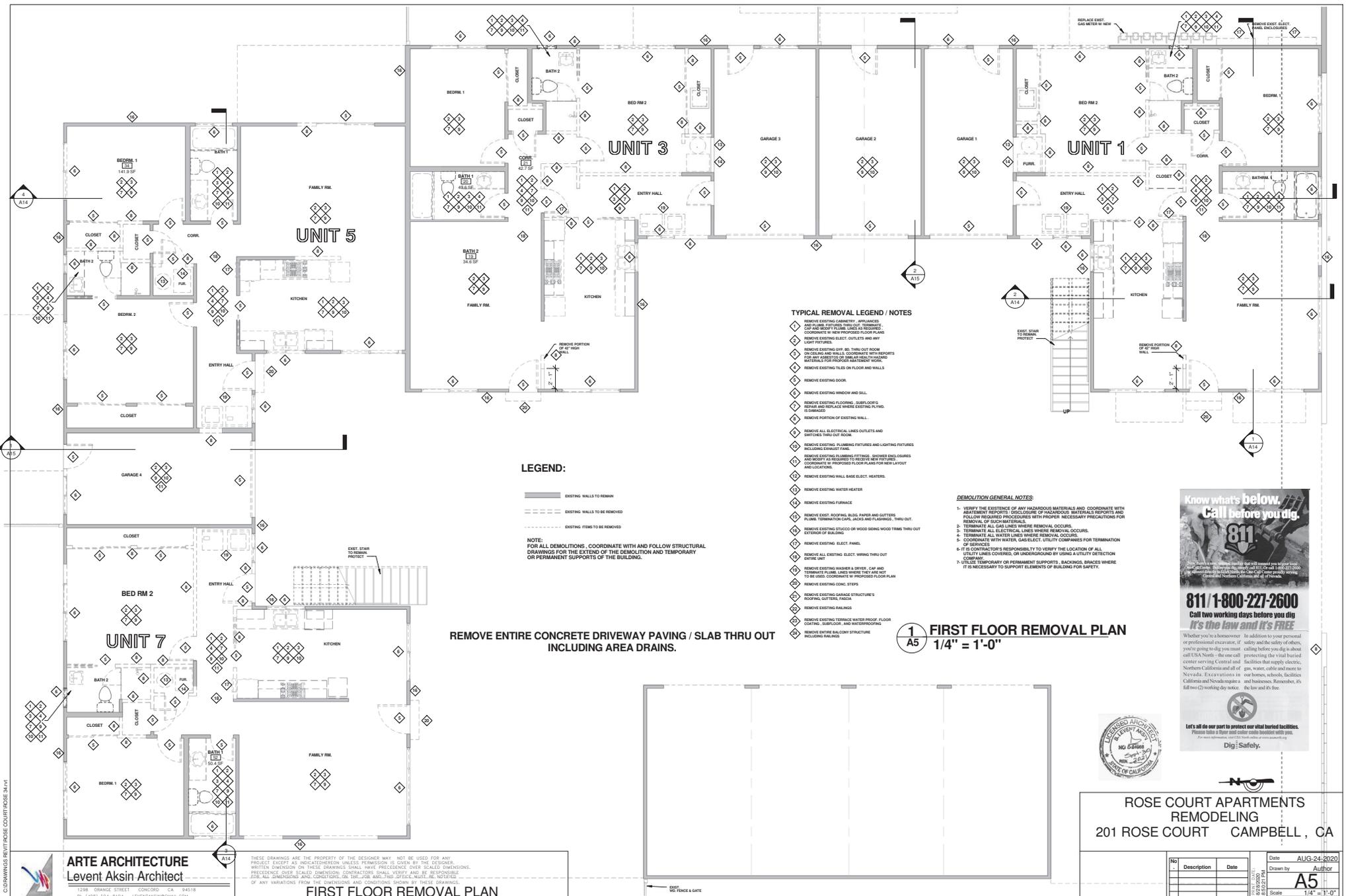
ARTE ARCHITECTURE
Levent Aksin Architect

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PH: (408) 504-8104 LEVENTAKSIN@GMAIL.COM

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EXISTING FIRST FLOOR PLAN

1 FIRST FLOOR EXISTING
A4 1/4" = 1'-0"



LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ITEMS TO BE REMOVED

NOTE:
FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTEND OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.

REMOVE ENTIRE CONCRETE DRIVEWAY PAVING / SLAB THRU OUT INCLUDING AREA DRAINS.

TYPICAL REMOVAL LEGEND / NOTES

- REMOVE EXISTING CABINETRY, APPLIANCES AND PLUMBING FIXTURES THROUGHOUT. DISCONNECT GAS AND REMOVE PLUMB LINES AS REQUIRED. COORDINATE WITH NEW PROPOSED FLOOR PLANS.
- REMOVE EXISTING ELECT. OUTLETS AND ANY LIGHT FIXTURES.
- REMOVE EXISTING GFT. BC. THRU OUT ROOM ON CEILING AND WALLS. COORDINATE WITH REPORTS FOR ANY LINES TO BE REMOVED OR RELOCATED. MATERIALS FOR PROPER MAINTENANCE WORK.
- REMOVE EXISTING TILES ON FLOOR AND WALLS.
- REMOVE EXISTING DOOR.
- REMOVE EXISTING WINDOW AND SILL.
- REMOVE EXISTING FLOORING, SUBFLOOR'S, REMOVED AND REPLACE WHERE EXISTING IS NOT. IT IS REMOVED.
- REMOVE PORTION OF EXISTING WALL.
- REMOVE ALL ELECTRICAL LINES, OUTLETS AND SWITCHES THRU OUT ROOM.
- REMOVE EXISTING PLUMBING FIXTURES AND LIGHTING FIXTURES INCLUDING EXISTING FAN.
- REMOVE EXISTING PLUMBING FITTINGS, SHOWER ENCLOSURES AND BATHS AS REQUIRED TO RECEIVE NEW FITTINGS AND LOCATIONS.
- COORDINATE WITH PROPOSED FLOOR PLANS FOR NEW LAYOUT AND LOCATIONS.
- REMOVE EXISTING WALL BASE ELECT. HEATERS.
- REMOVE EXISTING WATER HEATER.
- REMOVE EXISTING FURNACE.
- REMOVE EXIST. ROOFING, SLS, PAPER AND GUTTERS. FLAME, TERMINATION CAPS, JACKS AND FLASHINGS, THRU OUT.
- REMOVE EXISTING STUCCO OR WOOD Siding WOOD THING THRU OUT EXTREME OF BUILDING.
- REMOVE EXISTING ELECT. PANEL.
- REMOVE EXISTING ELECT. WIRING THRU OUT ENTIRE UNIT.
- REMOVE EXISTING WINDERS 1/2" O.D. GAS AND TERMINATE PLUMB LINES WHERE THEY ARE NOT TO BE USED. COORDINATE WITH PROPOSED FLOOR PLAN.
- REMOVE EXISTING CONC. STEPS.
- REMOVE EXISTING GARAGE STRUCTURES ROOFING, SUTTING, SINKS.
- REMOVE EXISTING RAILINGS.
- REMOVE EXISTING TERRACE WATER PROOF, FLOOR COATING, SUBFLOOR, AND WATERPROOFING.
- REMOVE OVERHANG CLOVY STRUCTURE INCLUDING RAILINGS.

DEMOLITION GENERAL NOTES:

1. VERIFY THE EXISTENCE OF ANY HAZARDOUS MATERIALS AND COORDINATE WITH ABATEMENT REPORTS. DISCLOSE OF HAZARDOUS MATERIALS REPORTS AND FOLLOW REQUIRED PROCEDURES WITH PROPER NECESSARY PRECAUTIONS FOR REMOVAL OF SUCH MATERIALS.
2. TERMINATE ALL GAS LINES WHERE REMOVAL OCCURS.
3. TERMINATE ALL ELECTRICAL LINES WHERE REMOVAL OCCURS.
4. TERMINATE ALL WATER LINES WHERE REMOVAL OCCURS.
5. COORDINATE WITH WATER, GAS, ELECT. UTILITY COMPANIES FOR TERMINATION OF SERVICES.
6. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITY LINES COVERED, OR UNDERGROUND BY USING A UTILITY DETECTION COMPANY.
7. UTILIZE TEMPORARY OR PERMANENT SUPPORTS, BRACKING, BRACES WHERE IT IS NECESSARY TO SUPPORT ELEMENTS OF BUILDING FOR SAFETY.

1 A5 FIRST FLOOR REMOVAL PLAN
1/4" = 1'-0"

Know what's below. Call before you dig.

811

Call 811 to report a utility problem or to get information about a utility line before you dig. Call 811 for a free service call to locate underground utilities. Call 811 for a free service call to locate underground utilities.

811 / 1-800-227-2600
Call two working days before you dig
It's the law and it's FREE

Whether you're a homeowner, in addition to your personal or professional excavator, if safety and the safety of others, you're going to dig, you must call before you dig. In about 48 hours, you'll get a free call from 811 to locate underground utilities. Call 811 for a free service call to locate underground utilities.

Let's all do our part to protect our vital buried facilities.

Dig Safely.



ROSE COURT APARTMENTS REMODELING
201 ROSE COURT CAMPBELL, CA

No.	Description	Date	Date	Author
			AUG-24-2020	A5

Scale: 1/4" = 1'-0"

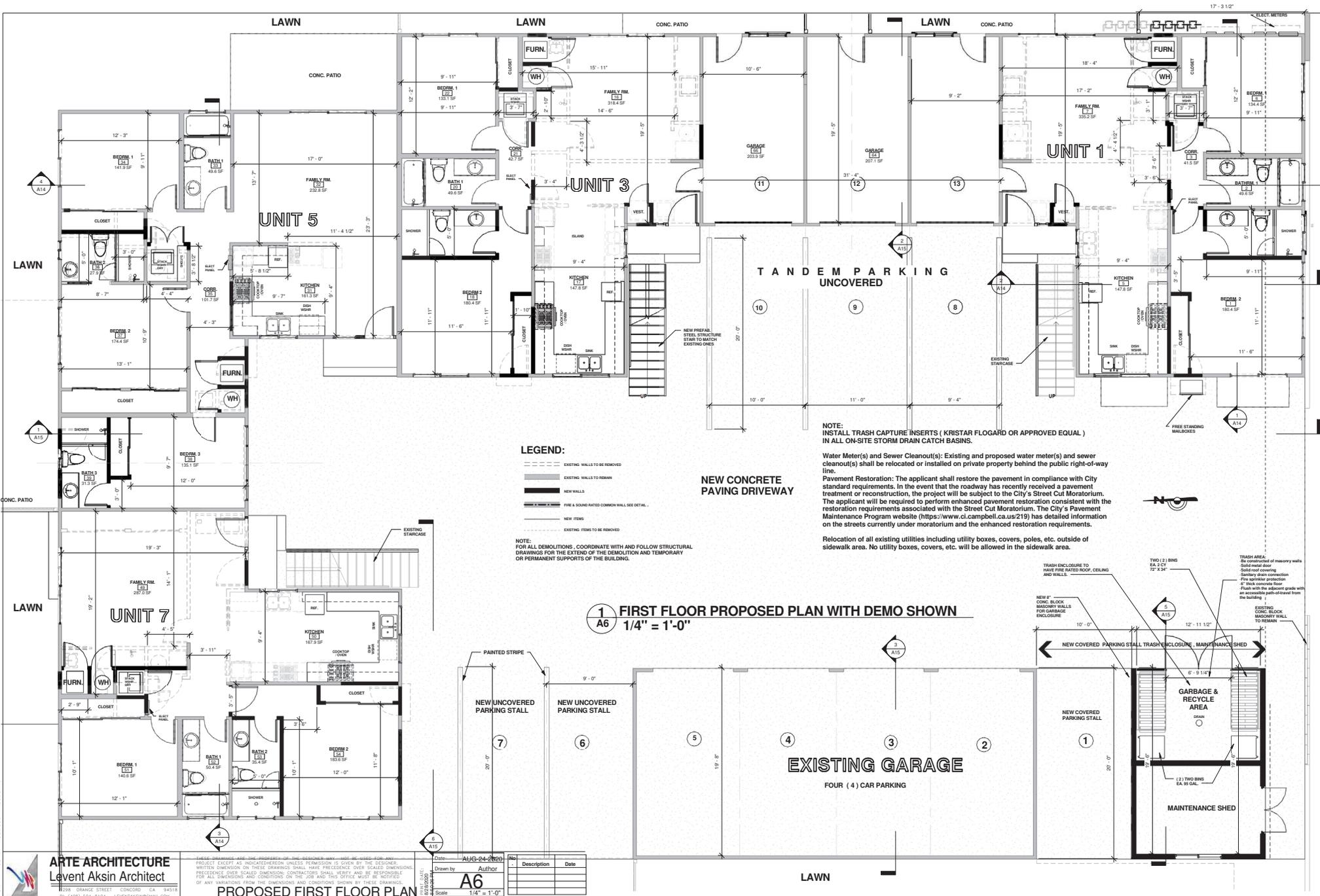
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FIRST FLOOR REMOVAL PLAN

COURTNAME REVITWOSE COURTHOUSE.MXD



1 FIRST FLOOR PROPOSED PLAN WITH DEMO SHOWN
A6 1/4" = 1'-0"

LEGEND:

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW WALLS
- FIRE & SOUND RATED COMMON WALL SEE DETAIL.
- NEW ITEMS
- EXISTING ITEMS TO BE REMOVED

NOTE:
 FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.

NOTE:
 INSTALL TRASH CAPTURE INSERTS (KRISTAR FLOGARD OR APPROVED EQUAL) IN ALL ON-SITE STORM DRAIN CATCH BASINS.

Water Meter(s) and Sewer Cleanout(s): Existing and proposed water meter(s) and sewer cleanout(s) shall be relocated or installed on private property behind the public right-of-way line.

Pavement Restoration: The applicant shall restore the pavement in compliance with City standard requirements. In the event that the roadway has recently received a pavement treatment or reconstruction, the project will be subject to the City's Street Cut Moratorium. The applicant will be required to perform enhanced pavement restoration consistent with the restoration requirements associated with the Street Cut Moratorium. The City's Pavement Maintenance Program website (<https://www.ci.campbell.ca.us/210>) has detailed information on the streets currently under moratorium and the enhanced restoration requirements.

Relocation of all existing utilities including utility boxes, covers, poles, etc. outside of sidewalk area. No utility boxes, covers, etc. will be allowed in the sidewalk area.

ARTE ARCHITECTURE
 Levent Aksin Architect

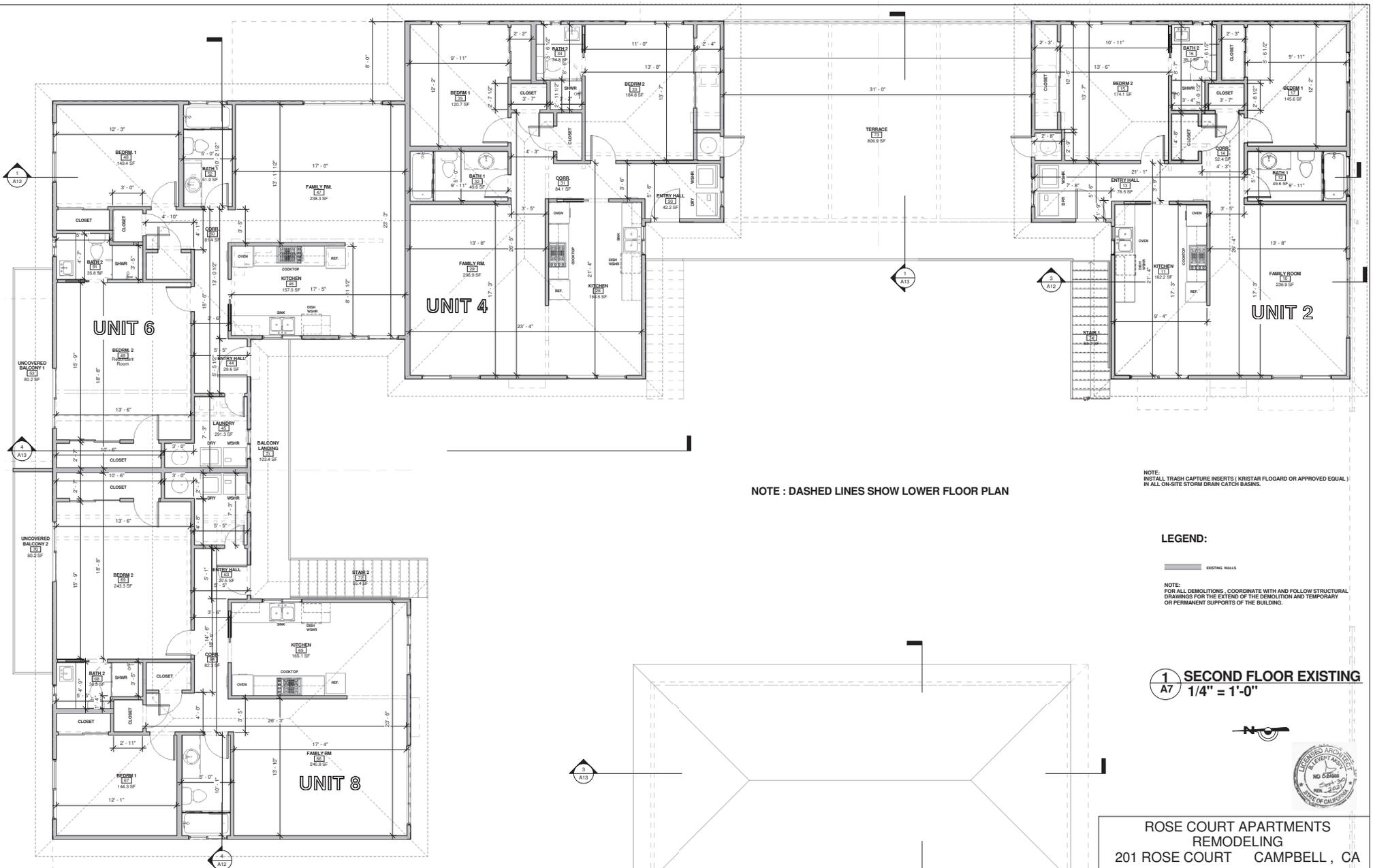
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Date	AUG-24-2009	No.		Description	Date
Drawn by	Author				
Scale	1/4" = 1'-0"				

PROPOSED FIRST FLOOR PLAN

COURTESY REVITOUSE COURTESY REVITOUSE

COURTWISE REVITHOUSE COURTHOUSE.MXD



NOTE : DASHED LINES SHOW LOWER FLOOR PLAN

NOTE:
INSTALL TRASH CAPTURE INSERTS (KRISTAR FLOORGRAB OR APPROVED EQUAL)
IN ALL ON-SITE STORM DRAIN CATCH BASINS.

