



CITY OF CAMPBELL
Community Development Department

November 12, 2020

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

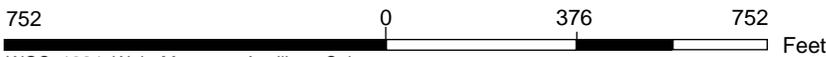
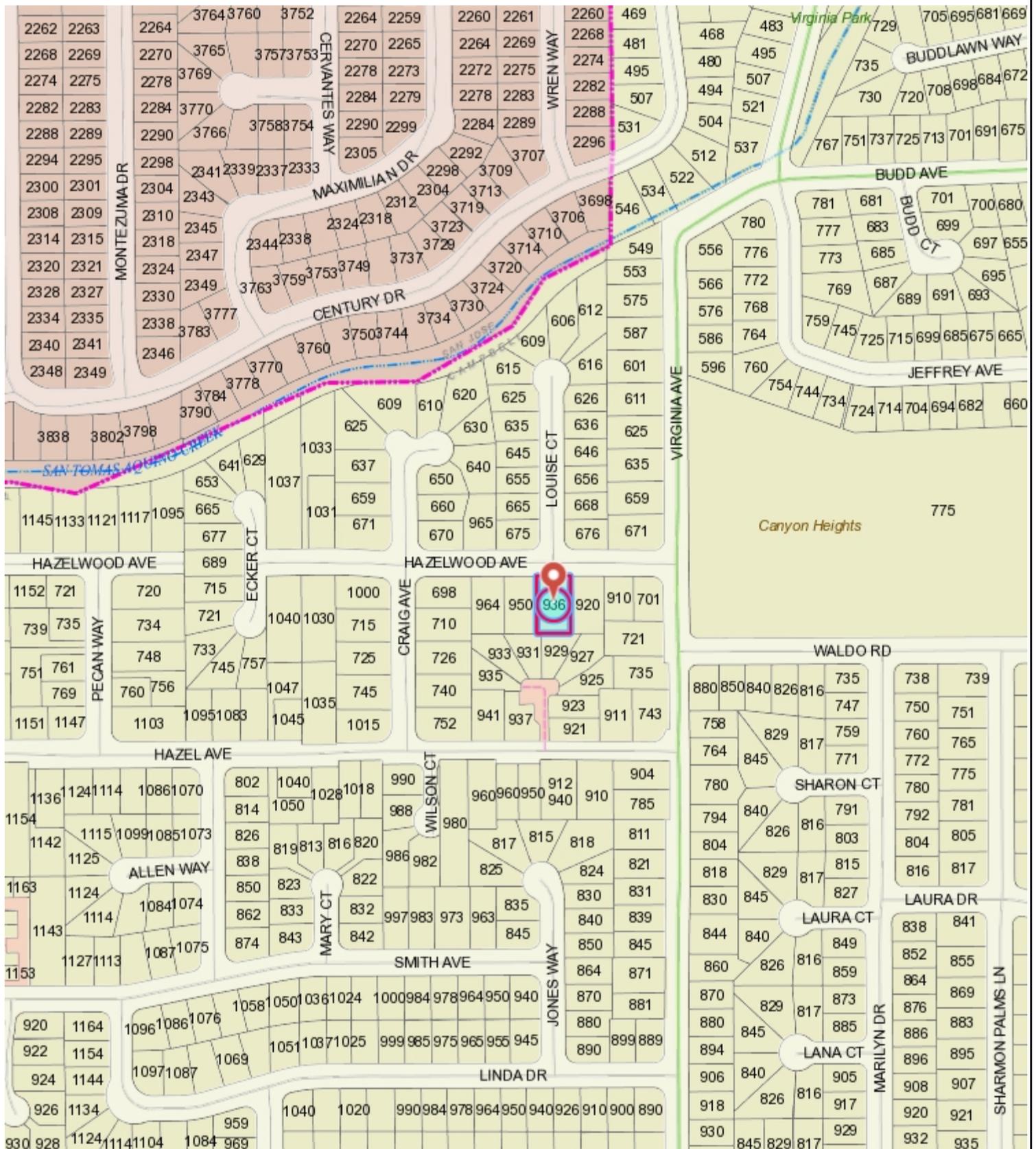
File No.: PLN-2020-143
Applicant: Daniel Warren
Project Address: 936 Hazelwood Avenue
Property Owner: Steven C Belsley
Zoning District: R-1-6 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: New approximately 3,800 sq. ft. one-story single-family home.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on November 12, 2020 and ends on November 23, 2020. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 23, 2020**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.



Location Map - 936 Hazelwood Ave



WGS_1984_Web_Mercator_Auxiliary_Sphere
 Campbell IT, GIS Services

Scale 1:4,514

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

HAZELWOOD RESIDENCE

936 HAZELWOOD AVENUE
CAMPBELL, CALIFORNIA

I WARREN DESIGN |
509 E CAMPBELL AVE, CAMPBELL, CA 95008 P: (909) 483-2800 C: (909) 324-7371

HAZELWOOD RESIDENCE
NEW RESIDENCE
936 HAZELWOOD AVENUE
CAMPBELL CALIFORNIA

Date: 9/09/2020

Drawn By: ACJ

Revisions:



TITLE SHEET

SHEET INDEX

PROJECT DATA

GENERAL NOTES

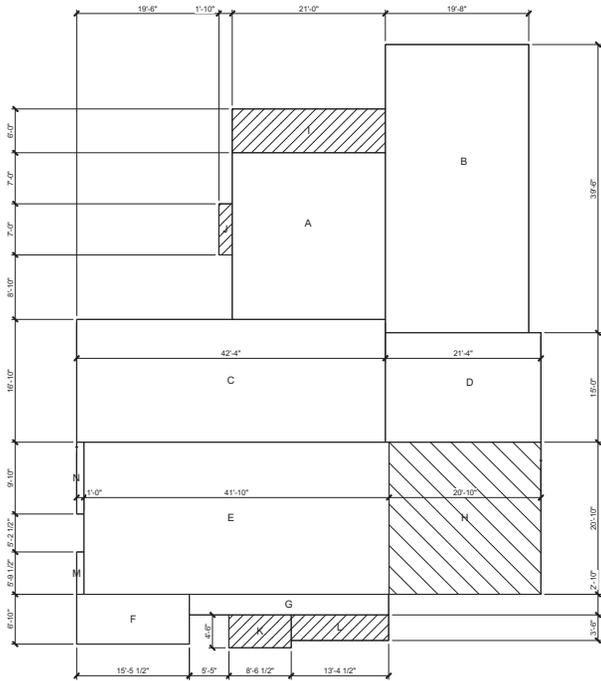
VICINITY MAP

Project No: 2023

Sheet No: T-1

1 of 12

CALGREEN MANDATORY MEASURES	FIRE DEPARTMENT NOTES	GENERAL NOTES	SHEET INDEX
<p>4.1 PLANNING & DESIGN SITE DEVELOPMENT</p> <p>4.106.2 A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.</p> <p>4.106.3 THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS.</p> <p>4.2 ENERGY EFFICIENCY</p> <p>4.201.1 LOW RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS.</p> <p>4.3 WATER EFFICIENCY & CONSERVATION</p> <p>4.303.1 INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> 1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED. 2. A 20% REDUCTION IN BASINLINE WATER USE SHALL BE DEMONSTRATED. <p>4.403.2 WHEN USING THE CALCULATION METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES</p> <p>4.303.3 PLUMBING FIXTURES (WATER CLOSETS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.</p> <p>4.4 OUTDOOR WATER USE</p> <p>4.304.1 AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOILED BASED.</p> <p>4.304.1 MATERIAL CONSERVATION & RESOURCE EFFICIENCY</p> <p>4.406.1.1 JOINTS & OPENINGS</p> <p>ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.</p> <p>4.406.1.1 A MINIMUM OF 70% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PER-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPT.</p> <p>4.406.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.</p> <p>4.410.1 AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.</p> <p>4.5 ENVIRONMENTAL QUALITY POLLUTANT CONTROL</p> <p>4.504.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.</p> <p>4.504.2.1 ADHESIVES, SEALANTS & CALKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS.</p> <p>4.504.2.2 PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>4.504.2.3 ALL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MVR LIMITS FOR VOC & OTHER TOXIC COMPOUNDS.</p> <p>4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.</p> <p>4.504.3 CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>4.504.4 80% OF FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESIDENT FLOOR COVERING INSTITUTE (RFCA) FLOORCOVER PROGRAMS.</p> <p>4.504.5 PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH:</p> <p>4.504.5.1 VAPOR RETARDER A CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.</p> <p>4.504.5.2 MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FINISHING IS CHECKED BEFORE INSTALLATION.</p> <p>INDOOR AIR QUALITY & EXHAUST</p> <p>4.506.1 ENERGY STAR COMPLIANT EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM, CONTROLLED BY A HUMIDITY CONTROL, UNLESS IT IS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, ENVIRONMENTAL COMFORT</p> <p>4.507.1 WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED COVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR COVERS SHALL HAVE A MIN. INSULATION VALUE OF R-4.2.</p> <p>4.507.2 DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> 1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT. 2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 19 D (MANUAL D) OR EQUIVALENT. 3. SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ACCA 36 S (MANUAL S) OR EQUIVALENT. 4. INSTALL & SPECIAL INSPECTOR QUALIFICATIONS. 702.11: HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. 702.5 SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING. 703.1 VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE: <ul style="list-style-type: none"> CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTOR REPORTING, OR CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTOR REPORTING, OR THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. 	<p>1. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.3".</p> <p>2. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SERVING THE SITE OF SUCH PROJECT AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.</p> <p>3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAILS AND SPECIFICATION S1.7.</p> <p>4. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.</p> <p>5. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.</p>	<p>1. CONTRACTOR SHALL COMPLY WITH ALL CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2019, CALIFORNIA BUILDING CODE (CBC) 2019, CALIFORNIA MECHANICAL CODE (CMC) 2019, CALIFORNIA PLUMBING CODE (CPC) 2019, CALIFORNIA FIRE CODE (CFC) 2019, CALIFORNIA ELECTRICAL CODE (CEC) 2019, CALIFORNIA GREEN BUILDING CODE (CGBC) 2019, ENERGY EFFICIENCY STANDARDS TITLE 24, 2019 CITY OF CAMPBELL REACH.</p> <p>2. NOT USED.</p> <p>3. SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 5% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE.</p> <p>4. FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 95% COMPACTED. ALL BEARING FOOTINGS SHALL EXCEED A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2500 PSF AT 28 DAYS. FLAT WORK SHALL BE 2500 PSF AT 28 DAYS. FINISH FLOOR SLABS SHALL BE A MINIMUM OF 6" ABOVE GRADE. PROVIDE COPIES OF ANY COMACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT.</p> <p>5. SILL PLATES: WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.</p> <p>6. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS.</p> <p>7. PROVIDE SOLID BLOCKING AT ALL FURRED CEILING AND SOFFITS AT WALLS.</p> <p>8. ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2x-16x EACH END.</p> <p>9. BOTTOM CHORD OF TRUSS TO BE BRACED AT 12' O.C. (MINIMUM).</p> <p>10. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED.</p> <p>11. POWER DRIVEN FASTENERS: KCB #1200, P/N #0N7Z AS MANUFACTURED BY "HLT". SPACING: 16" O.C. AT ALL BEARING WALLS, 30" O.C. AT ALL NON-BEARING WALLS.</p> <p>12. EXTERIOR FINISH TO BE HORIZONTAL SIDING AT 1st FLOOR AND SHINGLE SIDING AT THE 2nd FLOOR; SEE EXTERIOR ELEVATIONS.</p> <p>13. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DRIP SCREED, SUPERIOR #1/ CASING BEAD, MILCOR #66 EXTERIOR CORNER, MILCOR #1 EXP. JOINT, INTERIOR CORNER, MILCOR #50 EXP. JOINT.</p> <p>14. ALL WINDOWS SHALL BE DUAL-GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS.</p> <p>15. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMP-FIXED, H.S. HORIZONTAL SLIDING, S.H. SINGLE HUNG, O.S.S. -OBSCURE, F.X.D -FIXED, TEMP -TEMPERED, H.L.F. RND -HALF ROUND.</p> <p>16. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS.</p> <p>17. EXTERIOR SILL PLATES SHALL BE CALKED AT JOINTS WITH CONCRETE SLAB. CALK ALL OPENINGS IN EXTERIOR ENVELOPE. ALL JOINTS BETWEEN DISSIMILAR MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS.</p> <p>18. PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD TRIM.</p> <p>19. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD, ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION.</p> <p>20. BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.</p>	<p>T-1 SHEET INDEX, PROJECT DATA, VICINITY MAP, GENERAL NOTES</p> <p>T-1.1 FLOOR AREA DIAGRAM</p> <p>T-1.2 SITE PHOTOGRAPHY PLAN</p> <p>T-1.3 STREETScape</p> <p>C1 TOPOGRAPHICAL & RECORD BOUNDARY</p> <p>C2 DRAINAGE AND GRADING PLAN</p> <p>C3 SEDIMENT EROSION CONTROL PLAN</p> <p>C4 BLUEPRINT FOR A CLEAN BAY</p> <p>L-01 LANDSCAPE PLAN</p> <p>A-1 SITE PLAN</p> <p>A-1.1 DEMOLITION SITE PLAN</p> <p>A-2 PROPOSED FLOOR PLAN</p> <p>A-3 EXTERIOR ELEVATIONS</p> <p>A-4 EXTERIOR ELEVATIONS</p> <p>A-5 ROOF PLAN</p> <p>A-6 SECTION</p>
<p>SPECIAL INSPECTIONS</p> <p>ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.</p> <ul style="list-style-type: none"> RETOFIT HOLDUP ANCHORS MAY BE INSPECTED BY THE ENGINEER OR RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDUP INSPECTION DESCRIBING THE RESULTS OF THE INSPECTIONS. THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS PER CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT. HERS VERIFICATION REQUIRED FOR THE BUILDING ENVELOPE (QUALITY INSULATION INSTALLATION (QII)), HVAC COOLING, HVAC DISTRIBUTION, AND HVAC FAN SYSTEMS. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. 	<p>VICINITY MAP</p>	<p>DEFERRED SUBMITTALS</p> <p>DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL.</p> <p>RESUBMIT THE SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT. THE STRUCTURE WILL COMPLY WITH CRC SEC. R1313 FOR RESIDENTIAL FIRE SPRINKLERS. SUBMIT DESIGN CALCULATION AND PLAN TO COUNTY FIRE (408) 378-4010.</p> <p>IF SYSTEM IS TO BE AS A "REQUIRED SPECIAL FEATURE" OF THE ENERGY CALCULATION, A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATION. COMPLIANCE MODELS AND THE SEPARATE PV SYSTEM PERMIT MUST BE FINALIZED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.</p>	<p>PROJECT DATA</p> <p>PROJECT ADDRESS: 936 HAZELWOOD AVENUE</p> <p>ASSESSOR/PARCEL NUMBER: 406-01-047</p> <p>ZONING: R-1-4</p> <p>CONSTRUCTION TYPE: 1-4-B</p> <p>OCCUPANCY TYPE: R-303</p> <p>LOT SIZE: 10,560 S.F.</p> <p>DEMO EXISTING RESIDENCE: 1,200 S.F.</p> <p>TOTAL LIVING SPACE: 3,369.16 S.F.</p> <p>GARAGE: 434.03 S.F.</p> <p>MAX. F.A.R.: 4,522.5 S.F. (45%)</p> <p>TOTAL F.A.R.: 3,753.15 S.F. (37.7%)</p> <p>PROPOSED COVERED PORCH: 84.71 S.F.</p> <p>PROPOSED FIREPLACE: 128.8 S.F.</p> <p>MAX. LOT COVERAGE: 4,020.0 S.F. (40%)</p> <p>TOTAL LOT COVERAGE: 4,016.74 S.F. (39.9%)</p> <p>FRONT SETBACK AREA: 1,500 S.F.</p> <p>FRONT YARD PAVING: 607 S.F.</p> <p>2,312.25 S.F.</p> <p>REAR YARD AREA: 200.45 S.F.</p> <p>REAR YARD PAVING: 20' 0"</p> <p>LEFT SETBACK: 5'-6" (11'-0" WALL HEIGHT)</p> <p>RIGHT SETBACK: 5'-6" (11'-0" WALL HEIGHT)</p> <p>REAR SETBACK: 30'-0"</p> <p>LANDSCAPE COVERAGE: 5,230.2 S.F.</p> <p>PAVING COVERAGE: 816.45 S.F.</p> <p>IMPERVIOUS COVERAGE: 4,619.79 S.F.</p> <p>PERVIOUS COVERAGE: 536 S.F.</p> <p>BUILDING HEIGHT: 20'-10 3/4" RIDGE HEIGHT (28'-0" MAX.)</p> <p>PARKING: 2 COVERED PARKING SPACES</p>
<p>SPECIAL FEATURES</p> <p>CONTRACTOR REQUIREMENT:</p> <p>CONTRACTOR MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(b)) THAT INCLUDES A LIST OF THE LAMPS INSTALLED IN THE LUMINAIRES.</p> <p>COOL ROOF IS REQUIRED FOR THIS PROJECT AS A "REQUIRED SPECIAL FEATURE" OF THE ENERGY CALCULATIONS.</p> <p>BUILDER MUST PROVIDE THE HOMEOWNER WITH AN OPERATION AND MAINTENANCE MANUAL PER CAL GREEN §10-4.5 THAT INCLUDED WARRANTIES AND OPERATION INSTRUCTION FOR ANY NEW EQUIPMENT, APPLIANCES, OR FIXTURES INSTALLED, AND A LUMINAIRE SCHEDULE. THE MANUAL MUST ALSO INCLUDE THE LOCATION OF RECYCLING CENTERS AND PUBLIC TRANSIT DEPOTS.</p>	<p>SPECIAL FEATURES</p> <p>CONTRACTOR REQUIREMENT:</p> <p>CONTRACTOR MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(b)) THAT INCLUDES A LIST OF THE LAMPS INSTALLED IN THE LUMINAIRES.</p> <p>COOL ROOF IS REQUIRED FOR THIS PROJECT AS A "REQUIRED SPECIAL FEATURE" OF THE ENERGY CALCULATIONS.</p> <p>BUILDER MUST PROVIDE THE HOMEOWNER WITH AN OPERATION AND MAINTENANCE MANUAL PER CAL GREEN §10-4.5 THAT INCLUDED WARRANTIES AND OPERATION INSTRUCTION FOR ANY NEW EQUIPMENT, APPLIANCES, OR FIXTURES INSTALLED, AND A LUMINAIRE SCHEDULE. THE MANUAL MUST ALSO INCLUDE THE LOCATION OF RECYCLING CENTERS AND PUBLIC TRANSIT DEPOTS.</p>	<p>SPECIAL FEATURES</p> <p>CONTRACTOR REQUIREMENT:</p> <p>CONTRACTOR MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(b)) THAT INCLUDES A LIST OF THE LAMPS INSTALLED IN THE LUMINAIRES.</p> <p>COOL ROOF IS REQUIRED FOR THIS PROJECT AS A "REQUIRED SPECIAL FEATURE" OF THE ENERGY CALCULATIONS.</p> <p>BUILDER MUST PROVIDE THE HOMEOWNER WITH AN OPERATION AND MAINTENANCE MANUAL PER CAL GREEN §10-4.5 THAT INCLUDED WARRANTIES AND OPERATION INSTRUCTION FOR ANY NEW EQUIPMENT, APPLIANCES, OR FIXTURES INSTALLED, AND A LUMINAIRE SCHEDULE. THE MANUAL MUST ALSO INCLUDE THE LOCATION OF RECYCLING CENTERS AND PUBLIC TRANSIT DEPOTS.</p>	<p>SPECIAL FEATURES</p> <p>CONTRACTOR REQUIREMENT:</p> <p>CONTRACTOR MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(b)) THAT INCLUDES A LIST OF THE LAMPS INSTALLED IN THE LUMINAIRES.</p> <p>COOL ROOF IS REQUIRED FOR THIS PROJECT AS A "REQUIRED SPECIAL FEATURE" OF THE ENERGY CALCULATIONS.</p> <p>BUILDER MUST PROVIDE THE HOMEOWNER WITH AN OPERATION AND MAINTENANCE MANUAL PER CAL GREEN §10-4.5 THAT INCLUDED WARRANTIES AND OPERATION INSTRUCTION FOR ANY NEW EQUIPMENT, APPLIANCES, OR FIXTURES INSTALLED, AND A LUMINAIRE SCHEDULE. THE MANUAL MUST ALSO INCLUDE THE LOCATION OF RECYCLING CENTERS AND PUBLIC TRANSIT DEPOTS.</p>