LEGEND:

EXISTING WALLS

NOTE:
FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL
DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY
OR PERMANENT SUPPORTS OF THE BUILDING.

1
A7
SECOND FLOOR EXISTING
1/4" = 1'-0"



ROSE COURT APARTMENTS
REMODELING
201 ROSE COURT CAMPBELL, CA

ARTE ARCHITECTURE
Levent Aksin Architect

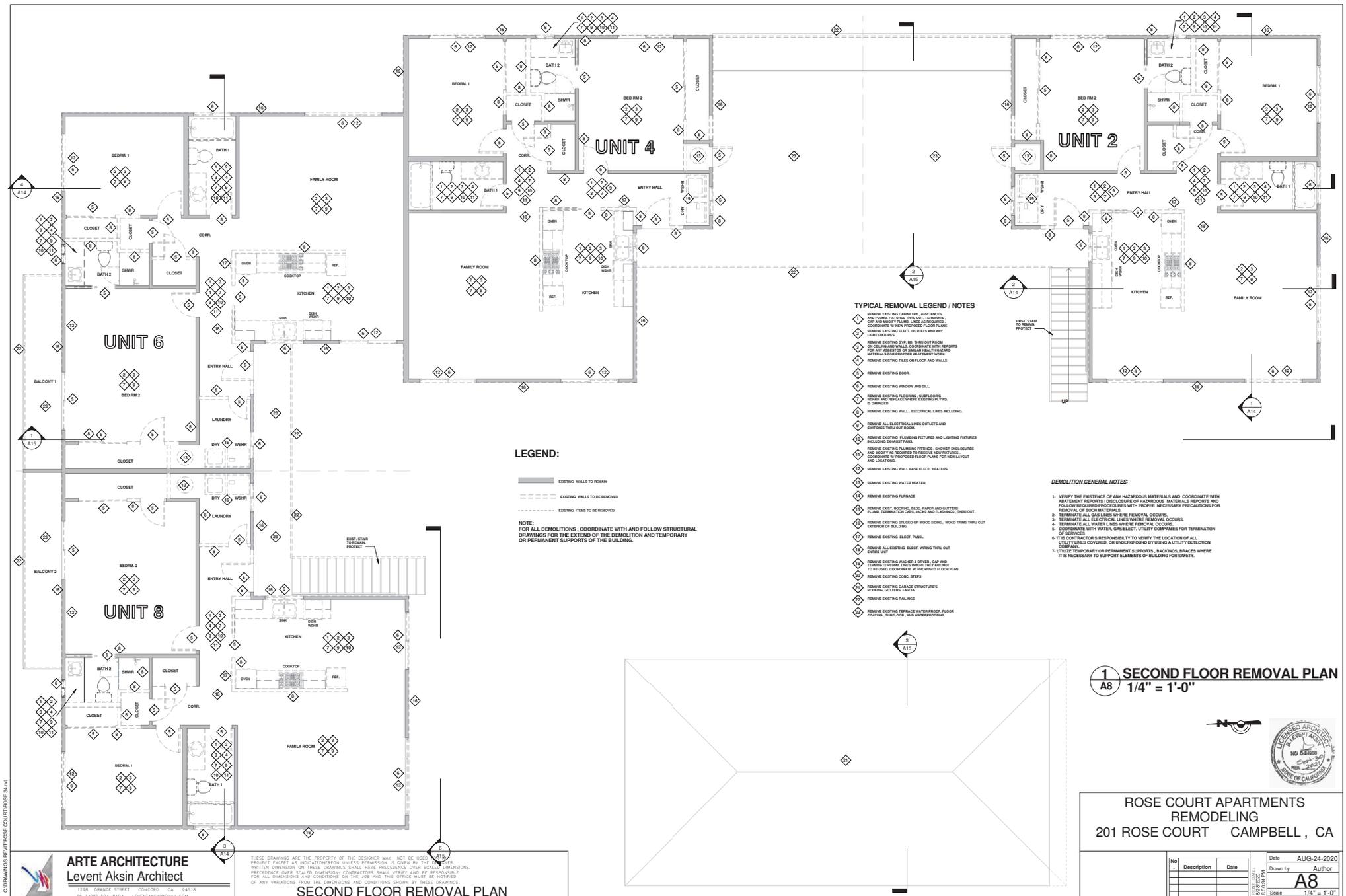
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PRECEDENCE OVER SCALED DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED
OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

EXISTING SECOND FLOOR PLAN

No.	Description	Date

Date: AUG-24-2020
Drawn by: Author
A7
Scale: 1/4" = 1'-0"



TYPICAL REMOVAL LEGEND / NOTES

- ◆ REMOVE EXISTING CABINETS, APPLIANCES AND FLOOR FINISHES THRU OUT. TERMINATE CEILING AND ROOF FLOOR. BRASS IS REQUIRED. COORDINATE W/ NEW FINISHED FLOOR PLANS.
- ◆ REMOVE EXISTING ELECT. OUTLETS AND ANY LIGHT FIXTURES.
- ◆ REMOVE EXISTING GY. BS. THRU OUT ROOM ON CEILING AND WALLS. COORDINATE WITH REPORTS FOR ANY ASBESTOS OR SIMILAR HEALTH HAZARD MATERIALS FOR PROPER REMOVAL WORK.
- ◆ REMOVE EXISTING TILES ON FLOOR AND WALLS.
- ◆ REMOVE EXISTING DOOR.
- ◆ REMOVE EXISTING WINDOW AND SILL.
- ◆ REMOVE EXISTING FLOORING, SUBFLOORS, REPAIR AND REPLACE WHERE EXISTING FLOORING IS DAMAGED.
- ◆ REMOVE EXISTING WALL. ELECTRICAL LINES INCLUDING.
- ◆ REMOVE ALL ELECTRICAL LINES OUTLETS AND SWITCHES THRU OUT ROOM.
- ◆ REMOVE EXISTING PLUMBING FIXTURES AND LIGHTING FIXTURES INCLUDING EXHIST FAN.
- ◆ REMOVE EXISTING PLUMBING FITTINGS, SHOWER ENCLOSURES AND SHOWERS. COORDINATE W/ PROPOSED FLOOR PLANS FOR NEW LAYOUT AND LOCATIONS.
- ◆ REMOVE EXISTING WALL BASE ELECT. HEATERS.
- ◆ REMOVE EXISTING WATER HEATER.
- ◆ REMOVE EXISTING FURNACE.
- ◆ REMOVE EXIST. ROOFING, BLDG. PAVERS AND GUTTERS. FURN. TERMINATION CAPS, JOISTS AND FLASHING. THRU OUT.
- ◆ REMOVE EXISTING STUCCO OR WOOD SINGL. WOOD TRIMS THRU OUT EXTERIOR OF BUILDING.
- ◆ REMOVE EXISTING ELECT. PANEL.
- ◆ REMOVE ALL EXISTING ELECT. WIRING THRU OUT UNIT.
- ◆ REMOVE EXISTING WASHES & DRYERS, GAS AND TERMINAL FLOOR LINES WHERE THEY ARE TO BE USED. COORDINATE W/ PROPOSED FLOOR PLAN.
- ◆ REMOVE EXISTING CONC. STOPS.
- ◆ REMOVE EXISTING GARAGE STRUCTURES. ROOFING, GUTTERS, FASCIA.
- ◆ REMOVE EXISTING BALCONIES.
- ◆ REMOVE EXISTING TERRACE WATER PROOF. FLOOR COATING, GASELOOR, AND WATERPROOFING.

DEMOLITION GENERAL NOTES

1. VERIFY THE EXISTENCE OF ANY HAZARDOUS MATERIALS AND COORDINATE WITH APARTMENT REPORTS. DISCLOSURE OF HAZARDOUS MATERIALS REPORTS AND FOLLOWING REQUIRED PROCEDURES WITH PROPER NECESSARY PRECAUTIONS FOR REMOVAL OF SUCH MATERIALS.
2. TERMINATE ALL ELECTRICAL LINES WHERE REMOVAL OCCURS.
3. COORDINATE WITH WATER, GAS/ELECT. UTILITY COMPANIES FOR TERMINATION OF SERVICES.
4. VERIFY CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING LINES COVERED ON UNDERGROUND BY USING A UTILITY DETECTION.
5. UTILIZE TEMPORARY OR PERMANENT SUPPORTS, BRACKETS, BRACES WHERE IT IS NECESSARY TO SUPPORT ELEMENTS OF BUILDING FOR SAFETY.

LEGEND:

- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO BE REMOVED
- EXISTING ITEMS TO BE REMOVED

NOTE: FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.

1 SECOND FLOOR REMOVAL PLAN
A8 1/4" = 1'-0"



**ROSE COURT APARTMENTS
REMODELING**
201 ROSE COURT CAMPBELL, CA

No.	Description	Date	Date	Author
			AUG-24-2020	A8

Scale: 1/4" = 1'-0"

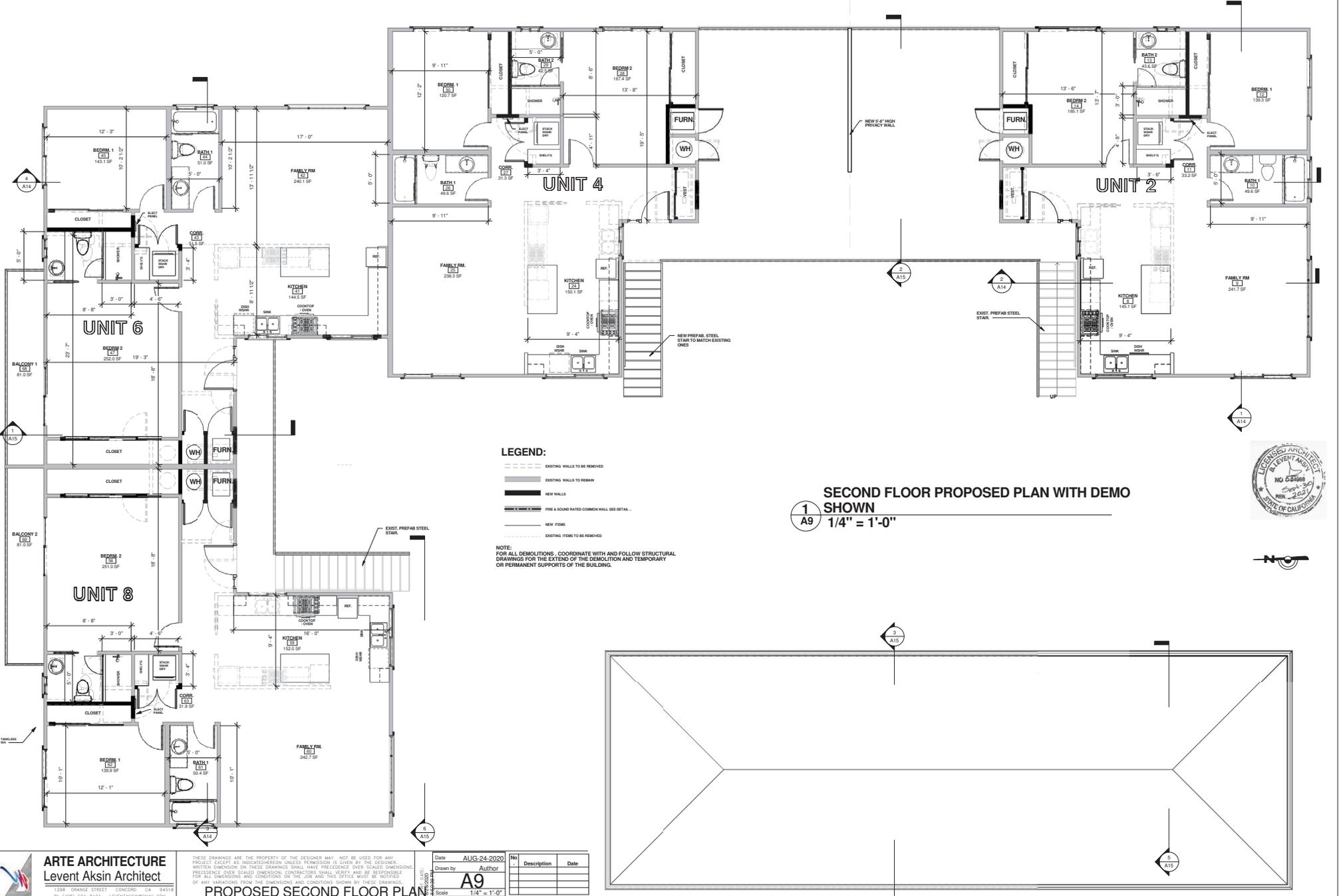
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SECOND FLOOR REMOVAL PLAN

COURTNAME REVITWROUSE COURTHOUSE.MXD

COURTESY REVIT/POSE COURTESY 3M/PT



LEGEND:

- - - - - EXISTING WALLS TO BE REMOVED
- ▬ EXISTING WALLS TO REMAIN
- ▬ NEW WALLS
- ▬ FIRE & SOUND RATED COMMON WALL SEE DETAIL
- ▬ NEW ITEMS
- - - - - EXISTING ITEMS TO BE REMOVED

NOTE:
FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.

1 A9 SECOND FLOOR PROPOSED PLAN WITH DEMO SHOWN
1/4" = 1'-0"



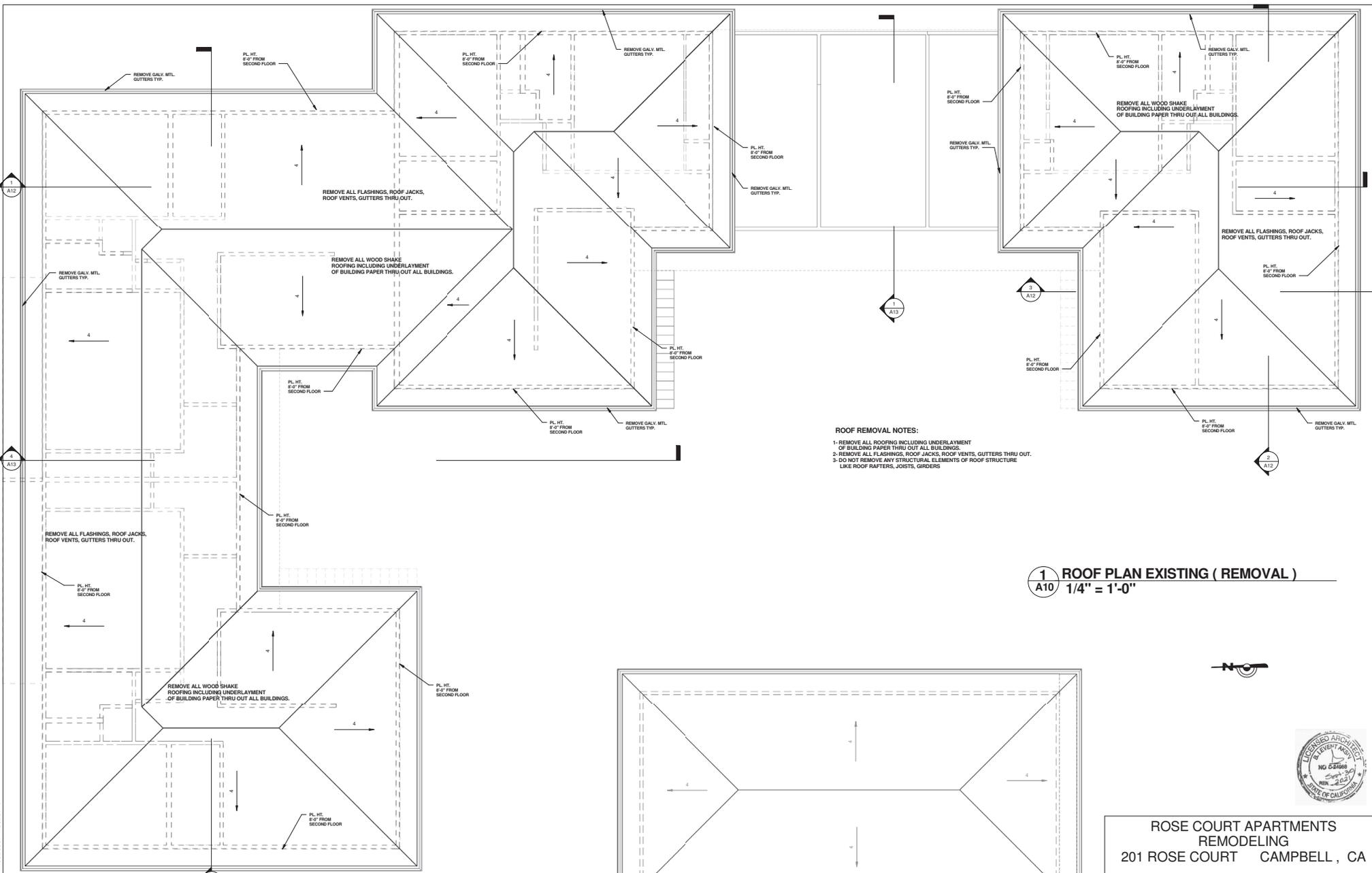
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Date	AUG-24-2020	No.		Description	Date
Drawn by	Author				
	A9				
Scale	1/4" = 1'-0"				

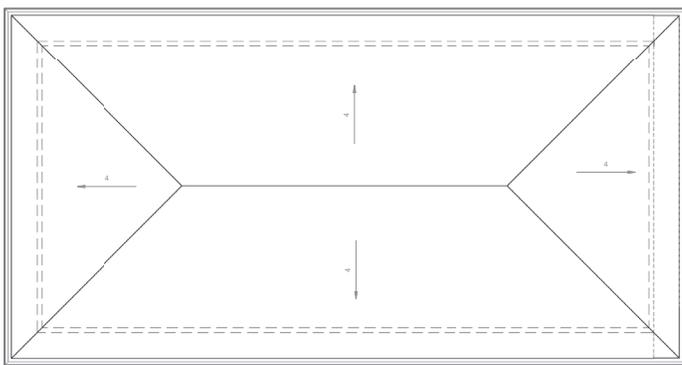
PROPOSED SECOND FLOOR PLAN

COURTESY REVIT/ROSE COURTHOUSE 3d.rvt



- ROOF REMOVAL NOTES:**
- 1- REMOVE ALL ROOFING INCLUDING UNDERLAYMENT OF BUILDING PAPER THRU OUT ALL BUILDINGS.
 - 2- REMOVE ALL FLASHINGS, ROOF JACKS, ROOF VENTS, GUTTERS THRU OUT.
 - 3- DO NOT REMOVE ANY STRUCTURAL ELEMENTS OF ROOF STRUCTURE LIKE ROOF RAFTERS, JOISTS, GIRDERS

1 ROOF PLAN EXISTING (REMOVAL)
 A10 1/4" = 1'-0"



**ROSE COURT APARTMENTS
 REMODELING
 201 ROSE COURT CAMPBELL , CA**

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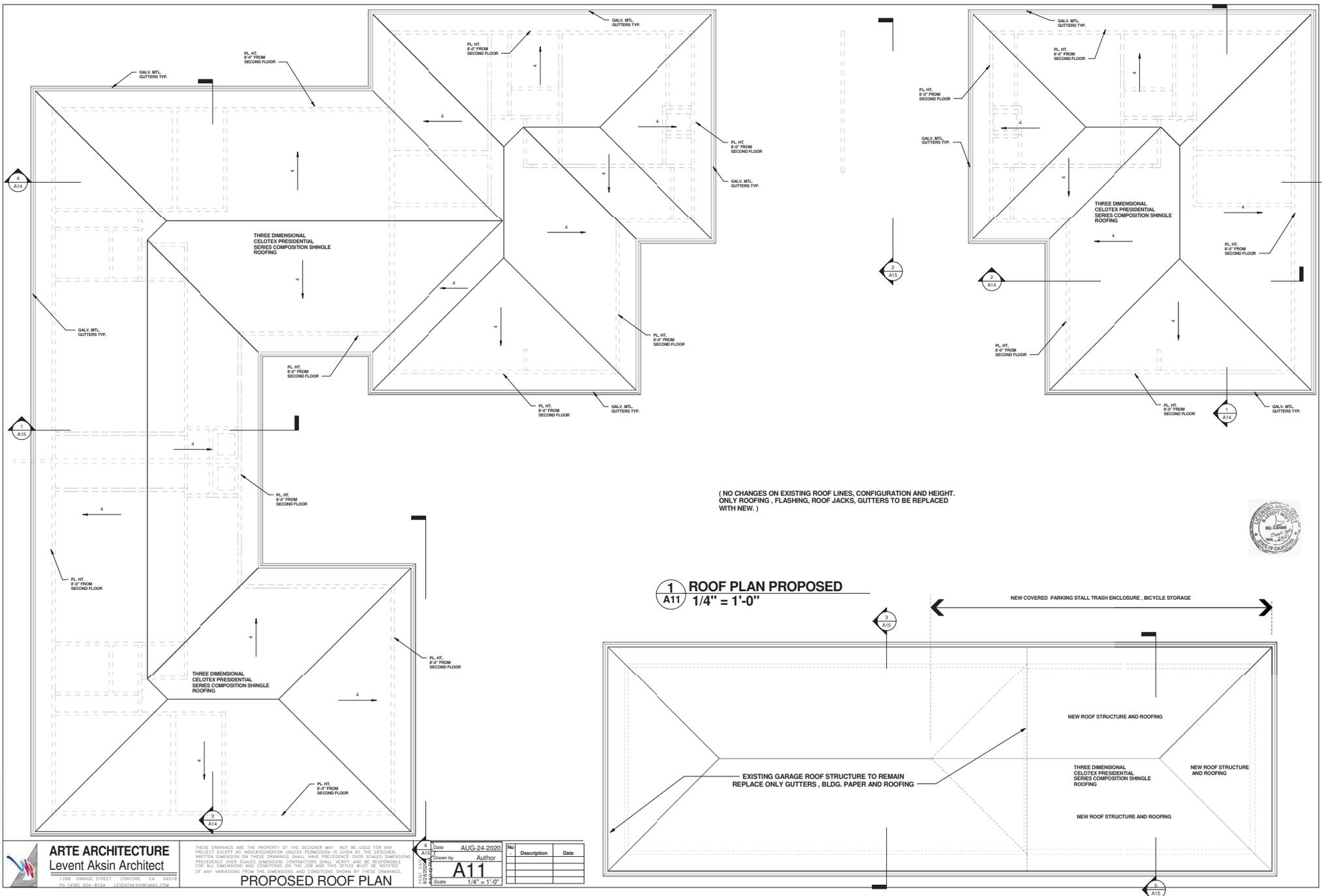
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EXISTING ROOF REMOVAL PLAN

No.	Description	Date	Date	Author

Date: AUG-24-2020
 Drawn by: A10
 Scale: 1/4" = 1'-0"

COURTWINGE REVITWROUSE COURTHOUSE.MXD



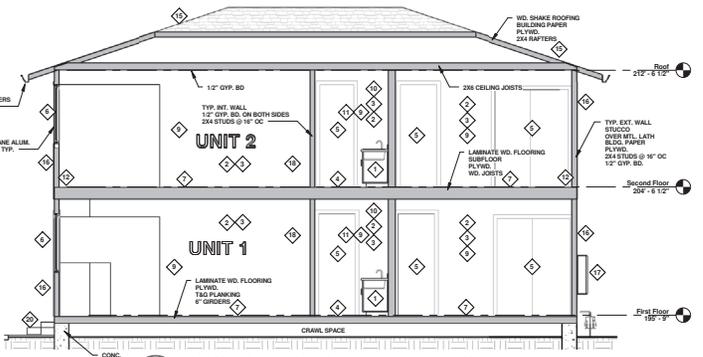
1
A11 ROOF PLAN PROPOSED
1/4" = 1'-0"

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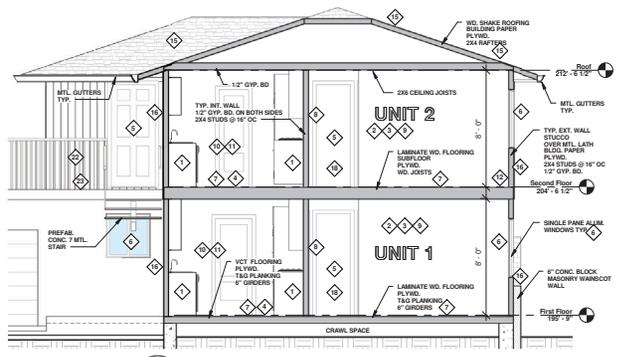
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PROPOSED ROOF PLAN

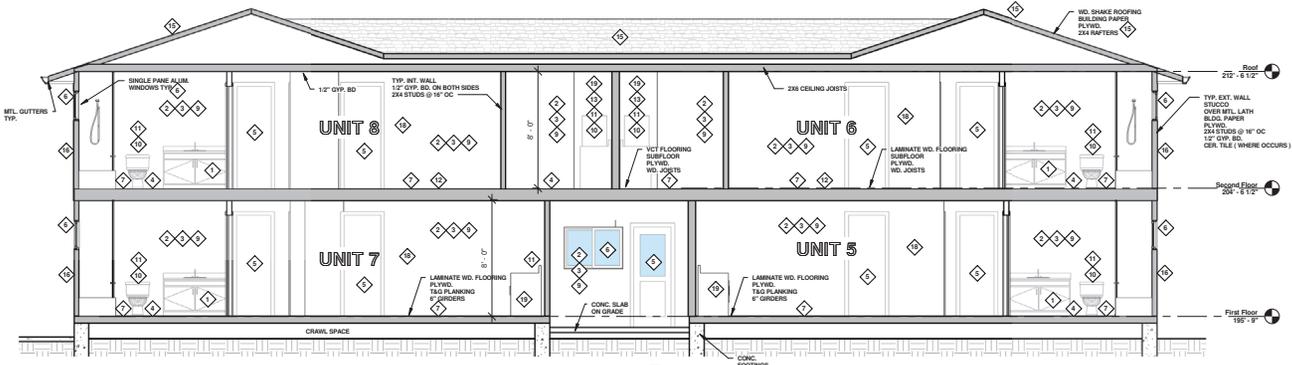
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6	Drawn by	A11	Description		
6	Scale	1/4" = 1'-0"			



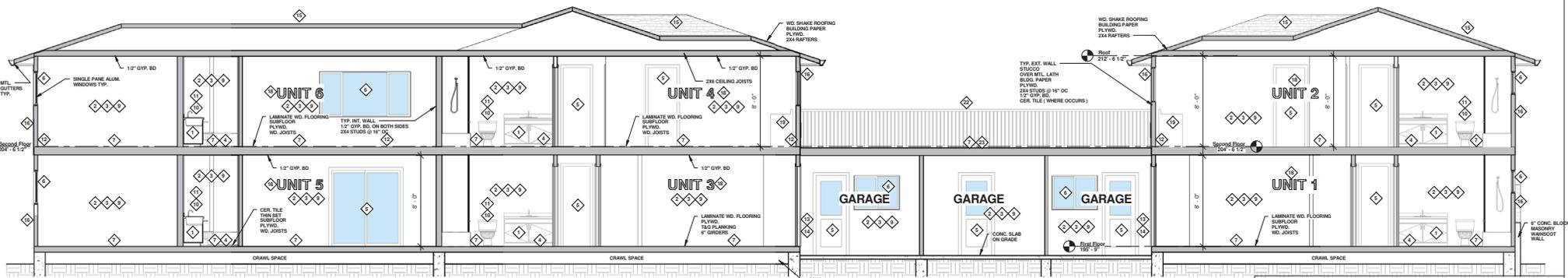
2 CROSS SECTION 1 (EXISTING)
A12 1/4" = 1'-0"



3 CROSS SECTION 2 (EXISTING)
A12 1/4" = 1'-0"



4 CROSS SECTION 3 (EXISTING)
A12 1/4" = 1'-0"



1 LONGITUDINAL SECTION (EXISTING)
A12 1/4" = 1'-0"

- TYPICAL DEMOLITION LEGEND / NOTES**
- ◆ REMOVE EXISTING CABINETS, APPLIANCES AND PLUMB FIXTURES WITH CUT, TERMINATE, OR REMOVE. REMOVE PLUMBING JOISTS AS NECESSARY.
 - ◆ REMOVE EXISTING FLOORING, SUBFLOORING, AND FINISHES. REMOVE EXISTING TILES ON FLOOR AND WALLS.
 - ◆ REMOVE EXISTING DOOR.
 - ◆ REMOVE EXISTING WINDOW AND SILL.
 - ◆ REMOVE EXISTING FLOORING, SUBFLOORING & DAMAGED.
 - ◆ REMOVE EXISTING WALL.
 - ◆ REMOVE ALL ELECTRICAL LINES, OUTLETS AND SWITCHES THRU OUT ROOM.
 - ◆ REMOVE EXISTING PLUMBING FIXTURES AND LIGHTING FIXTURES INCLUDING EXHAUST FANS.
 - ◆ REMOVE EXISTING PLUMBING FITTINGS, SHOWERS ENCLOSURES, COOKTOPS & W/ PROPOSED FLOOR PLANS FOR NEW LAYOUT AND LOCATIONS.
 - ◆ REMOVE EXISTING WALL BASE ELEC. HEATERS.
 - ◆ REMOVE EXISTING WATER HEATER.
 - ◆ REMOVE EXISTING FURNACE.
 - ◆ REMOVE EXIST. ROOFING, BLDG. PAPER AND GUTTERS PLUMB TERMINATION CAPS, JOISTS AND FLASHINGS, THRU OUT EXTERIOR OF BUILDING.
 - ◆ REMOVE EXISTING STUCCO OR WOOD SIDING, WOOD TRIM THRU OUT EXTERIOR OF BUILDING.
 - ◆ REMOVE EXISTING ELEC. PANEL.
 - ◆ REMOVE ALL EXISTING ELEC. WIRING THRU OUT EXTERIOR OF BLD.
 - ◆ REMOVE EXISTING WASHER & DRYER, CAP AND TERMINATE PLUMB LINES WHERE THEY ARE NOT TO BE USED. COORDINATE W/ PROPOSED FLOOR PLAN.
 - ◆ REMOVE EXISTING CONC. STEPS.
 - ◆ REMOVE EXISTING GARAGE STRUCTURES, ROOFING, GUTTERS, FASCIA.
 - ◆ REMOVE EXISTING RAILINGS.
 - ◆ REMOVE EXISTING TERRACE WATER PROOF, FLOOR COVERING, SUBFLOOR, AND WATERPROOFING.

- DEMOLITION GENERAL NOTES**
1. VERIFY THE EXISTENCE OF ANY HAZARDOUS MATERIALS AND COORDINATE WITH AHAZARDING REPORTS/ DISCLOSURE OF HAZARDOUS MATERIALS REPORTS AND FOLLOW REQUIRED PROCEDURES WITH PROPER NECESSARY PRECAUTIONS FOR REMOVAL OF SUCH MATERIALS.
 2. TERMINATE ALL GAS LINES WHERE REMOVAL OCCURS.
 3. TERMINATE ALL ELECTRICAL LINES WHERE REMOVAL OCCURS.
 4. TERMINATE ALL WATER LINES WHERE REMOVAL OCCURS.
 5. COORDINATE WITH WATER, GAS/ELECT. UTILITY COMPANIES FOR TERMINATION OF SERVICES.
 6. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITY LINES COVERED, OR UNDERGROUND BY USING A UTILITY DETECTION COMPANY.
 7. UTILIZE TEMPORARY OR PERMANENT SUPPORTS, BRACKETS, BRACES WHERE IT IS NECESSARY TO SUPPORT ELEMENTS OF BUILDING FOR SAFETY.