Floor Area Diagram
SCALE: 1/8" = 1'-0"

FLOOR AREA CALCULATION	
AREA	S.F.
A	478.5
B	716.83
C	712.81
D	206.0
E	871.50
F	105.83
G	77.44
H (GARAGE)	434.03
I	2.39
J	9.83
FLOOR AREA TOTAL	3,793.19 S.F.

LOT COVERAGE CALCULATION	
FLOOR AREA	S.F.
I (PATIO)	128.0 (NON-F.A.R.)
J (REPLACEMENT)	12.84 (NON-F.A.R.)
K (COVERED PORCH)	35.71 (NON-F.A.R.)
L (COVERED PORCH)	48.24 (NON-F.A.R.)
LOT COVERAGE TOTAL	4,016.74 S.F.

Date: 6/9/2020
Drawn By: ACJ

Revisions:

- ▲
- ▲
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- ▲
- ▲
- ▲

FLOOR AREA
DIAGRAM
LOT
COVERAGE
CALCULATION

Project No: 2023
Sheet No: T-1.1



920 Hazelwood Avenue Front View



920 Hazelwood Avenue Right View



936 Hazelwood Avenue Left View



936 Hazelwood Avenue Front View



936 Hazelwood Avenue Right View



950 Hazelwood Avenue Front View



950 Hazelwood Avenue Left View

WARREN DESIGN I
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HAZELWOOD RESIDENCE
NEW RESIDENCE
936 HAZELWOOD AVENUE
CAMPBELL CALIFORNIA

Date: 6/9/2020
Drawn By: ACJ

Revisions:
△
△
△
△
△
△

SITE
PHOTOGRAPHY
PLAN

Project
No: 2023

Sheet
No: T-1.2

WARREN DESIGN |
 578 E CAMPBELL AVE - CAMPBELL, CA 95008 P: 925.463.2700 C: 925.347.7371

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HAZELWOOD RESIDENCE
 NEW RESIDENCE
 936 HAZELWOOD AVENUE
 CAMPBELL CALIFORNIA

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Revisions:
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STREETSCAPE

Project No: 2023

Sheet No: T-1.3

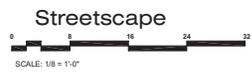
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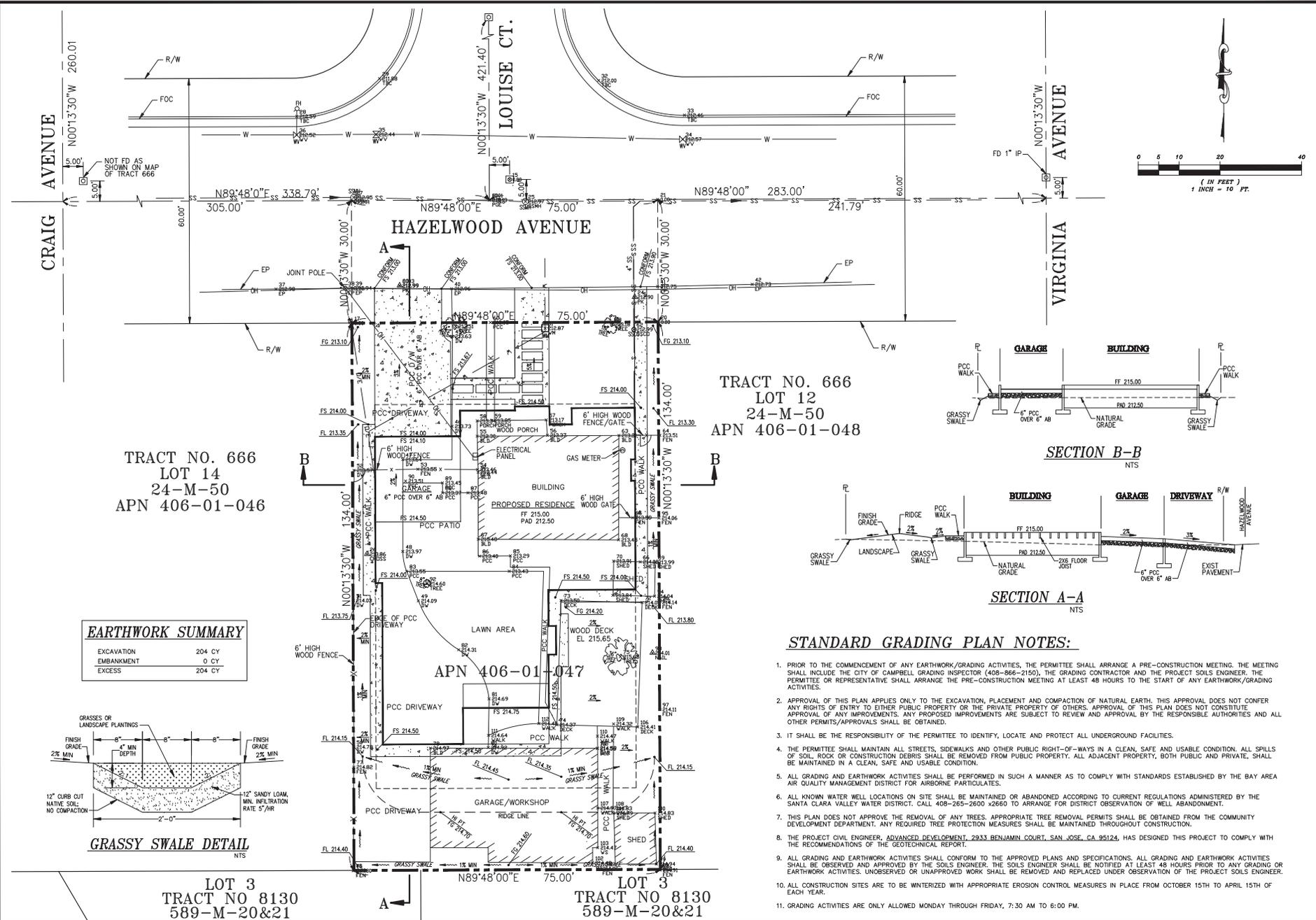