**ROSE COURT APARTMENTS
REMODELING**
201 ROSE COURT CAMPBELL, CA

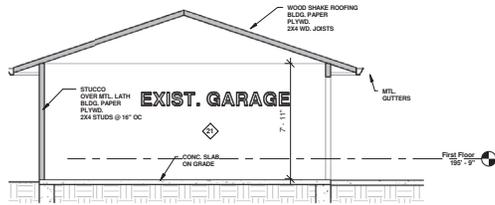
No.	Description	Date	Date
			AUG-24-2020
			Author
			A12
			Scale 1/4" = 1'-0"

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1238 ORANGE STREET CONCORD, CA 94518
PH: (408) 504-8104 LEVENTAKSIN@GMAIL.COM

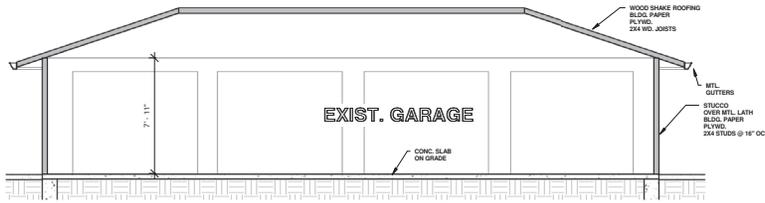
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EXISTING SECTIONS (REMOVAL)

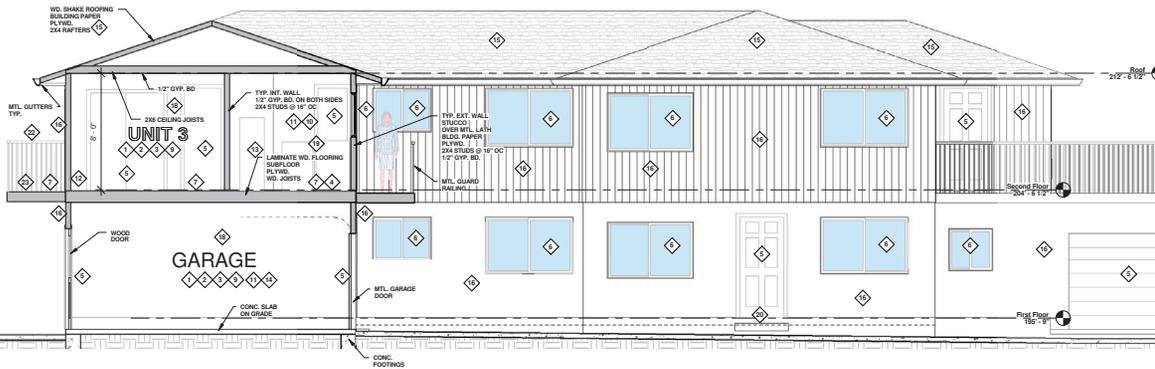
COURTNAME REVITWROSE COURTHOUSE 3/14/21



2 DETACHED GARAGE CROSS SECTION (EXISTING)
A13 1/4" = 1'-0"



3 DETACHED GARAGE LONGITUDINAL SECTION (EXISTING)
A13 1/4" = 1'-0"



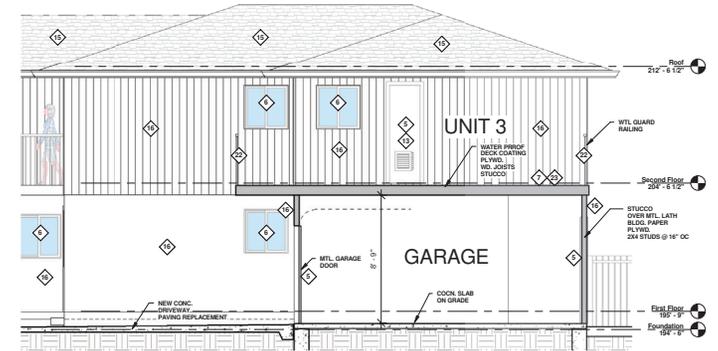
4 CROSS SECTION (EXISTING)
A13 1/4" = 1'-0"

TYPICAL DEMOLITION LEGEND / NOTES

- ◇ REMOVE EXISTING CABINETS, APPLIANCES AND LIME FINISHES THRU OUT. TERMINATE CAP AND MOUTH PLUMB. USED AS REQUIRED. COORDINATE BY NEW PROPOSED FLOOR SLAB.
- ◇ REMOVE EXISTING ELEC. PANELS AND ALL LIGHT FIXTURES.
- ◇ REMOVE EXISTING GYP. BD. THRU OUT ROOM ON CEILING AND WALLS. COORDINATE WITH REPORTS FOR ANY HAZARDOUS OR IIR OR AIR HEALTH HAZARDOUS MATERIALS FOR PROPOSED REMEDIATION WORK.
- ◇ REMOVE EXISTING TILES ON FLOOR AND WALLS.
- ◇ REMOVE EXISTING DOOR.
- ◇ REMOVE EXISTING WINDOW AND SILL.
- ◇ REMOVE EXISTING FLOORING, SUBFLOORING. REMOVE AND REPLACE EXISTING FLOORING IS DAMAGED.
- ◇ REMOVE EXISTING WALL.
- ◇ REMOVE ALL ELECTRICAL LINES OUTLETS AND SWITCHES THRU OUT ROOM.
- ◇ REMOVE EXISTING PLUMBING FIXTURES AND LIGHTING FIXTURES INCLUDING EXHIBIT TRAIL.
- ◇ REMOVE EXISTING PLUMBING FITTINGS. SHOWER ENCLOSURES AND MOUTH IS REQUIRED TO RECORD NEW FIXTURES. COORDINATE BY PROPOSED FLOOR PLANS FOR NEW LAYOUT AND LOCATIONS.
- ◇ REMOVE EXISTING WALL BASE ELEC. HEATERS.
- ◇ REMOVE EXISTING WATER HEATER.
- ◇ REMOVE EXISTING FURNACE.
- ◇ REMOVE EXIST. ROOFING, BLDG PAPER AND GUTTERS. PLUMB. TERMINATE FOR CAP, MOUSE AND FLASHINGS. THRU OUT.
- ◇ REMOVE EXISTING STUCCO ON WOOD SIDING, WOOD TRIMS THRU OUT.
- ◇ REMOVE EXISTING ELEC. PANEL.
- ◇ REMOVE ALL EXISTING ELEC. WIRING THRU OUT ENTIRE UNIT.
- ◇ REMOVE EXISTING WASHES & SINKS, CAP AND TERMINATE PLUMB. AND WASTE TRAP AND BOV. TO BE COORDINATE BY PROPOSED FLOOR PLAN.
- ◇ REMOVE EXISTING CONC. STEPS.
- ◇ REMOVE EXISTING GARAGE STRUCTURE'S ROOFING, GUTTERS, FASCIA.
- ◇ REMOVE EXISTING RAILING.
- ◇ REMOVE EXISTING TERRACE WATER PROOF, FLOOR COATING, SUBFLOOR AND WATER ROOFING.

DEMOLITION GENERAL NOTES:

1. VERIFY THE EXISTENCE OF ANY HAZARDOUS MATERIALS AND COORDINATE WITH ABATEMENT REPORTS, DISCLOSURE OF HAZARDOUS MATERIALS REPORTS AND FOLLOW REQUIRED PROCEDURES WITH PROPER NECESSARY PRECAUTIONS FOR REMOVAL OF SUCH MATERIALS.
2. TERMINATE ALL GAS LINES WHERE REMOVAL OCCURS.
3. TERMINATE ALL ELECTRICAL LINES WHERE REMOVAL OCCURS.
4. TERMINATE ALL WATER LINES WHERE REMOVAL OCCURS.
5. COORDINATE WITH WATER, GAS/ELECT. UTILITY COMPANIES FOR TERMINATION OF SERVICES.
6. IT IS CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITY LINES COVERED OR UNDERGROUND BY USING A UTILITY DETECTION COMPANY.
7. UTILIZE TEMPORARY OR PERMANENT SUPPORTS, BRACKING, BRACES WHERE IT IS NECESSARY TO SUPPORT ELEMENTS OF BUILDING FOR SAFETY.



1 SECTION THRU UPPER TERRACE / ATTACHED GARAGES (EXISTING)
A13 1/4" = 1'-0"

COURTESY REMITROUSE COURTHOUSE 3x1x1

ARTE ARCHITECTURE
Levent Aksin Architect

1288 ORANGE STREET CONCORD, CA 94518
PH (408) 504-8114 LEVENTAKSIN@GMAIL.COM

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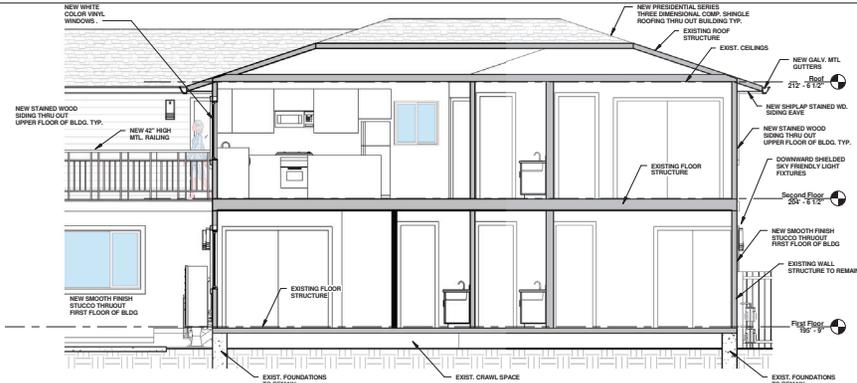
EXISTING SECTIONS (REMOVAL)



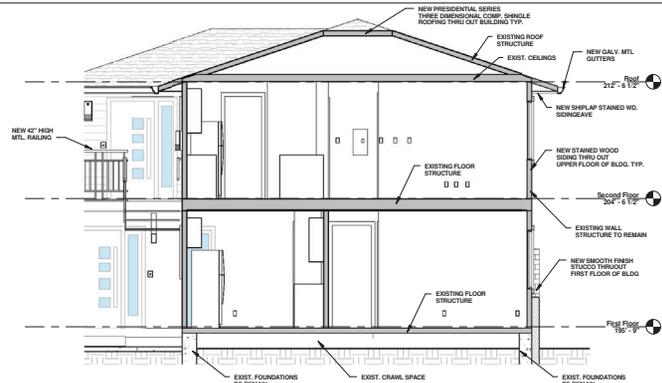
**ROSE COURT APARTMENTS
REMODELING**
201 ROSE COURT CAMPBELL, CA

No	Description	Date

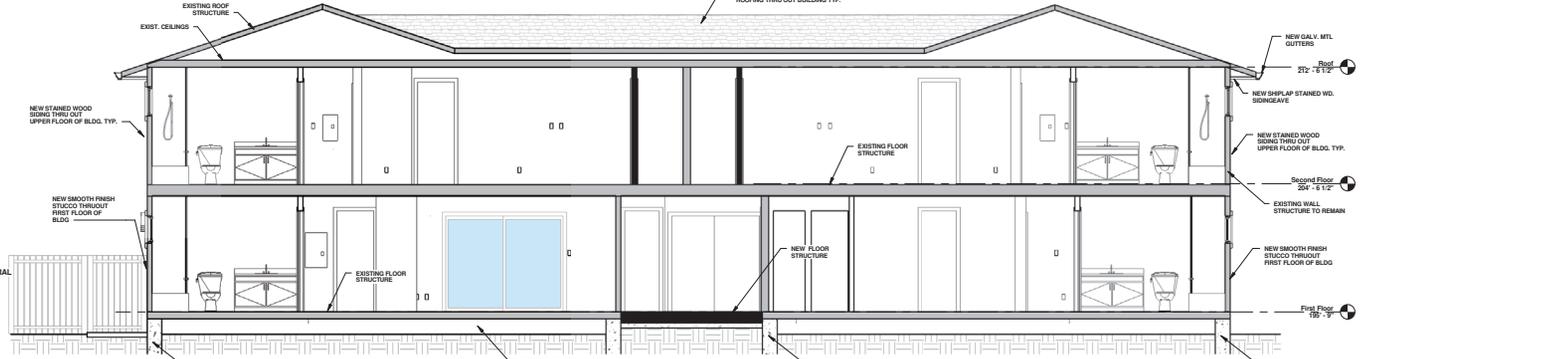
Date: AUG-24-2020
Drawn by: Author
A13
Scale: 1/4" = 1'-0"



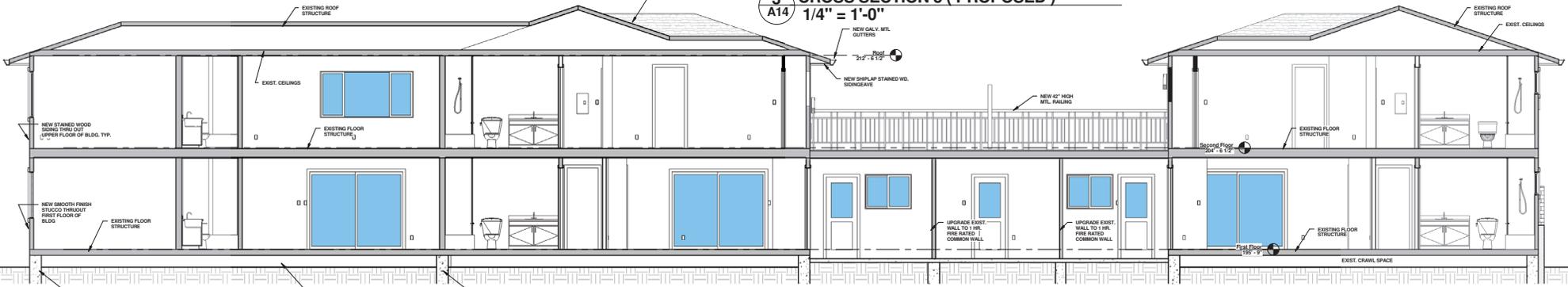
1 CROSS SECTION 1 (PROPOSED)
A14 1/4" = 1'-0"



2 CROSS SECTION 2 (PROPOSED)
A14 1/4" = 1'-0"



3 CROSS SECTION 3 (PROPOSED)
A14 1/4" = 1'-0"



4 LONGITUDINAL SECTION (PROPOSED)
A14 1/4" = 1'-0"

NOTE: FIRE BLOCKING SHALL BE INSTALLED AT OPENINGS AROUND CHIMNEYS AND FIRE PLACES AT CEILING LEVEL PER CRC 2016 SECTION R1003.19 AND R1001.12. FACTORY BUILT CHIMNEYS AND FIRE PLACES SHALL BE IN ACCORDANCE WITH UL 103 AND UL 127

*NOTE: DO NOT ALLOW DOWNSPOUTS DISCHARGE INTO PLANTER BOX AREAS. CONTINUE IN GROUND AND DAY LIGHT ALL DOWNSPOUTS OUT OF PLANTER BOXES AND PROVIDE SPLASH BLOCK FOR EACH DISCHARGING TO GROUND. SLOPE CONC. WALKS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM BUILDINGS.

ALL MTL CHIMNEY SHROUDS SHALL BE LISTED AND LABELED ASSEMBLY FOR THE MAKE AND MODEL OF FIREPLACE PER CRC 2016 AND CMC 2016

LEGEND:

- EXISTING WALLS TO REMAIN
- NEW WALLS OR FLOORS

NOTE: FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.