920 Hazelwood Avenue

936 Hazelwood Avenue

950 Hazelwood Avenue





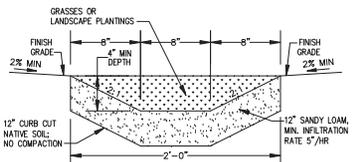
TRACT NO. 666
 LOT 12
 24-M-50
 APN 406-01-046

TRACT NO. 666
 LOT 12
 24-M-50
 APN 406-01-048

APN 406-01-047

EARTHWORK SUMMARY

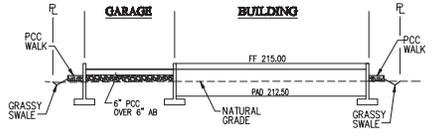
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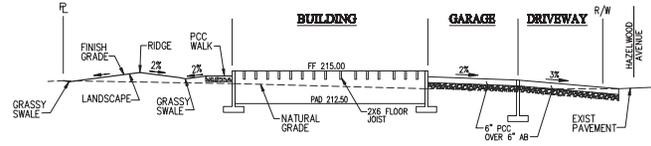
GRASSY SWALE DETAIL
 NTS

LOT 3
 TRACT NO 8130
 589-M-20&21

LOT 3
 TRACT NO 8130
 589-M-20&21



SECTION B-B
 NTS



SECTION A-A
 NTS

STANDARD GRADING PLAN NOTES:

1. PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK/GRADING ACTIVITIES, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING. THE MEETING SHALL INCLUDE THE CITY OF CAMPBELL GRADING INSPECTOR (408-866-2150), THE GRADING CONTRACTOR AND THE PROJECT SOILS ENGINEER. THE PERMITTEE OR REPRESENTATIVE SHALL ARRANGE THE PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS TO THE START OF ANY EARTHWORK/GRADING ACTIVITIES.
2. APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. ANY PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER PERMITS/APPROVALS SHALL BE OBTAINED.
3. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
4. THE PERMITTEE SHALL MAINTAIN ALL STREETS, SIDEWALKS AND OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PUBLIC PROPERTY. ALL ADJACENT PROPERTY, BOTH PUBLIC AND PRIVATE, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
5. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH STANDARDS ESTABLISHED BY THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
6. ALL KNOWN WATER WELL LOCATIONS ON SITE SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL 408-265-2600 x2660 TO ARRANGE FOR DISTRICT OBSERVATION OF WELL ABANDONMENT.
7. THIS PLAN DOES NOT APPROVE THE REMOVAL OF ANY TREES. APPROPRIATE TREE REMOVAL PERMITS SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. ANY REQUIRED TREE PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
8. THE PROJECT CIVIL ENGINEER, ADVANCED DEVELOPMENT, 2933 BENJAMIN COURT, SAN JOSE, CA 95128, HAS DESIGNED THIS PROJECT TO COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
9. ALL GRADING AND EARTHWORK ACTIVITIES SHALL CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS. ALL GRADING AND EARTHWORK ACTIVITIES SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY GRADING OR EARTHWORK ACTIVITIES. UNOBSERVED OR UNAPPROVED WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION OF THE PROJECT SOILS ENGINEER.
10. ALL CONSTRUCTION SITES ARE TO BE WINTERIZED WITH APPROPRIATE EROSION CONTROL MEASURES IN PLACE FROM OCTOBER 15TH TO APRIL 15TH OF EACH YEAR.
11. GRADING ACTIVITIES ARE ONLY ALLOWED MONDAY THROUGH FRIDAY, 7:30 AM TO 6:00 PM.

ADVANCED DEVELOPMENT
 2933 BENJAMIN COURT
 SAN JOSE, CA 95128
 TEL: (408) 396-6670
 CIVIL ENGINEER

JACOB SIZMAN

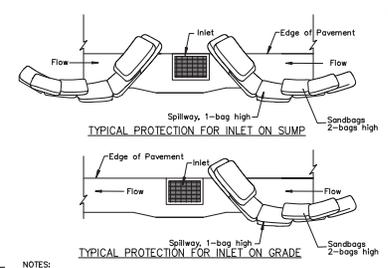
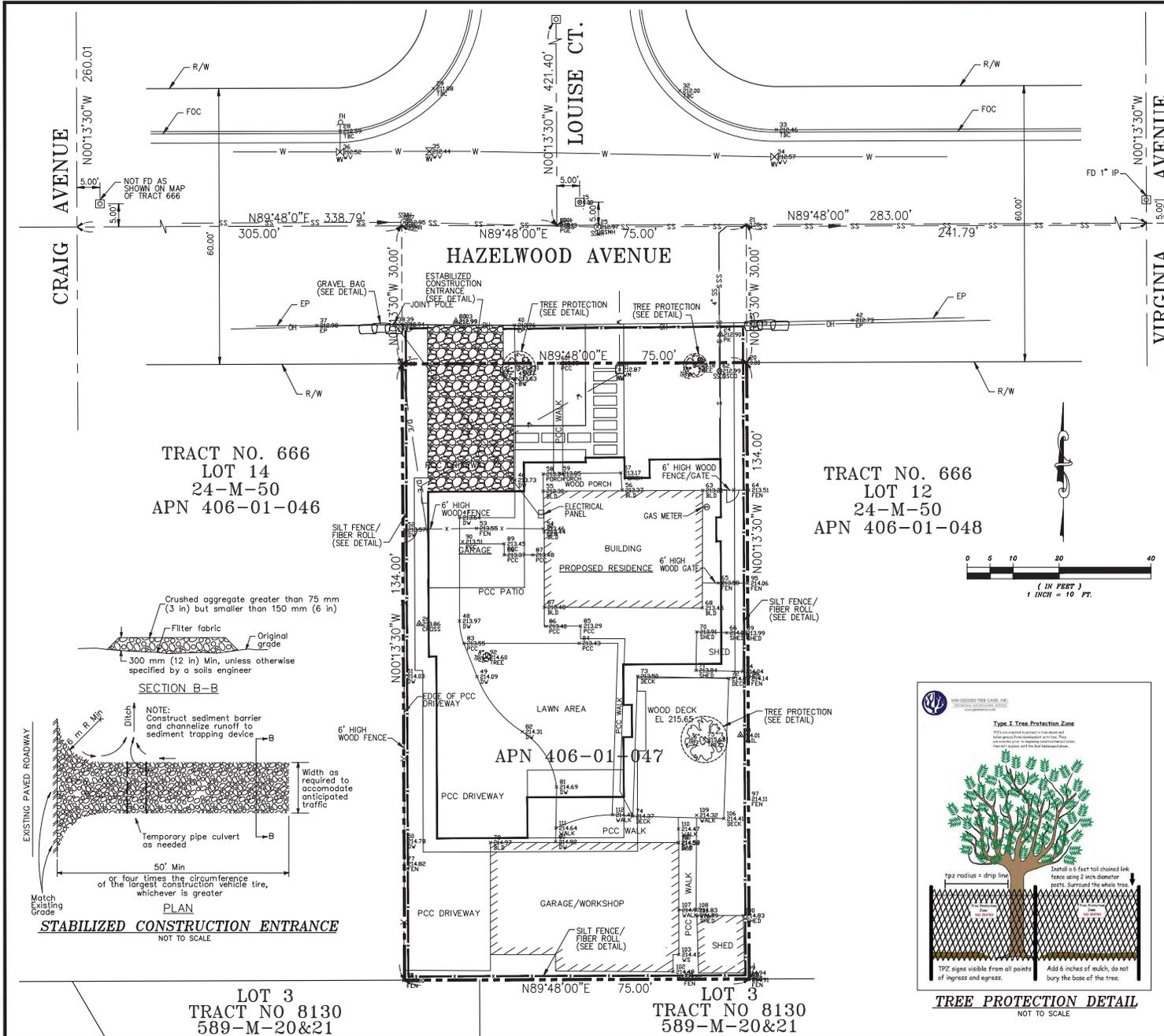
APPROVED BY: [Signature]
 PROJECT NO: 2020-0001
 DATE: 11/19/20

CHECKED BY: [Signature]
 DATE: 11/19/20

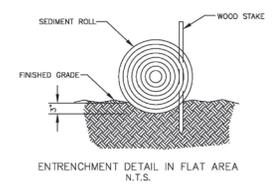
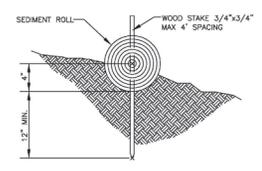
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Sheet No. **C2**

Job No. 442

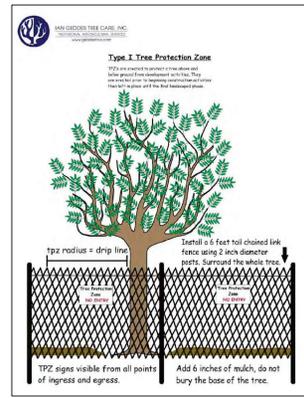
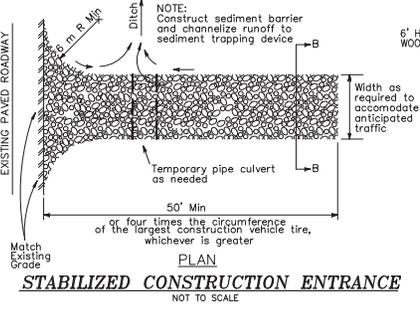
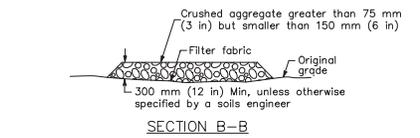
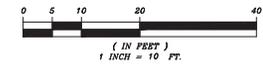


- NOTES:**
1. Intended for short-term use.
 2. Use to inhibit non-storm water flow.
 3. Allow for proper maintenance and cleanup.
 4. Bags must be removed after adjacent operation is completed.
 5. Not applicable in areas with high silts and clays without filter fabric.



SEDIMENT ROLL DETAIL
 NOT TO SCALE

1. Set posts and excavate a 4"x4" trench (upside along the line of posts).
 2. Staple wire fencing to the posts.
 3. Attach the filter fabric to the wire fence and extend it into the trench.
 4. Backfill and compact the excavated soil.
- CONSTRUCTION OF A SILT FENCE**
 NOT TO SCALE



TREE PROTECTION DETAIL
 NOT TO SCALE

ADVANCED DEVELOPMENT

2025 SCHEDULE COLOR
 S&P (see 506-600)
 JACOB SUDAN
 CIVIL ENGINEER

Author	Appr'd	Rev'd	Appr'd

EROSION & SEDIMENT CONTROL PLAN
 FOR: APN 406-01-047
 936 HAZELWOOD AVENUE
 CALIFORNIA
 CAMPBELL

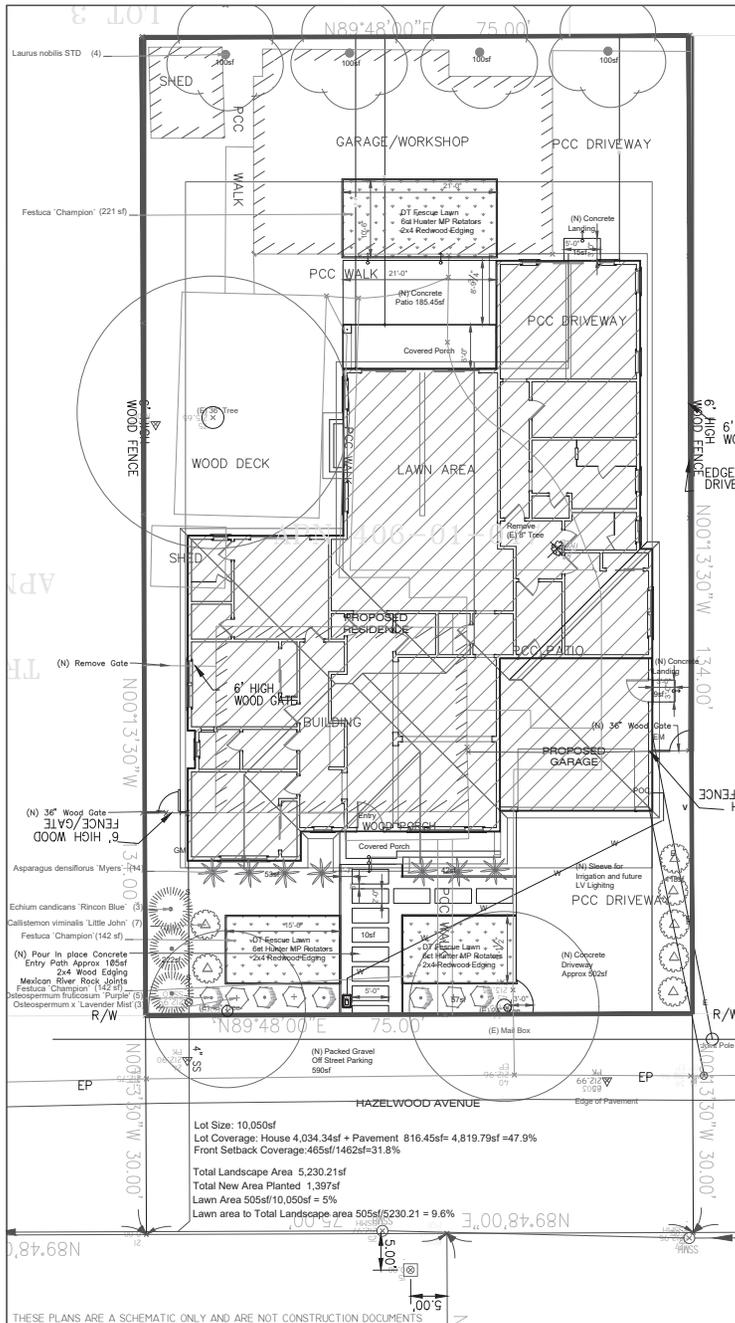
APPROVED BY: [Signature]
 JACOB SUDAN
 CIVIL ENGINEER
 No. 53509
 State of California
 License No. 53509
 Expires 06/30/2025

Checked: [Signature]
 Drawn: [Signature]
 Scale: 1"=10'
 Date: 06-11-2025
 Sheet No. 1

C3

4

Job No. 442



Landscape Documentation Package Submittal Checklist
 Prescriptive Compliance Pathway Appendix D

Note: This is a streamlined compliance pathway available only to projects with landscaped area less than 2,500 square feet.

When a landscape project triggers the Model Water Efficient Landscape Ordinance (Title 23, Chapter 2.7), the following items must be included as part of the Landscape Documentation Package (Section 492 - Appendix D) in order to be considered complete and ready for Water Efficient Landscape Review.

- Project Information Worksheet/Certificate of Completion of the Landscape Package (in accordance with 492.3)

Applicants shall complete the Project Information Worksheet (in accordance with 492.3) and shall paste this on either the CB-2 sheet or on the Landscape Plans.

- Landscape Design Plan (in accordance with 492.6)

A Landscape Design Plan shall be submitted and must meet all requirements outlined in Chapter 2.7 Model Water Efficient Landscape Ordinance Appendix D. The Landscape Design Plan must 1) contain the following statement: "I have complied with the criteria of the Model Water Efficient Landscape Ordinance Appendix D Prescriptive Requirements and have applied them for the efficient use of water in the landscape design plan;" and 2) shall bear the signature of a licensed landscape architect or licensed landscape contractor.