**ROSE COURT APARTMENTS
REMODELING**
201 ROSE COURT CAMPBELL, CA

No.	Description	Date

Date: AUG-24-2020
 Drawn by: Author
A14
 Scale: 1/4" = 1'-0"

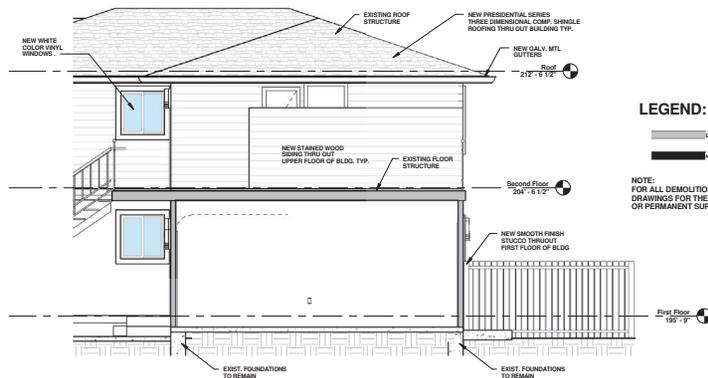
ARTE ARCHITECTURE
Levent Aksin Architect

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PROPOSED SECTIONS

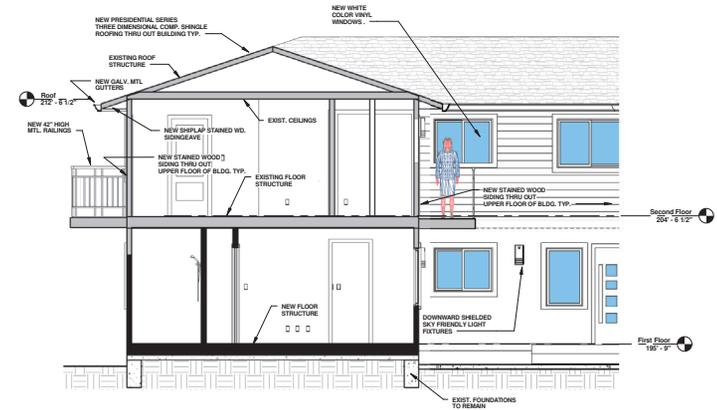
COURTNAME REVITWROSE COURTHOUSE 30x14



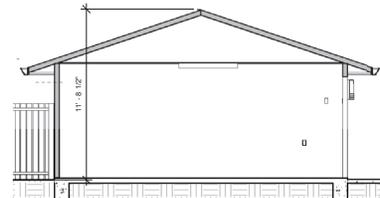
2 SECTION THRU UPPER TERRACE / ATTACHED GARAGES
 1/4" = 1'-0"

LEGEND:
 ——— EXISTING WALLS TO REMAIN
 ——— NEW WALLS OR FLOORS

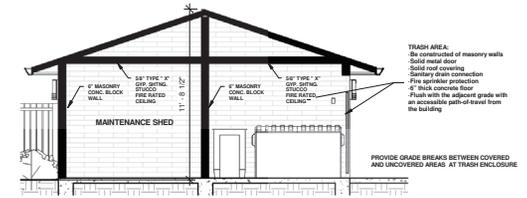
NOTE:
 FOR ALL DEMOLITIONS, COORDINATE WITH AND FOLLOW STRUCTURAL DRAWINGS FOR THE EXTENT OF THE DEMOLITION AND TEMPORARY OR PERMANENT SUPPORTS OF THE BUILDING.



1 CROSS SECTION (PROPOSED)
 1/4" = 1'-0"



3 CROSS SECTION EXISTING GARAGE
 1/4" = 1'-0"



5 CROSS SECTION PROPOSED TRASH ENC.
 1/4" = 1'-0"



4 PROPOSED COURT
 1/4" = 1'-0"



6 PARTIAL SOUTH ELEVATION
 1/4" = 1'-0"



ROSE COURT APARTMENTS REMODELING
 201 ROSE COURT CAMPBELL, CA

No.	Description	Date

Date: AUG-24-2020
 Drawn by: Author
A15
 Scale: 1/4" = 1'-0"

COURTHOUSE REVISIONS COURTHOUSE.MXD

ARTE ARCHITECTURE
 Levent Aksin Architect
 1288 ORANGE STREET CONCORD, CA 94518
 PH: (408) 504-8104 LEVENTAKSIN@GMAIL.COM

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PROPOSED SECTIONS

PROPOSED AREA SCHEMATICS

LOT COVERAGE:

ENTIRE SECOND FLOOR	=	4,288.4 SQF
UNCOVERED OPEN TERRACE	=	815.8 SQF
SECOND FLOOR BALCONIES & THREE EXT. STAIRS	=	166 SQF (81 SQF EA.)
THREE (3) EXT. STAIRS	=	165 SQF (55 SQF EA.)
EXISTING GARAGE	=	846.7 SQF
NEW GARAGE EXTENSION (1 car covered garage G1)	=	200 SQF
TRASH ENCLOSURE (T1)	=	143.2 SQF
MAINTENANCE SHED (S1)	=	136.2 SQF
TOTAL	=	6,731.3 SQF

LOT SIZE : 17,275.70 SQF 6,731.3 SQF / 17,275.70 SQF = 39 %

BUILDING AREA:

AREA SQFT

AREA 11	=	380.0 SQF	
AREA 12	=	639.3 SQF	UNIT 1 TOTAL : 1,210.1 SQF
AREA G2 (attached garage)	=	190.8 SQF	
AREA 31	=	382.6 SQF	
AREA 32	=	642.7 SQF	UNIT 3 TOTAL : 1,242.9 SQF
AREA G3 (attached garage)	=	217.6 SQF	
AREA 51	=	357.7 SQF	UNIT 5 TOTAL : 1,204.7 SQF
AREA 52	=	847.0 SQF	
AREA 71	=	386.7 SQF	UNIT 7 TOTAL : 1,032.3 SQF
AREA 72	=	645.6 SQF	

EXISTING ATTACHED GARAGE (G4) = 220.4 SQF

FIRST FLOOR LIVABLE = 4,261.6 SQF (excludes attached garages)
 FIRST FLOOR ATTACHED GARAGES = 628.8 SQF
 TOTAL FIRST FLOOR (including attached garages) = 4,910.4 SQF

UNCOVERED PATIO 1	=	138.7 SQF
UNCOVERED PATIO 2	=	118.5 SQF
UNCOVERED PATIO 3	=	118.5 SQF
UNCOVERED PATIO 4	=	234.0 SQF
TOTAL PATIOS	=	609.7 SQF

} 1,219.3 SQF

MAIN BUILDING SECOND FLOOR

AREA 21	=	380.0 SQF	UNIT 2 TOTAL : 1,022.7 SQF
AREA 22	=	642.7 SQF	
AREA 41	=	382.6 SQF	UNIT 4 TOTAL : 1,028.6 SQF
AREA 42	=	646.0 SQF	
AREA 61	=	370.7 SQF	UNIT 6 TOTAL : 1,111.8 SQF
AREA 62	=	741.1 SQF	
AREA 81	=	386.7 SQF	UNIT 8 TOTAL : 1,125.3 SQF
AREA 82	=	738.6 SQF	

SECOND FLOOR LIVABLE TOTAL = 4,288.4 SQF (to be also included in Lot Coverage)

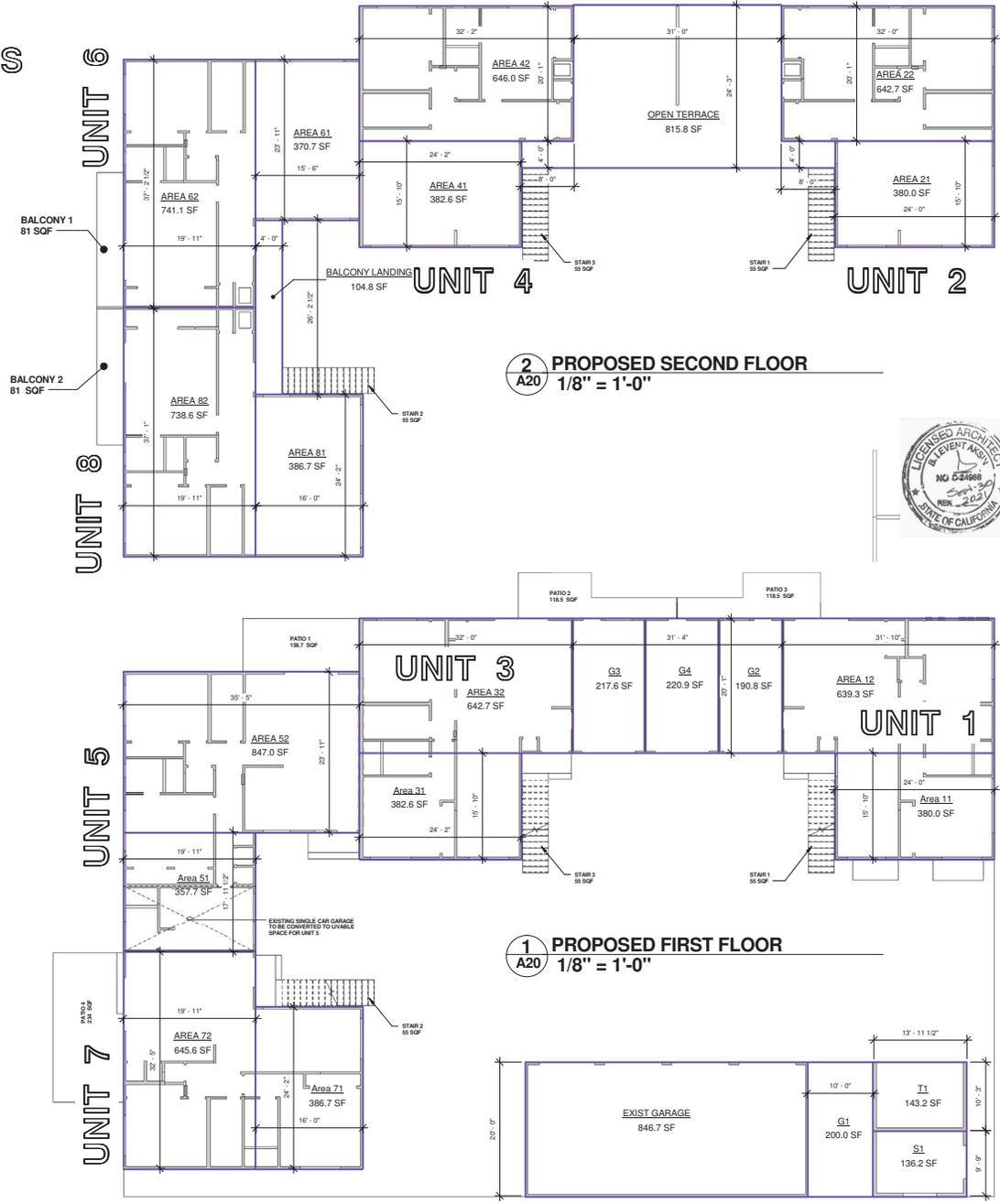
UPPER TERRACE	=	815.8 SQF
BALCONY / LANDING	=	104.8 SQF
BALCONY 1	=	81.7 SQF
BALCONY 2	=	81.7 SQF
TOTAL	=	1,084 SQF

TOTAL MAIN BUILDING LIVABLE = 8,570.0 SQF (All floors) (excludes attached garages)
 TOTAL MAIN BUILDING (inc. attached garages) = 9,198.8 SQF (All floors) (excluding detached garage)

EXISTING DETACHED GARAGE	=	846.7 SQF
NEW ONE CAR DETACHED GARAGE ADDITION (G1)	=	200.0 SQF
TRASH ENCLOSURE (T1)	=	143.2 SQF
MAINTENANCE SHED (S1)	=	136.2 SQF
TOTAL	=	1,326.1 SQF

ALL BUILDINGS TOTAL = 10,524.9 SQF (All floors)
 (inc. detached exist. garage, new garage addition(G1), trash enc. (T1) and maintenance shed (S1)

STAIR 1	=	55 SQF
STAIR 2	=	55 SQF
STAIR 3	=	55 SQF (NEW STAIR)



2 PROPOSED SECOND FLOOR
 A20 1/8" = 1'-0"

1 PROPOSED FIRST FLOOR
 A20 1/8" = 1'-0"



No.	Description	Date

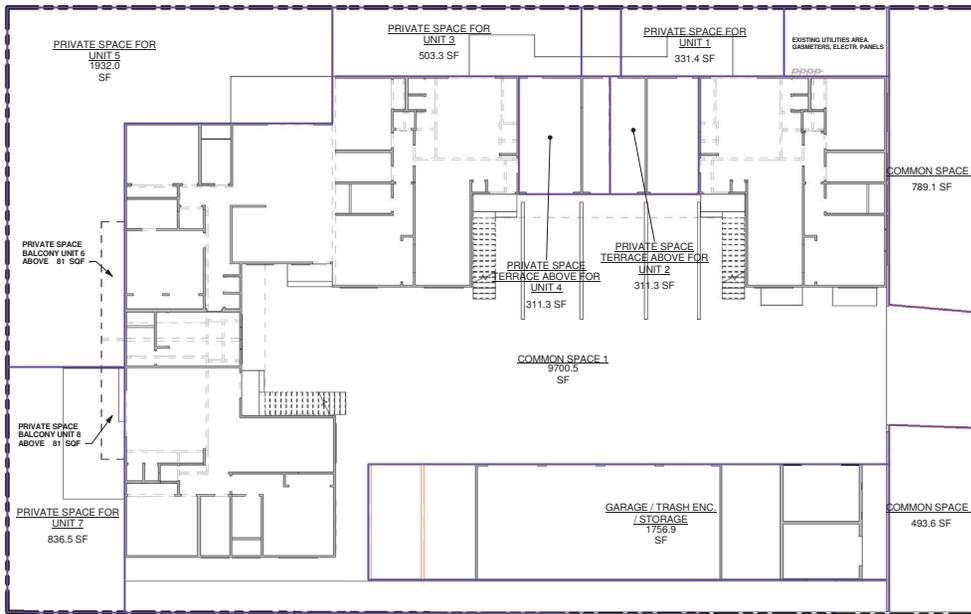
ARTE ARCHITECTURE
 1208 SHAWNEE STREET, COLTON, CA 94318
 PH: (925) 504-9104 LEVENT@ARTEMAIL.COM

AREA SCHEDULES

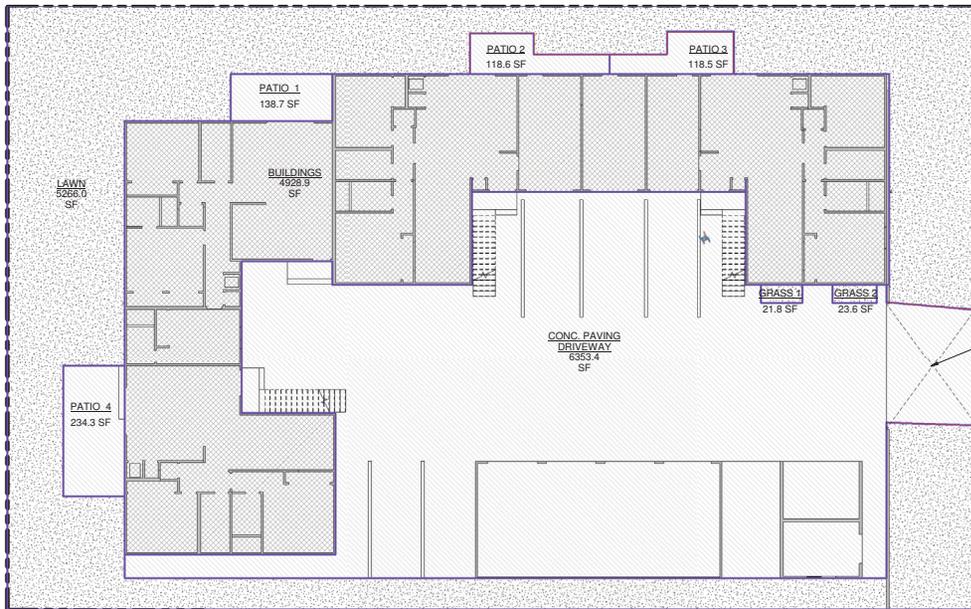
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**ROSE COURT APARTMENTS
 REMODELING
 201 ROSE COURT
 CAMPBELL, CA**

Project no. JIM
 Date AUG-24-2020
 Drawn by _____ Author
 Checked by _____ Checker
A20
 Scale 1/8" = 1'-0"



2 PRIVATE & COMMON AREAS
A21 1" = 10'-0"



LOT SIZE = 17,275.70 SQF ±

PERVIOUS / IMPERVIOUS AREAS

- 21.8 SF GRASS 1
- 23.6 SF GRASS 2
- 118.5 SF PATIO 3 (IMPERVIOUS)
- 118.6 SF PATIO 2 (IMPERVIOUS)
- 138.7 SF PATIO 1 (IMPERVIOUS)
- 234.3 SF PATIO 4 (IMPERVIOUS)
- 4928.9 SF BUILDINGS (IMPERVIOUS)
- 5266.0 SF LAWN
- 6353.4 SF DRIVEWAY (IMPERVIOUS)

TOTAL IMPERVIOUS: 11,892.4 SQF 69% OF LOT
 TOTAL FRONT YARD AREA = 1,616 SQ
 FRONT YARD IMPERVIOUS = 234.2 SQF
 234.2 SQF / 1,616 SQF = 14% OF FRONT YARD

1 IMPERVIOUS AREAS
A21 1" = 10'-0"

**ROSE COURT APARTMENTS
REMODELING
201 ROSE COURT CAMPBELL, CA**



COURTNAME REVITHOUSE COURTHOUSE.rvt

ARTE ARCHITECTURE
Levent Aksin Architect
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IMPERVIOUS & PERVIOUS AREAS

No.	Description	Date

Date: AUG-24-2020
 Drawn by: Author
 A21
 Scale: 1" = 10'-0"



2
A23 **EXISTING DRIVEWAY RIGHT**



1
A23 **EXISTING DRIVEWAY LEFT**

EXISTING VIEWS



4
A23 **EXISTING FRONT LEFT**



3
A23 **EXISTING DRIVEWAY TO ENTRY**

No.	Description	Date

ARTE ARCHITECTURE
1708 S. GARDEN STREET, OAKLAND, CA 94618
PH: (415) 504-8104 | LENTR@ARTEMAIL.COM



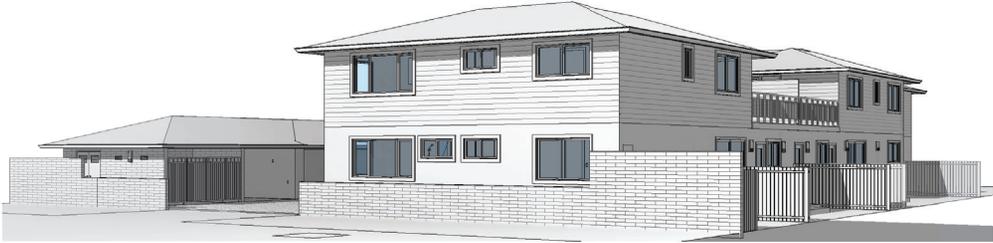
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RENDERINGS (EXISTING)

**ROSE COURT APARTMENTS
REMODELING
201 ROSE COURT
CAMPBELL, CA**



Project no. JIM
Date AUG-24-2020
Drawn by Author
Checked by Checker
A23
Scale

PROPOSED VIEWS



1
A24 **PROPOSED FRONT RIGHT**



2
A24 **PROPOSED FRONT CENTER**



4
A24 **PROPOSED REAR LEFT**



3
A24 **PROPOSED REAR RIGHT**

No.	Description	Date

ARTE ARCHITECTURE
 1208 GRANDE STREET COSTA MESA, CA 92626
 TEL: (714) 544-8104 LENTR@ARTEARCH.COM



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RENDERINGS (PROPOSED)

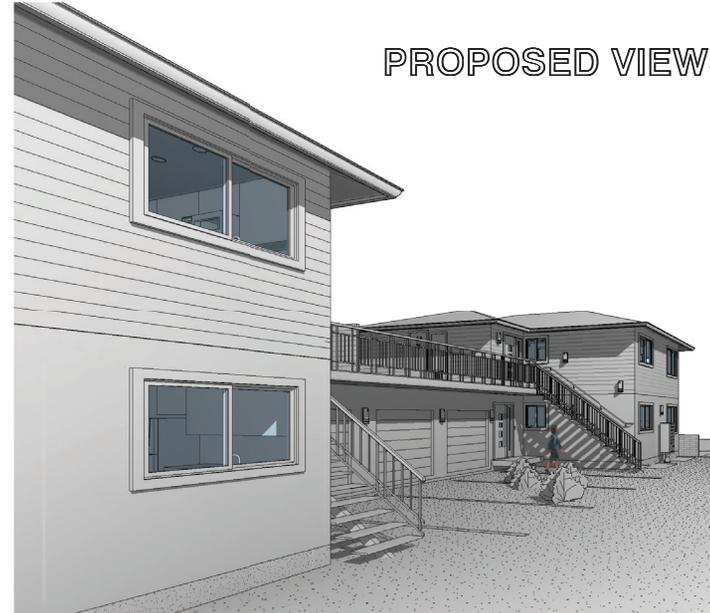
**ROSE COURT APARTMENTS
 REMODELING
 201 ROSE COURT
 CAMPBELL, CA**



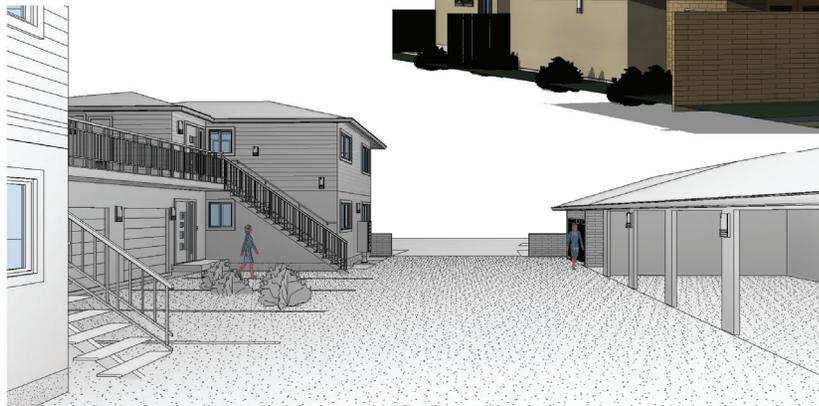
Project no: JIM
 Date: AUG-24-2020
 Drawn by: Author
 Checked by: Checker
A24
 Scale:



2
A25 **PROPOSED DRIVEWAY RIGHT**



1
A25 **PROPOSED DRIVEWAY LEFT**



4
A25 **PROPOSED DRIVEWAY TO ENTRY**



3
A25 **PROPOSED FRONT LEFT**

PROPOSED VIEWS

No.	Description	Date

ARTE ARCHITECTURE
 1208 SHAWNEE STREET COSTA MESA, CA 92626
 TEL: (714) 544-8104 LENTR@ARTEMAIL.COM

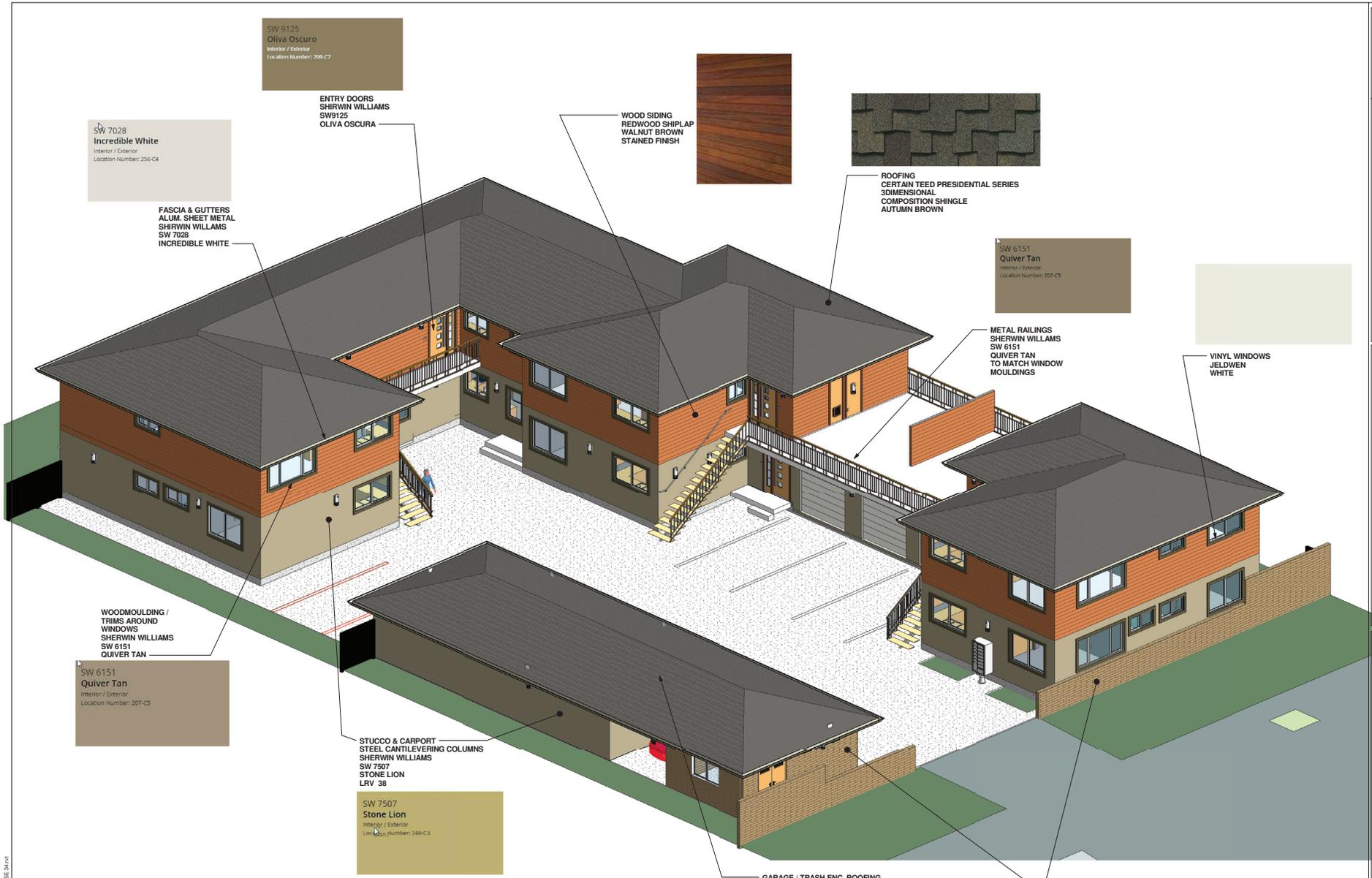
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RENDERINGS (PROPOSED)

**ROSE COURT APARTMENTS
 REMODELING
 201 ROSE COURT
 CAMPBELL, CA**



Project no.	JIM
Date	AUG-24-2020
Drawn by	Author
Checked by	Checker
A25	
Scale	



SW 9125
Oliva Oscuro
Interior / Exterior
Location Number: 209-C7

SW 7028
Incredible White
Interior / Exterior
Location Number: 256-C4

FASCIA & GUTTERS
ALUM. SHEET METAL
SHERWIN WILLIAMS
SW 7028
INCREDIBLE WHITE

WOOD SIDING
REDWOOD SHIPLAP
WALNUT BROWN
STAINED FINISH



ROOFING
CERTAIN TEED PRESIDENTIAL SERIES
3D DIMENSIONAL
COMPOSITION SHINGLE
AUTUMN BROWN

SW 6151
Quiver Tan
Interior / Exterior
Location Number: 207-C5

METAL RAILINGS
SHERWIN WILLIAMS
SW 6151
QUIVER TAN
TO MATCH WINDOW
MOULDINGS



VINYL WINDOWS
JELDWEN
WHITE

WOODMOULDING /
TRIMS AROUND
WINDOWS
SHERWIN WILLIAMS
SW 6151
QUIVER TAN

SW 6151
Quiver Tan
Interior / Exterior
Location Number: 207-C5

STUCCO & CARPORT
STEEL CANTILEVERING COLUMNS
SHERWIN WILLIAMS
SW 7507
STONE LION
LRV 38

SW 7507
Stone Lion
Interior / Exterior
Location Number: 248-C3

GARAGE / TRASH ENC. ROOFING
COLOR TO MATCH
COMPOSITION ROOFING
OF BUILDING

CONC. MASONRY
BLOCK WALLS
SHERWIN WILLIAMS
SW 6412
EMINENT BRONZE
LRV 14

SW 6412
Eminent Bronze
Interior / Exterior
Location Number: 144-C7

2 COLORS / MATERIALS

A26

No.	Description	Date

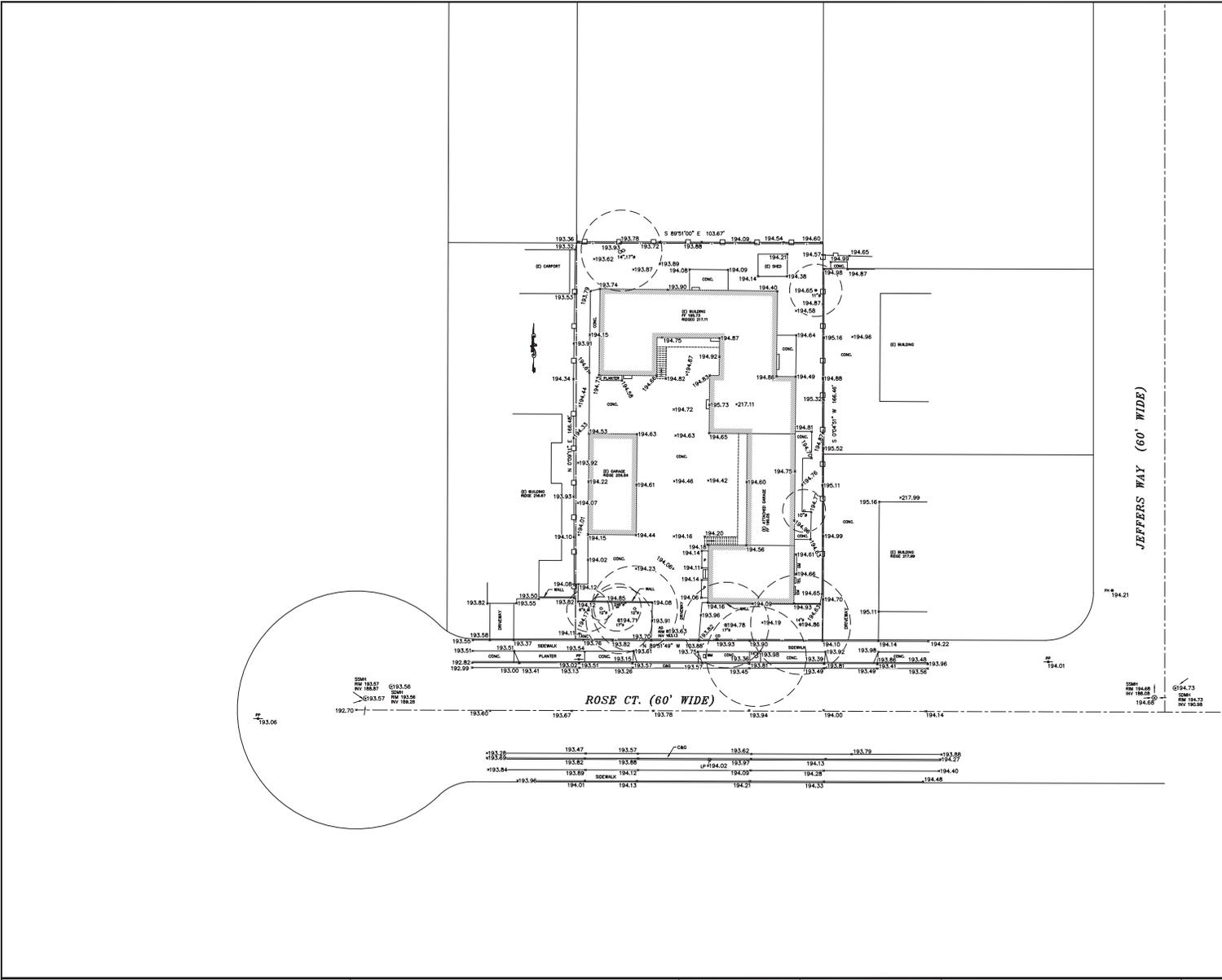
ARTE ARCHITECTURE
1208 GRANDE STREET, COSTA MESA, CA 92626
TEL: (714) 544-8104 | EMAIL: INFO@ARTEARCH.COM

COLORS & MATERIALS

PLEASE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND NOT BE USED FOR ANY PROJECT EXCEPT THE PROJECT SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS STRICTLY PROHIBITED. THE USER SHALL HAVE NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS OR REVENUE THAT MAY BE INCURRED BY ANY PARTY AS A RESULT OF THE USE OF THESE DRAWINGS. AND THIS OFFICE MUST BE NOTIFIED OF ANY VIOLATION FROM THE DRAWINGS AND CONDITIONS SHOWN AT THE BOTTOM OF THESE DRAWINGS.