LANDSCAPE WATER-EFFICIENCY (MWELO) APPENDIX - D CHECKLIST
 (Can only be used when aggregate landscape areas are 2,500 square feet or less)

Landscape Parameter	Design Measures	Location on Plans
Compost	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test). Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.	ALL PLANT BEDS
Plant Water Use	Non-residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	ALL PLANT BEDS
Mulch	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers. Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	ALL PLANT BEDS 0.6% of Landscape area
Turf	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	N/A
Irrigation System	Irrigation controller programming data will not be lost due to an interruption in the primary power source. Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff. A private landscape submitter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	YES YES N/A N/A

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	LOC
1	Laurus nobilis STD	Sweet Bay	15 gal	4	LW-0.3
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	LOC
1	Asparagus densiflorus 'Myers'	Myers Asparagus	5 gal	7	LW-0.3
1	Callistemon viminalis 'Little John'	Dwarf Bottlebrush	5 gal	7	LW-0.3
1	Bolton cordata 'Rincon Blue'	Perennial Pride of Madeira	1 gal	5	LW-0.3
1	Osteospermum frutescens 'Purple'	African Daisy	1 gal	5	LW-0.3
1	Osteospermum x 'Lavender Mist'	Lavender Mist Sun Daisy	1 gal	5	LW-0.3
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SEASON	QTY
1	Festuca 'Champion'	DT Dwarf Fescue	sod	804 sf	MW-0.5

Plant Material shall comply with the following:
 For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

- Mulch & Soil Preparation**
- 1 Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of 6" into landscape area (unless contra-indicated by a soil test).
 - 2 A minimum of 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, direct seeding applications where mulch is contra-indicated.
 - 3 No turf present on this installation.
 - 2 Prior to planting, compacted materials shall be transformed to a friable condition.
 - 3 For soils less than 6% organic matter in the top 6" of soil, add organic compost to planting areas equal to a rate of minimum 4 cubic yards per 1,000sf of permeable area to a minimum depth of 6" into the soil.
 - 4 A soils report is required.

Tree Protection

The following general tree preservation measures apply to all trees to be retained: No storage of material, top soil, vehicles, or equipment shall be permitted within the tree enclosure area. The ground under and around the tree canopy area shall not be altered. Trees to be retained shall be irrigated, sealed and maintained as necessary to ensure survival.

Landscape & Irrigation Maintenance

1. Maintenance may include but not limited to the following: routine inspection, auditing, pressure testing, adjustment, and repair of the irrigation system; top dressing with compost, replenishing mulch, fertilizing, pruning, replanting of failed plants, weeding, pest control.
2. Failed plants shall be replaced with the same functionally equivalent plants that may be size-adjusted as appropriate for the stage of growth of the overall installation. Failing plants shall either be replaced or be revived through appropriate adjustments to water, nutrients, pest control or other factors recommended by landscape professional.

PACKAGE
 This certificate is filled out by the project applicant upon completion of the Landscape Documentation Package.

PART 1. PROJECT INFORMATION SHEET

Date	
Project Name	
Name of Project Applicant	Telephone No. Fax No.
Title	Email Address
Company	Street Address
City	State Zip Code

Project Address and Location:

Street Address	Parcel, tract or lot number, if available.
City	Latitude/Longitude (optional)
State	Zip Code

Project Landscape Information:

Total Landscaped Area (square feet)	Project Type (select all that apply): <input type="checkbox"/> New <input type="checkbox"/> Rehabilitated <input type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Cemetery <input type="checkbox"/> Homeowner-installed
Water Supply Type: <input type="checkbox"/> Potable <input type="checkbox"/> Recycled <input type="checkbox"/> Well	

Property Owner or his/her designee:

Name	Telephone No.
Title	Fax No.
Company	Email Address
City	Street Address
	State Zip Code

Property Owner
 I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule.

Property Owner Signature _____ Date _____

- IRRIGATION**
- 1 Irrigation Controller with rain sensing shut off device either integral or auxiliary required. Controller to be outside of building. Exact location of the controller and weather sensor to be determined by the contractor.
 - 2 Valve Boxes: Exact location of valves to be determined by the contractor based on site conditions and underground utilities. Valves shall have Pressure Reducer and Filter appropriate for Drip. A manual Shut Off Valve shall be installed with Valve Nest.
 - 3 Irrigation for each hydro-zone shall have a separate valve as indicated. Root Well Bubblers recommended for each new tree.
 - 4 Manual Shut Off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
 - 5 All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014, "Landscape Irrigation Sprinkler and Emitter Standard."
 - 6 Hunter MP Rotators with Check Valve for Lawn Areas.
 - 7 For areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff. Only drip irrigation will be installed on this site.
 - 8 Irrigation shall be designed, maintained and managed to meet or exceed an average landscape efficiency of 70%.
 - 9 Irrigation run times shall be scheduled between 8pm and 10am. Operation outside time window is allowed for auditing and system maintenance.
 - 10 A diagram or list of the hydro-zones shall be kept with the irrigation controller for subsequent management purposes.
 - 11 At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, irrigation schedule and a schedule of landscape and irrigation maintenance.
 - 12 An irrigation audit report shall be completed at the time of final inspection.

HYDRO-ZONES

FRONT DRIP
 1) Shrubs - LW 0.3
 2) Lawn - MW-0.5
 3) Lawn - MW-0.5

BACK DRIP
 4) Trees - LW 0.3
 5) Lawn - MW 0.5

I AGREE TO COMPLY WITH REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE APPENDIX D PRESCRIPTIVE REQUIREMENTS AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"

Static Water Pressure = 70psi
 Provider: San Jose Water
 Meter size 3/4"

I AGREE TO COMPLY WITH THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWELO.
 (name) - HOMEOWNER

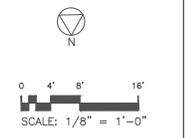
Revisions Date By

KL DESIGNS LLC
 Residential Landscape Planning
 www.KLDesigns.Biz
 Kimberly Leichter
 Licensed (492) Landscape Designer
 (408) 910-3198
 Kim@KLDesigns.Biz