**ROSE COURT APARTMENTS
REMODELING
201 ROSE COURT
CAMPBELL, CA**

Project no.	JIM
Date	AUG-24-2020
Drawn by	Author
Checked by	Checker
Scale	A26



LEGEND

---	PROPERTY LINE	AC	ASPHALT
---	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSSL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
○	POWER POLE	EB	ELECTRIC BOX
⊗	FIRE HYDRANT	EM	ELECTRIC METER
⊕	JOINT POLE	EP	EDGE OF PAVEMENT
⊙	SURVEY MONUMENT FOUND	FH	FIRE HYDRANT
⊖	TBM (ELEVATION)	GA	GUY ANCHOR
⊗	WATER VALVE	GM	GAS METER
		GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SSMH	STORM DRAINAGE MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCD	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VC	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

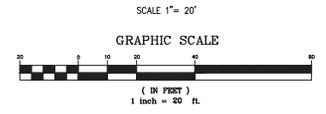
DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
THE BEARING N 89°51'49" W OF CENTERLINE OF ROSE CT. AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP RECORDED IN BOOK 205 OF MAPS AT PAGE 25, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

PROJECT BENCHMARK:
REFERENCED CITY OF CAMPBELL BENCHMARK: BM # 38 EL: 199.81' (NAVD83)

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 2. THE GROSS AREA OF LAND OF RECORD IS 17,275.70 SQ. FT. ±.
 3. THE MAP WAS BASED ON A GRANT DEED DOC # 24339932 BY FIRST AMERICAN TITLE CO. DATED 11/25/2019, RECORDED IN SANTA CLARA COUNTY.
 4. ALL EXISTING BUILDINGS ARE SHOWN.
 5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



201 ROSE CT.
CAMPBELL, CA 95008
APN: 305-31-029



SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

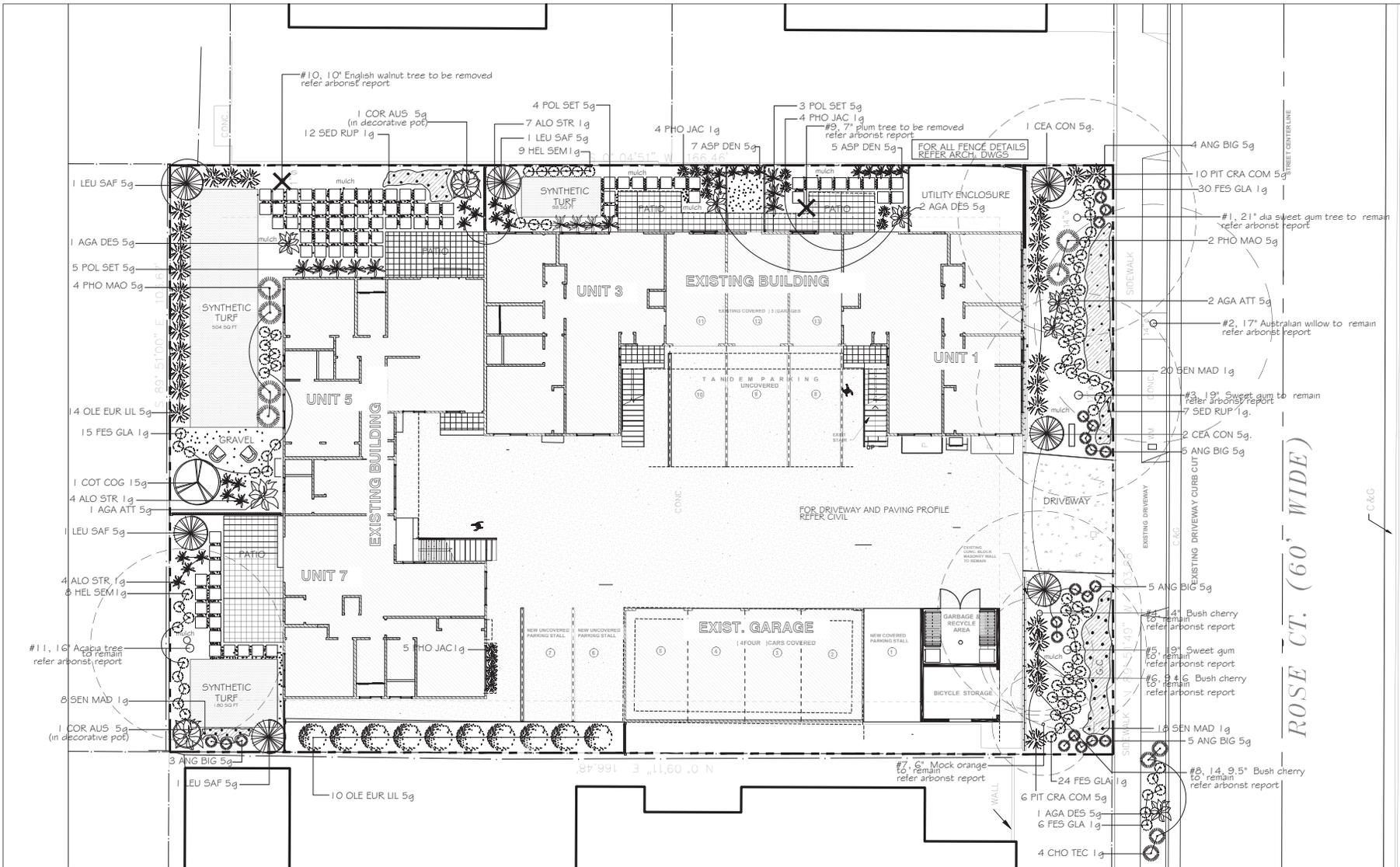
Scale: 1" = 20'
Prepared by: S.P.
Checked by: S.R.
Date: 02/01/2020
Project No: 220011

PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF CAMPBELL



LANDSCAPE DOCUMENTATION PACKAGE AND CHECKLIST

PROJECT INFORMATION

A. DATE: 08-24-2020
 B. PROJECT APPLICANT: MARGARITA JIMENEZ
 PROJECT ADDRESS: 201 ROSE COURT, CAMPBELL, CA
 APN NO. BLDG2019-0366 to 0370, SITE2019-0036
 D. TOTAL IRRIGATED LANDSCAPE AREA: ~2501 sq ft
 E. WATER SUPPLY: POTABLE, CAL-WATER
 F. PROJECT TYPE: APARTMENT REMODEL
 G. PROJECT CHECKLIST: SEE BELOW
 H. PROJECT CONTACT: RUSSELL STRINGHAM, 408-886-4089
 I. LANDSCAPE DOCUMENTATION PACKAGE CERTIFICATION:

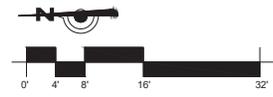
"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete landscape documentation package"

Signature: *R. Stringham* RUSSELL STRINGHAM LA #3091 08-24-2020

- 2. WATER EFFICIENT LANDSCAPE WORKSHEET
- D. HYDROZONE INFORMATION TABLE - SEE SHEETS L-4
- E. WATER BUDGET CALCULATIONS MAWA AND ETWU- SEE SHEETS L-4
- 3. SOIL MANAGEMENT REPORT - CONSULT CIVIL
- 4. LANDSCAPE DESIGN PLAN - SEE SHEET L-1
- 5. IRRIGATION DESIGN PLAN - SEE SHEET L-3
- 6. GRADING DESIGN PLAN - SEE CIVIL ENGINEER PLAN SHEET
- LANDSCAPE DOCUMENTATION CHECKLIST

- 1. PROJECT INFORMATION - CHECK
- 2. WATER EFFICIENT LANDSCAPE WORKSHEET - CHECK
- 3. SOIL MANAGEMENT REPORT - DEFERRED
- 4. LANDSCAPE DESIGN PLAN - CHECK
- 5. IRRIGATION DESIGN PLAN - CHECK
- 6. GRADING DESIGN PLAN - CHECK

APPLICABLE CODES
 VELO PLANTING, IRRIGATION LANDSCAPE AND PLANS



StringhamDesign
 landscape architecture
 RUSSELL STRINGHAM
 5509 SE BUSH ST. PORTLAND, OR 97206
 PHONE 408-886-4089
 LIC. # 3091
 www.StringhamDesign.com



ROSE COURT APT. LANDSCAPE
 201 ROSE COURT,
 CAMPBELL, CA
PLANTING PLAN

REVISION	REVISION DATE

JOB NUMBER

DATE 08-24-20

DRAWN BY MR

SCALE 1/8"=1'

SHEET

L-1

PLANT LIST : 201 Rose Court Apartments, Campbell

KEY	TREES	WUCOLS	
CO2 COG	<i>Cotinus coggygria 'Royal Purple'</i>	Smoke Bush	LOW
SHRUBS			
AGA ATT	<i>Agave attenuata</i>	fox tail agave	LOW
AGA DES	<i>Agave desmetiana 'Variegata'</i>	Variegated smooth tail agave	LOW
ALO STR	<i>Aloe striata</i>	coral aloë	LOW
ANG BIG	<i>Anigozanthos 'Big red'</i>	Kangaroo paw	LOW
ASP MEY	<i>Asparagus densiflorus 'Myers'</i>	Fox tail fern	MOD
CEA CON	<i>Ceanothus 'Concha'</i>	California lilac	LOW
CHO TEC	<i>Chondropetalum tectorum</i>	Small cape rush	LOW
COR AUS	<i>Cordylone Australia 'Red star'</i>	Cordylone	LOW
HEL SEM	<i>Helictotrichon sempervirens</i>	Blue Chalk Grass	LOW
LEU SAF	<i>Leucadendron 'Safari sunset'</i>	Safari sunset conebush	MOD
OLE EUR LIL	<i>Olea Europaea 'Little Ollie'</i>	Olive	LOW
PHO JAC	<i>Phormium 'Jack spratt'</i>	New Zealand Flax	LOW
PHO MAO	<i>Phormium 'Maori Queen'</i>	Maori Queen Flax	LOW
PIT CRA3 COM	<i>Pittosporum crassifolium compactum</i>	pittosporum	LOW
POL SET	<i>Polystichum setiferum</i>	Soft shield fern	MOD
GROUND COVERS			
FES GLA	<i>Festuca glauca</i>	Common blue fescue	LOW
SEN MAN	<i>Senecio mandraliscae</i>	Blue chink	LOW
SED RP	<i>Sedum rupestre 'lemon coral'</i>	sedum	LOW

PLANTING NOTES

THE PLANTING PLAN IS DIAGRAMMATIC ONLY. THE EXACT LOCATION OF PLANT MATERIAL SHALL BE DETERMINED ON SITE. THE EXACT LOCATION OF PLANTS ON SITE WILL ADHERE TO SETBACK REQUIREMENTS FROM THE OWNS.

THE CONTRACTOR SHALL VERIFY THAT THE SOIL TO BE PLANTED IS NATIVE, AND FREE FROM ANY FOREIGN MATERIALS OR SUBSTANCES, WITH A MINIMUM DEPTH OF 8 INCHES OF NON COMPACTED TOPSOIL.

TILL ALL NEW PLANTING AREAS TO A DEPTH OF 8", AND REMOVE ALL WEEDS, STOKS, TO PLANT GROWTH.

ALL NEW PLANTING AREAS SHALL RECEIVE A 3" LAYER OF NITROGEN FORTIFIED WOOD RESIDUAL. TILL IN TO A DEPTH OF 4" AND FINE GRADE.

ALL PLANT MATERIAL SHALL RECEIVE "AGRIFORM" FERTILIZER TABLETS AT THE TIME OF PLANTING, INSERTED IN THE BACKFILL MIX AT HALF THE DEPTH OF THE ROOTBALL. TABLET QUANTITIES AND SIZE AS INDICATED ON THE PLANTING DETAILS.

AFTER FINE GRADING, AND PLANTING (PRIOR TO TOP DRESSING WITH MULCH) A PRE-EMERGENT HERBICIDE SHALL BE APPLIED AT A RATE AND METHOD RECOMMENDED BY THE PRODUCT MANUFACTURER. SPREAD AS A TOP DRESSING, A 3" LAYER OF NITROGEN FORTIFIED BARK (LARGE), IN ALL PLANTING AREAS FOR ADDITIONAL WEED CONTROL, AND WATER RETENTION. SUBMIT A SAMPLE FOR APPROVAL.

ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS OR THE LANDSCAPE ARCHITECT.

ALL PLANTING DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL LOCAL GOVERNING CODES SHALL BE MET.

ALL PLANT MATERIALS SHALL BE IN A HEALTHY, VIGOROUS, AND DISEASE FREE CONDITION. THE PLANT SIZE SHALL BE PROPORTIONAL TO THE CONTAINER SIZE SPECIFIED. PLANTS NOT MEETING THESE REQUIREMENTS WILL BE REFUSED, EVEN IF PLANTED.

IT IS THE RESPONSIBILITY OF THE OWNER TO SUBMIT LANDSCAPE PLANS TO THE GOVERNING MUNICIPALITY FOR APPROVAL.

OF THE PLANS, AND TO OBTAIN BUILDING PERMITS. IF ANY CHANGES OR ADDITIONS TO THE PLANS NEED TO BE MADE, THE OWNER SHALL RETURN THE PLANS, WITH THE CITY REVIEW COMMENTS FOR REVISIONS. FINAL APPROVAL MUST BE OBTAINED FROM THE GOVERNING MUNICIPALITY PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.

REGARDING ALL EXISTING TREE SPECIES, HEIGHT, CONDITION, LOCATIONS, TREE PROTECTION, REFER ARBORIST REPORT BY BUSARA FIRESTONE ARBORIST SERVICES DATED FEBRUARY 06, 2020.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

A MINIMUM OF 6 INCH LAYER OF MULCH SHALL BE APPLIED ON EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, COVERING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQ FT OF PERMISSIBLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE OR THE PROJECT.

PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR OF THE PROJECT.

SCOPE OF WORK

2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA FIRE CODE AS AMENDED BY SAN JOSE FIRE.

Work Hours and Parking

A. Work Hours: Working hours are strictly between the time mentioned below.
7:30 AM TO 5:30 PM, MONDAY - FRIDAY
8:00 AM TO 1:00 PM, SATURDAY

Construction parking is permitted only on the site and only on the side of the street fronting the property for which the permit is issued.

Noise

A. Except as otherwise permitted under this chapter, no person shall cause and no property owner shall permit on such owner's property, a noise produced by any motor, machine, animal or device, or any combination thereof, in excess of the sound level limits set forth in this section to emanate from any property, public or private, beyond the property line.

Any sound in excess of the sound level limits set forth in this section shall constitute a noise disturbance. For purposes of determining sound levels, sound level measurements shall be made at any location on the receiving property. Professional Certification of meeting this requirement may be required prior to final inspection.

B. Sound level limits: 7a.m to 10 p.m. 60 dBA/10 p.m to 7 a.m 50 dBA

GENERAL NOTES

THE LANDSCAPE DESIGN FOR THIS PROJECT COMBINES BOTH DROUGHT TOLERANT PLANTINGS, AND A HIGHLY EFFICIENT DRIP IRRIGATION SYSTEM TO COMPLY WITH THE LOCAL WATER ORDINANCE, AND PROVIDE A LANDSCAPE THAT IS WATER WISE, SUSTAINABLE, AND LOW MAINTENANCE.

ALL OF THE PLANTINGS PROPOSED ARE DROUGHT TOLERANT WITH A HIGH MAJORITY HAVING THE WUCOLS CLASSIFICATION OF LOW OR VERY LOW WATER USE. THE SPACING OF THE PLANT MATERIALS ALLOW THE PLANTS TO MATURE TO THEIR ULTIMATE SIZE WITHOUT THE NEED FOR SHEERING, HEADING BACK, AND EXCESSIVE OBTAINING OF CUTTINGS. THE SPACING OF THE PLANT MATERIALS ALSO ALLOW SOME NEGATIVE SPACE WHICH WILL PROVIDE A NON-OVER PLANTED LOOK, AND VISUAL INTEREST. ALL AREAS NOT PLANTED WILL HAVE A 3" MINIMUM LAYER OF MULCH FOR WEED PREVENTION, SOIL STABILIZATION, AND WATER RETENTION.

THE IRRIGATION SYSTEM IS ROBUST, TIME PROVEN, WITH ALL SHRUBS AND GROUNDCOVERS BEING DRIP IRRIGATED. THE LAWN WILL BE SPRAY IRRIGATED. THE IRRIGATION SYSTEM USES A CONTROLLER THAT HAS THE CAPABILITY OF BEING WEATHER BASED. RECEIVING DAILY WEATHER INPUT TO ADJUST THE IRRIGATION SCHEDULE BASED ON REAL TIME WEATHER INPUT. THIS WILL ELIMINATE WATERING DURING TIME OF HIGH HUMIDITY, RAIN, OR HIGH SOIL SATURATION. THE IRRIGATION SYSTEM WILL BE ALL HARD PIPE UNDERGROUND, WITH THREADED RISERS, AND A THREADED DISTRIBUTION HEAD, WITH NO POLY PIPE OR BARBED CONNECTIONS. Y-STRAINERS WILL BE USED AT EACH VALVE.

A LANDSCAPE IRRIGATION AUDIT IS REQUIRED. THIS AUDIT MUST BE COMPLETED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR, NOT THE DESIGNER OR INSTALLER. THE AUDIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT, WITH A CERTIFICATE OF COMPLETION (APPENDIX C) AS REQUIRED BY THE DEPARTMENT OF WATER RESOURCES. PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WATER EFFICIENT LANDSCAPE PERMIT.