KL Designs LLC
 San Jose, CA 95118
 Phone: (408) 910-3198

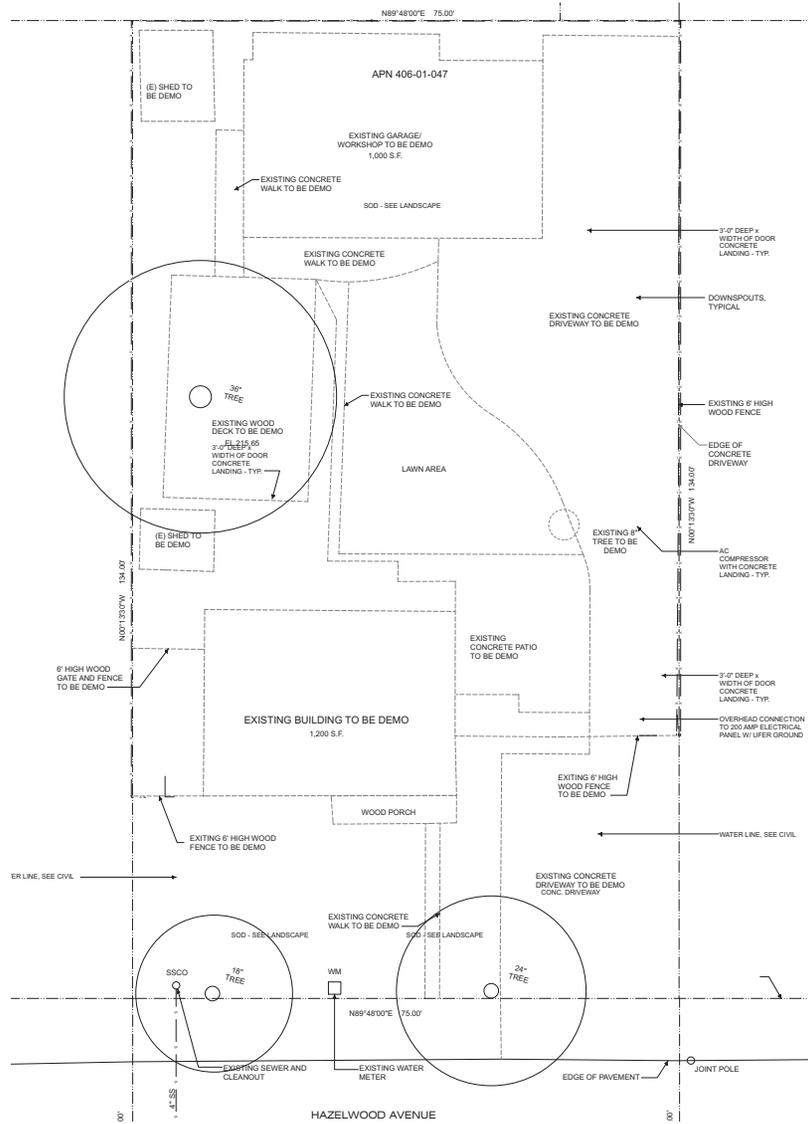
Landscape Plan

Residence
 936 Hazelwood Ave.
 Campbell CA 95008



Date: 10/5/20
 Drawn By: KAL
 Job No 1497
L-01

THESE PLANS ARE A SCHEMATIC ONLY AND ARE NOT CONSTRUCTION DOCUMENTS



I WARREN DESIGN |
 528 E CAMPBELL AVE, CAMPBELL, CA 95008 P: 909.469.2870 C: 209.347.7371

HAZELWOOD RESIDENCE
NEW RESIDENCE
936 HAZELWOOD AVENUE
CAMPBELL CALIFORNIA

Date:	9/09/2020
Drawn By:	ACJ
Revisions:	
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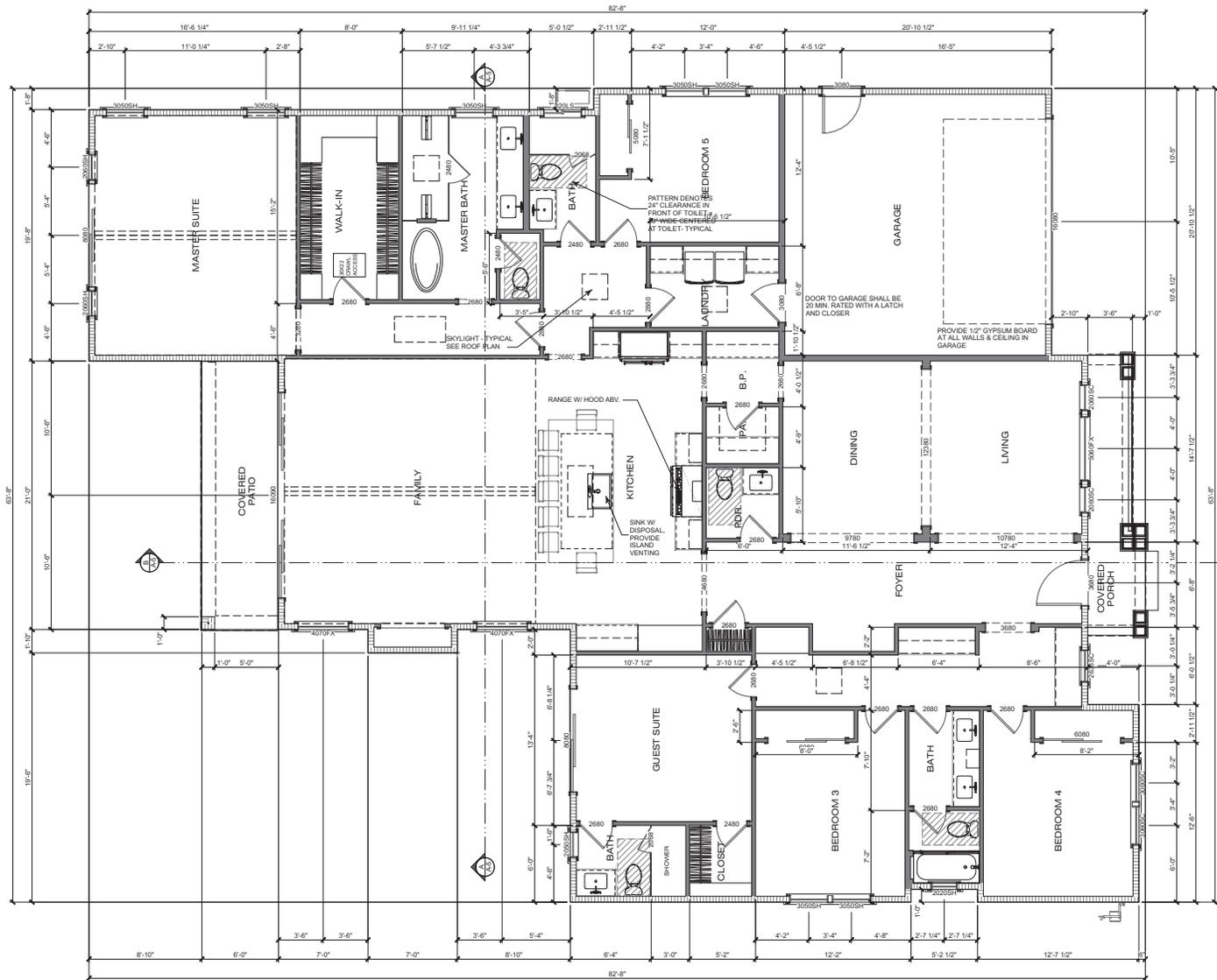
DEMO SITE PLAN

Project No: **2023**

Sheet No: **A-1.1**

GENERAL NOTES:

- WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE QUAL-PAKED (U.N.O.).
 - ALL EXTERIOR HEADERS SHALL BE AT 8'-0" U.N.O.
 - ALL EXTERIOR DOORS SHALL BE AT LEAST 13/4" THICK.
 - ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED.
 - BEDROOM WINDOWS SHALL HAVE MAX. 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 FEET.
 - SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAMENT TO MIN. HEIGHT OF 72" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES.
 - PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER CPC.
 - WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS FLUSH. SHOWER HEADS SHALL HAVE A WATER FLOW RATE NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI.
- | EXISTURE | IF THE WATER USAGE EXCEEDS | IT MUST BE |
|-----------------|----------------------------|------------------|
| WATER CLOSET | 1.6 GAL./FLUSH | 1.28 GAL./ FLUSH |
| SHOWER HEAD | 2.5 GAL./MINUTE | 1.8 GAL./MINUTE |
| LAVATORY FAUCET | 2.2 GAL./MINUTE | 1.2 GAL./MINUTE |
| KITCHEN FAUCET | 2.2 GAL./MINUTE | 1.8 GAL./MINUTE |
| URNAL | 1.0 GAL./FLUSH | 1.25 GAL./ FLUSH |
- WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
 - PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES.
 - WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
 - OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED.
 - AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 2# GA. STEEL OR THICKER.
 - INSTALL PRE-FAB MET. FIREPLACES PER MFG'S SPECS. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION.
 - PROVIDE FIRE-STOP IN OPENINGS AT FLOOR & CEILING OF ALL FIREPLACES.
 - PROVIDE ACDC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL.
 - LANDINGS NO MORE THAN 73" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 11/2" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 7'-0" DEEP MIN.
 - ALL GYPSUM BOARD TO 5/8" TYP. U.N.O.
 - CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY CPC 408.9.
 - JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (C.E.C. SECTION 117).
 - THE FIRST 5' OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-REGULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (75') THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2" (150)(2) C.E.C.
 - VENTING FOR ISLAND FEATURES (VEGETABLE SINK) SHALL BE DESIGNED PER SECTION 909 OF THE 2019 CALIFORNIA PLUMBING CODE.



Proposed Floor Plan



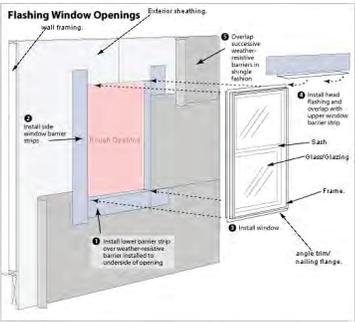
WARREN DESIGN |
509 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 950.469.2800 C: 950.334.7971

HAZELWOOD RESIDENCE
NEW RESIDENCE
936 HAZELWOOD AVENUE
CAMPBELL CALIFORNIA

Date:	6/9/2020
Drawn By:	ACJ
Revisions:	

PROPOSED FLOOR PLAN

Project No: 2023
Sheet No: A-2



Front Elevation



APPROVED ADDRESS TO CONTRAST W/ BACKGROUND MIN. 4" H/ W MIN. 1/2" STROKE

26 GA. G.I. DRIP SCREED WITH MIN. VERTICAL ATTACHMENT FLANGE AT 31/2" PROVIDED AT OR BELOW THE FOUNDATION FLE LINE AT ALL EXTERIOR WALLS TYP AT 4" ABV. GRADE (2" ABV. HARDSCAPE)

ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALLIED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
EXTERIOR WINDOWS AND DOORS.
AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS.
AT BUILT-IN GUTTERS.

PRESIDENTIAL ROOFING
COLOR: CERTAINTED-CHARCOAL BLACK



BATTEN BOARD SIDING
COLOR: BENJAMIN MOORE - SNOW WHITE



SHINGLE SIDING
COLOR: NATURAL CEDAR



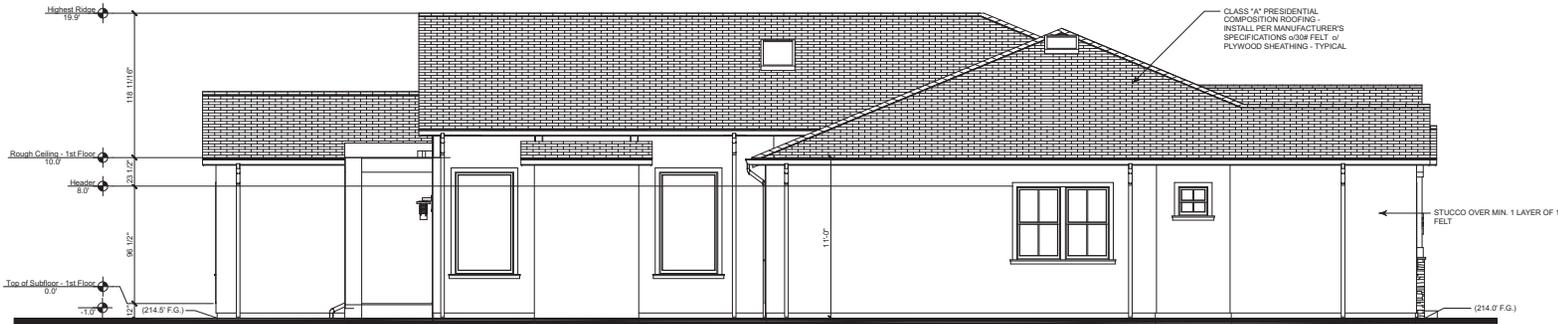
STUCCO SIDING
COLOR: LA HABRA MFR. - DOVE GREY



HALF ROUND GUTTER
COLOR: BENJAMIN MOORE - CITY SHADOW



DECORATIVE LANTERN
COLOR: BLACK



Left Elevation

WARREN DESIGN |
578 E CAMPBELL AVE. CAMPBELL, CA 95008 P: 909.469.2800 C: 909.334.7371

HAZELWOOD RESIDENCE
NEW RESIDENCE
936 HAZELWOOD AVENUE
CAMPBELL CALIFORNIA

Date: 9/9/2020
Drawn By: ACJ

Revisions:

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EXTERIOR ELEVATIONS

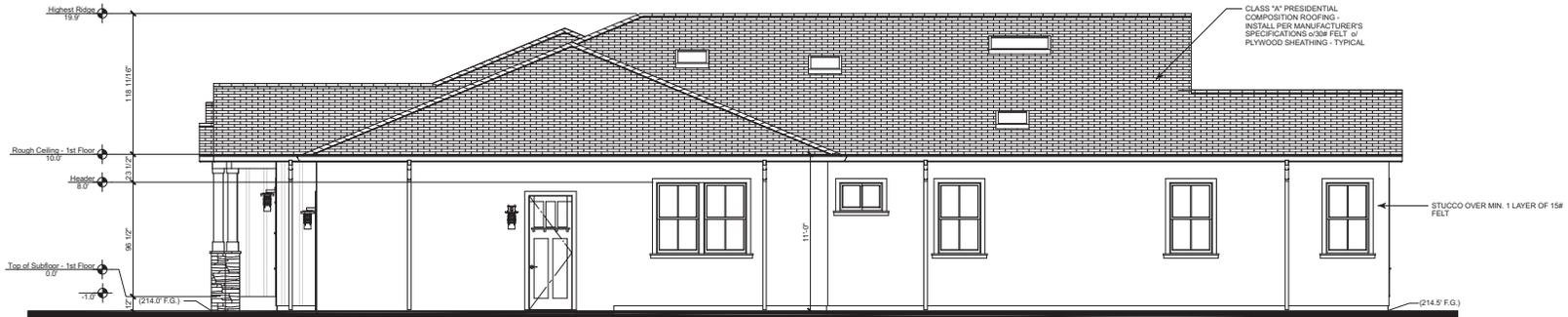
Project No: 2023
Sheet No: A-3



Rear Elevation



26 GA. G.I. DRIP SCREED WITH MIN. VERTICAL ATTACHMENT FLANGE AT 31/2" PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS TYP. AT 4" ABV. GRADE (2" ABV. HARDSCAPE)



Right Elevation

Date: 9/9/2020

Drawn By: ACJ

Revisions:



EXTERIOR ELEVATIONS

Project No:

2023

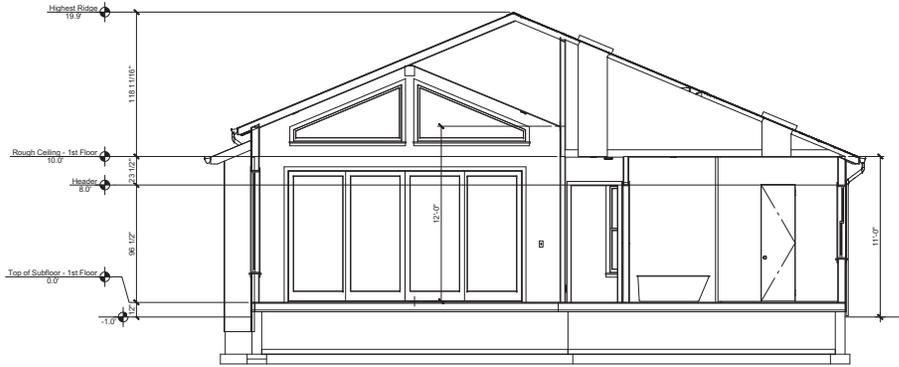
Sheet No:

A-4

- GENERAL NOTES:
1. ALL SHEARWALLS TO BE FRAMED TO BOTTOM OF ROOF SHEATHING - TYP.
 2. FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC:
 - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - 2.1. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - 2.2. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - 2.3. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

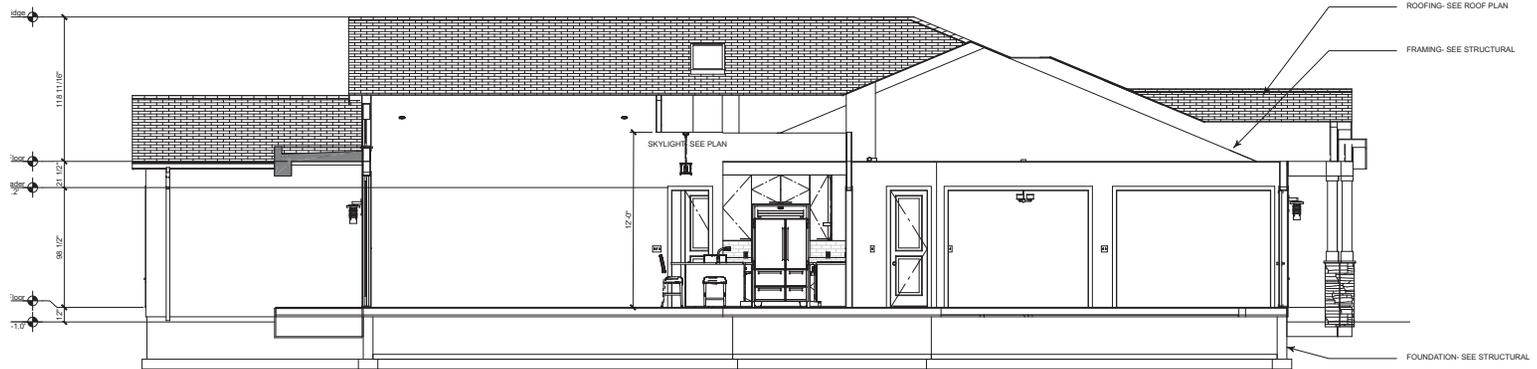
FOUNDATION VENTILATION:

- 8"X16" SIMPSON G.I. FOUNDATION VENTS TO BE EVENLY SPACED AROUND PERIMETER OF FOUNDATION FOR CROSS VENTILATION REQUIREMENTS. WHERE EXISTING VENTS ARE COVERED UP PROVIDE ADDITIONAL VENTS AS NECESSARY. VENTS SHALL NOT BE LOCATED AT SHEARWALLS
- 3.962 S.F. / 150 S.F. = 27 VENTS
 8"X16" = 72 S.F.
 27 S.F. / 72 = 38 VENTS MIN. REQ'D



INSULATION REQUIREMENTS:
 WALL INSULATION: R-21
 FLOOR INSULATION: R-19
 ATTIC INSULATION: R-38
 PROVIDE RADIANANT BARRIER AT UNDERSIDE OF ROOF PER TITLE-24

Section A
 SCALE: 1/4" = 1'-0"



Section B-B

WARREN DESIGN |
 578 E CAMPBELL AVE, CAMPBELL, CA 95008 P: 909.483.2870 C: 909.324.9371

HAZELWOOD RESIDENCE
 NEW RESIDENCE
 936 HAZELWOOD AVENUE
 CAMPBELL CALIFORNIA

Date: 9/09/2020

Drawn By: ACJ

Revisions:



BUILDING SECTIONS

Project No: 2023

Sheet No: A-6