LANDSCAPE AREA REQUIREMENT

TOTAL LANDSCAPE AREA = 3865 sq ft | IRRIGATED AREA= 2501sq ft + NON IRRIGATED LANDSCAPE AREA=782 sq ft | GRAVEL AREA= 126 sq ft + MULCH AREAS= 256 sq ft

THE TOTAL LANDSCAPE AREA EXCEEDS THE 20 PERCENT LANDSCAPE REQUIREMENT FOR THE SITE WHICH IS 3455 sq ft WATER FOR IRRIGATION TO BE SUPPLIED BY THE CITY OF CAMPBELL.

REFER PLAN L3 AND L4 FOR IRRIGATION DETAILS.

LANDSCAPE DESIGN COMPLIANCE STATEMENT

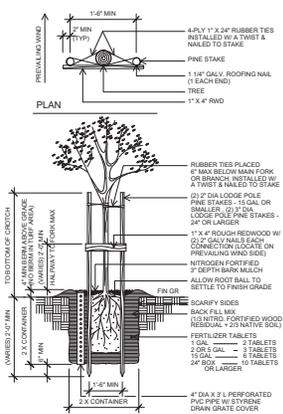
I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Signature: *R. Stringham* 08-24-20
RUSSELL STRINGHAM LA #3091

PLANT PALETTE



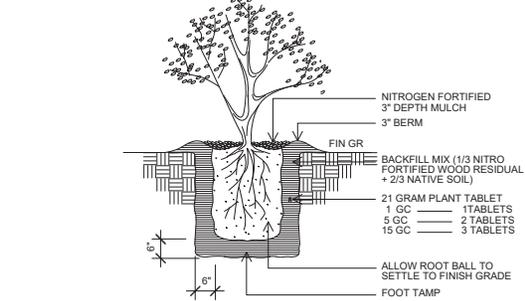
AGAVE DESMETIANA, AGAVE ATTENUATA FOX-TAIL, ALOE STRIATA, ANIGOZANTHOS BIG RED, ASPARAGUS DENSIFLORUS MYERS, CHONDROPETALUM TECTORUM, HELICTOTRICHON SEMPERVIRENS, CEANOTHUS CONCHA, PHORMIUM MAORI QUEEN, POLYSTICHUM SETIFERUM, COTINUS COGGYRIA ROYAL PURPLE, OLEA EUROPAEA LITTLE OLLIE



SHRUB PLANTING N.T.S.



TREE PLANTING N.T.S.



TREE PLANTING N.T.S.



SEDUM RUPESTRE LEMON CORAL, SENECIO MANDRALISCAE, FESTUCA GLAUCA, PHORMIUM 'JACK SPRATT', CORDYLONE AUSTRALIS

StringhamDesign
landscape architecture
RUSSELL STRINGHAM
5509 DE BLUSH ST, PORTLAND, OR 97206
PHONE 408-886-4099
LIC # 13091
www.StringhamDesign.com

ROSE COURT APT. LANDSCAPE
201 ROSE COURT,
CAMPBELL, CA
PLANTING NOTES

REVISION	REVISION DATE

JOB NUMBER

DATE 08-24-20

DRAWN BY
MR

SCALE
NTS

SHEET

L-2

IRRIGATION NOTES

PLAN IS DIAGNOSTIC: THE EXACT LOCATION OF VALVES, LINES, HEADS, ETC. SHALL BE DETERMINED IN THE FIELD. LINES SHALL BE IN A COMMON TRENCH WHERE POSSIBLE. IRRIGATION TRENCHES SHALL ADHERE TO SETBACK REQUIREMENTS FROM THE OWITS.

THE ENTIRE IRRIGATION SYSTEM WILL BE WITHIN THE PROPERTY BOUNDARIES. THE LOCATION OF MAIN LINES, BACKFLOW, VALVES, ETC. ON THE DRAWINGS, IS SCHEMATIC. LINES SHALL BE IN A COMMON TRENCH WHERE POSSIBLE. LINES AND SLEEVES TO BE INSTALLED UNDER PAVING SHALL BE SCHEDULE 40 PVC. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOT OPERATE ANY HEAVY EQUIP OVER UTILITY LINES AND SHALL HAND DIG ANY TRENCHES WITHIN 5' OF UTILITY LINES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITY LINES AT HIS OWN EXPENSE.

IRRIGATION SYSTEM WAS DESIGNED FOR A MAXIMUM OF 18 GPM AT 40 PSI WORKING PRESSURE (WORST CONDITION AT FURTHEST HEAD/DROP UNIT). IRRIGATION SYSTEM TO VERIFY PRESSURE PRIOR TO CONSTRUCTION OF ANY PART OF THE IRRIGATION SYSTEM. IF WORKING PRESSURE IS GREATER THAN 75 PSI, CONSULT THE LANDSCAPE ARCHITECT FOR USE OF A PRESSURE REGULATOR. IF WORKING PRESSURE IS LESS THAN 40 PSI CONSULT LANDSCAPE ARCHITECT.

THE WATER SOURCE FOR THE IRRIGATION SYSTEM SHALL BE PROTECTED FROM BACK FLOW BY A BACK FLOW PREVENTER (TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARDS).

ALL VALVE WIRING SHALL BE COPPER U.L. APPROVED FOR DIRECT BURIAL. CONNECT WIRES USING SPlice-KOTE WIRE CONNECTORS. WIRE SIZE TO BE #12 AWG MIN. (RUNS LONGER THAN 1000 FT. SHALL BE #10 AWG) ONE SPARE CONTROL WIRE TO BE PROVIDED THROUGHOUT.

ALL BACKFILL MATERIAL SHALL BE FREE OF ROCKS (OVER 3/4") AND OTHER EXTRANEIOUS MATERIALS, AND SHALL BE COMPACTED TO PREVENT SETTLING.

AT JOB COMPLETION SUPPLY OWNERS WITH CONTROLLER KEYS, AND MANUFACTURERS PRODUCT INFORMATION.

ALL IRRIGATION DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL GOVERNING CODES SHALL BE SATISFIED.

THE DRIP IRRIGATION SYSTEM WAS DESIGNED TO PROVIDE ONE DISTRIBUTION LINE TO EACH SHRUB (LINES SHALL NOT BE TIED), AND TWO LINES FOR EACH

THE IRRIGATION CONTRACTOR SHALL COORDINATE THE SPRINKLER HEAD/DROP UNIT LOCATIONS AND QUANTITIES WITH THE PLANTING PLAN, AND PROVIDE PROPER IRRIGATION TO ALL PLANT MATERIALS SHOWN ON THE PLANTING PLANS. THE IRRIGATION CONTRACTOR SHALL TEST THE IRRIGATION SYSTEM PRIOR TO ANY BACK FILLING, AND SHALL CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.

NO TRENCHING WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PERMITTED. IF IRRIGATION LINES MUST PASS THROUGH THE DRIP LINE OF EXISTING TREES, CONSULT THE LANDSCAPE ARCHITECT.

GREAT CARE SHALL BE GIVEN TO PREVENT DIRT FROM ENTERING THE IRRIGATION SYSTEM DURING CONSTRUCTION. FLUSH THE ENTIRE SYSTEM THOROUGHLY BEFORE INSTALLING THE MAIN FLOW HEADS. ALL DRIP CIRCUITS SHALL HAVE A Y STRAINER AS INDICATED ON THE IRRIGATION LEGEND.

I HAVE COMPLIED WITH THE CRITERIA OF WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

CHECK VALVES SHALL BE USED WHERE NEEDED TO PREVENT DRAINAGE TO LOW HEADS SEE WATER BUDGET PREPARED FOR THIS SITE AND SUBMITTED WITH THIS DRAWING SET.

THE IRRIGATION CONTROLLER SHALL BE WEATHER BASED, TO LIMIT WATER WASTE PER WEEK TO 12.44 (0.002). CONTROLLERS MAY NOT RELY SOLELY ON TIME BASED SCHEDULING.

IRRIGATION SPRAY HEADS SHALL BE PLACED AND ADJUSTED TO PREVENT OVERSPRAY ONTO PAVED AREA, AND ADJUSTED TO PREVENT FOGGING AND MISTING. NOZZLES TO BE PRESSURE COMPENSATING.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

CHECK VALVES OR ANTI-DRAWN IN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES (N/A IN THIS PROJECT).

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR OF THE PROJECT.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

IRRIGATION LEGEND

A IRRITROL MC-E (BLUE) SERIES WITH "CLIMATE LOGIC" ON SITE WIRELESS WEATHER SENSOR; 18 STATION WEATHER BASED SMART CONTROLLER IRRITROL #S-B150 1 1/2" LINE SIZE FLOW SENSOR TO BE USED WITH THE CONTROLLER. CONTRACTOR TO VERIFY COMPATIBILITY BETWEEN THE CONTROLLER AND THE FLOW SENSOR.

M-1 ZURN WALKING REDUCED PRESSURE BACKFLOW PREVENTER 1 1/4" AT POINT OF CONNECTION PROVIDE A MASTER SHUT OFF VALVE ZURN WALKING MODEL 850L FULL PORT BRONZE BALL VALVE 1 1/2" TO BE MOUNTED UPSTREAM FROM THE BACKFLOW PREVENTER.

M-1 RAINBIRD P40 SERIES LANDSCAPE IRRIGATION WATER SUB-METER (R40B) 1 1/2" TO 100 GPM ALL IRRIGATION VALVES TO BE DOWNSTREAM FROM THE SUB-METER TO MEASURE ALL IRRIGATION USED FOR LANDSCAPING. THE SUB-METER WILL BE USED TO MEASURE WATER USAGE FOR IRRIGATING THE LANDSCAPE. THE SUB-METER WILL BE PLACED BELOW GRADE.

Y Y STRAINER WALKING Y58R SERIES WITH A 100 MESH SCREEN (LINE SIZE) MOUNT AS PART OF THE BACK FLOW ASSEMBLY.

R RAINBIRD PER SERIES ELECTRIC REMOTE CONTROL VALVE SIZE AS NOTED.

P PRESSURIZED WATER MAIN, PVC SCHEDULE 40, BURY 18" MIN.

I IRRIGATION LINE PVC CLASS 200, BURY 12" MIN.

S USE SLEEVES WHERE EVER IRRIGATION LINES MUST PASS UNDER PAVING, TO BE COORDINATED ON SITE BY THE IRRIGATION CONTRACTOR. SLEEVES SHALL BE 4" PVC SCHEDULE 40 BURY 18" MIN. EXTEND 6" BEYOND EDGE OF PAVING.

C CIRCUIT DESIGNATION

G GALLONS PER MINUTE

V VALVE SIZE

B AGRIFIM MAXI-FLO BUBBLER

6 OUTLETS AT 10 GPM EACH OPERATING RANGE 20-80 PSI USE A Y STRAINER DOWN STREAM FROM VALVE FOR EACH CIRCUIT (SEE IRRIGATION LEGEND FOR SIZE AND TYPE OF FILTER). USE 1/2" DISTRIBUTION TUBING (1707 10 X .250 O.D. POLY).

MAXIMUM RUN LENGTHS SHALL NOT EXCEED ONE LINE TO EACH SHRUB OR GROUND COVER, AND TWO' FOR EACH TREE. USE SUPPORT STAKE #58 AT END.

USE 80# FLOW BUBBLER

Y Y STRAINER FOR ALL DRIP CIRCUITS MOUNT IN A SEPARATE PLASTIC BOX DOWN STREAM FROM THE VALVE.

Q QUICK COUPLING VALVE, RAINBIRD H4RC 1" MOUNT IN A PLASTIC VALVE BOX WITH A COVER. EXACT LOCATIONS TO BE DETERMINED ON SITE.

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes	
Enter value in Pale Blue Cells	
Tan Cells Show Results	
<i>Messages and Warnings</i>	
Click on the blue cell on right to Pick City Name	San Jose
ET _a of City from Appendix A	45.30 ET _a (inches/year)
	0 Overhead Landscape Area (m ²)
	2501 Drip Landscape Area (m ²)
	0 SLA (m ²)
Total Landscape Area	2,501.00
Results:	(ET_a) x (0.62) x (0.55 kLA) + (1.0 - 0.55) x SLA]
	38,633.70 Gallons
	5,164.29 Cubic Feet
	51.85 HCF
	0.12 Acre-foot
	0.04 Millions of Gallons
MAWA calculation incorporating Effective Precipitation (Optional)	
Precipitation (Optional)	
ET _a of City from Appendix A	45.30 ET _a (inches/year)
Total Landscape Area	2,501.00 LA (m ²)
Special Landscape Area	0.00 SLA (m ²)
	Total annual precipitation (inches/year)
Enter Effective Precipitation	0.00 Epp (in/yr)(25% of total annual precipitation)
Results:	
MAWA = [(ET _a - Epp) x (0.62) x (0.55 kLA) + (1.0 - 0.55) x SLA]	
	Gallons
	Cubic Feet
	HCF
	Acre-foot
	Millions of Gallons

Estimated Total Water Use	
Equation: ET _W = ET _a x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ET _{WA} = (ET _W - Epp) x 0.62 x [(PF x HA)/IE] + SLA]	
Enter values in Pale Blue Cells	
Tan Cells Show Results	
<i>Messages and Warnings</i>	
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.61.	
Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1
Select System From the Dropdown List	Plant Water Use Type (s) (low, medium, high)
Hydrozone	Plant Factor (PF)
Zone 1 Drip Low	0.30
Zone 2 Drip Low	0.30
Zone 3 Drip Low	0.30
Zone 4 Drip Low	0.30
Zone 5 Drip Low	0.30
Zone 6 Drip Low	0.30
Zone 7 Drip Low	0.30
Zone 8 Drip Low	0.30
Zone 100	
	SLA
	Sum
	2,501.00
	0
	0
Results	
MAWA =	38,587
ET _W =	24,640 Gallons
	3,294 Cubic Feet
	33 HCF
	0 Acre-foot
	0 Millions of Gallons
	ET_W complies with MAWA

LANDSCAPE DESIGN COMPLIANCE STATEMENT

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

Signature: *R. Stringham* 08-24-20
RUSSELL STRINGHAM LA #3001

IRRIGATION SCHEDULE

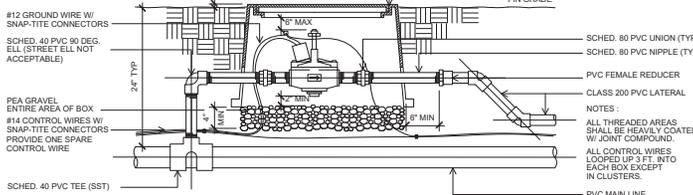
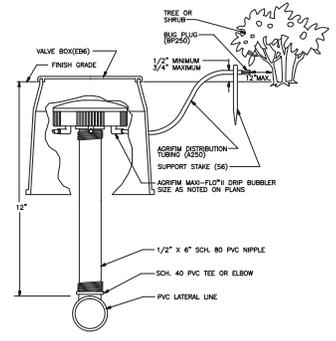
1. Irrigation scheduled for the plant establishment period would be 2 to 3 times a week for the first month followed by twice a week for the following months for upto a year until the roots are well established.
April - October: Twice a week with run time of 20 minutes
November - March: Run time of 15 minutes
The system can be shut off on many days for the months of November to February. Additional watering by hand can be provided for extremely hot days.

2. Irrigation scheduling for the established landscape would be as follows:

For the second year of the landscape:
May- September: twice a week with a run time of twenty minutes
October-April: once a week with a run time of twenty minutes
The system can be shut off during the months of November to February assuming that rainfall provides the necessary irrigation.

For the following years the landscape can be irrigated once in two weeks or on a need basis. Once established, drought tolerant plants need to be watered only once in two weeks or on a need basis.

Note: The above only acts as a guide. Irrigation schedules can be modified by home owner depending on actual weather and soil conditions. Existing fully established plants and trees on site that were retained are to be irrigated as per an 'established landscape schedule'. Drought tolerant plants need to be regularly watered for the first two years until they are well established after which they can do quite well with watering them even twice a month. Water used for irrigation per month to be below the MAWA values as shown the water efficient table on sheet L4. The irrigation controller will be weather based as specified in the irrigation legend. The controller will receive real time weather information, and adjust the programmed watering schedule automatically based on local weather. This will restrict watering during times of precipitation and will help to conserve water.



REMOTE CONTROL VALVE
N.T.S.

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LIC. # 3391
www.StringhamDesign.com



ROSE COURT APT. LANDSCAPE
201 ROSE COURT,
CAMPELL, CA
IRRIGATION NOTES/DETAILS

REVISION	REVISION DATE

JOB NUMBER
DATE 08-24-20
DRAWN BY
MR
SCALE
NTS
SHEET

L-4