



**CITY OF CAMPBELL**  
**Community Development Department**

November 13, 2020

**NOTICE OF PUBLIC HEARING**  
**THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **November 24, 2020**, for a Public Hearing to consider a City-Initiated **General Plan Amendment (PLN-2020-151) to the North of Campbell Avenue Area Plan (NOCA)** to incorporate Objective Standards and procedures in accordance with recent changes to State law. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

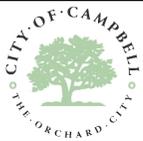
While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at [https://us02web.zoom.us/webinar/register/WN\\_zs1r2lzGQE2y2lpQUQpCUQ](https://us02web.zoom.us/webinar/register/WN_zs1r2lzGQE2y2lpQUQpCUQ). After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, November 20<sup>th</sup>, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to [planning@campbellca.gov](mailto:planning@campbellca.gov). Questions may be addressed to the Community Development Department at (408) 866-2140. *Plans and architectural drawings may be viewed by Friday, November 13<sup>th</sup>*, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

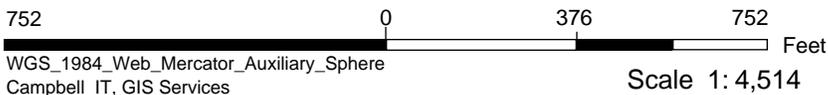
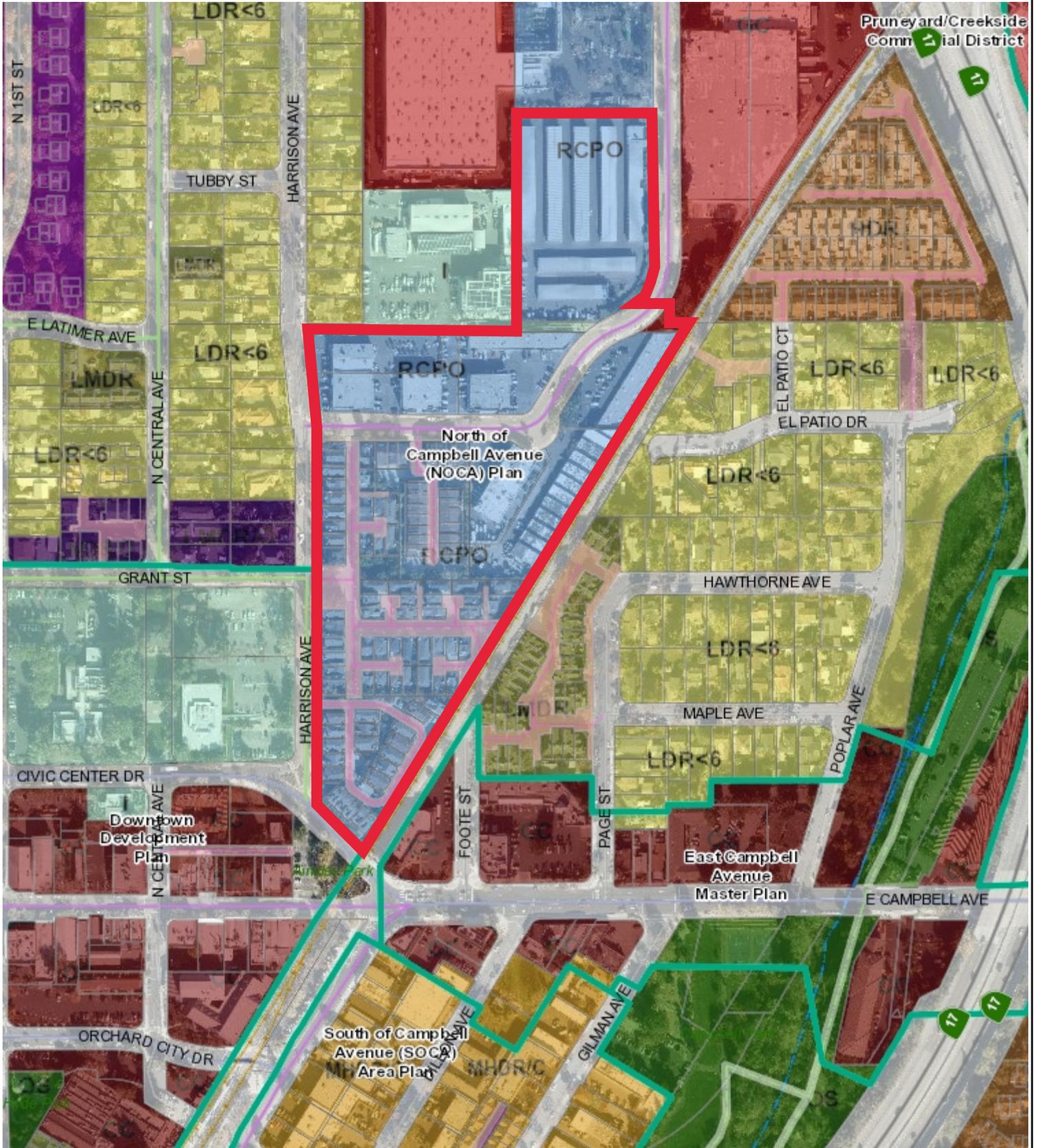
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling on this Notice, refer to **GPA - NOCA**



# North of Campbell Avenue Plan (NOCA)



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

# City of Campbell Objective Standards Project

## What is this Project?

The City of Campbell is undertaking a planning effort to create objective standards for all residential projects that respect and build upon Campbell's unique character and distinctive neighborhoods. As part of this effort, the City is also addressing procedures related to residential design review and permitting. The City is undertaking this project to conform with recent State law that require local jurisdictions to adopt objective standards and to streamline the review and permitting processes for housing development.

While these laws typically pertain to multi-family housing (2+ units), the City of Campbell will adopt objective standards for all housing projects, to both facilitate context-appropriate, high-quality design and to bring consistency and clarity to the project review and permitting processes.

## Project Overview

This project is anticipated to take about 12 months, starting in 2020 and ending in the 2021.

The major steps in the process are as follows:



## What are Objective Standards and Design Guidelines?

### Objective Standards

State law defines objective standards as those that "involve no personal or subjective judgement by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and public official prior to submittal." Objective standards are often quantifiable. Examples include:

- Blank walls (without doors and windows) of more than 20 linear feet are prohibited along any street facing façade.
- A minimum one-foot offset is required for any wall plane that exceeds 30 feet in length.

### Design Guidelines

Design guidelines are subjective regulations that require interpretation or are non-quantifiable. Examples include:

- Be consistent with the neighborhood character.
- Use durable materials.

# Campbell's Regulating Documents for Residential Projects

The City relies on several regulatory documents – the City's Zoning Code, Area Plans, and Residential Design Guidelines – to address the character of new residential development, including infill projects and additions to existing homes.

While the Zoning Code mostly contains objective development standards, the Area Plans and Residential Design Guidelines incorporate both development standards and design guidelines for building character, such as building massing, articulation, and materials. The Area Plans regulate development within a specific area or district, while Residential Design Guidelines, in most cases, apply to development outside the Area Plan boundaries. As a part of this project, design guidelines will be revised to be design standards which are objective, incorporating both text and graphics to illustrate the standards clearly and consistently.

## Which Documents are Being Updated?

### Area Plans

- Campbell Village Area Neighborhood Plan
- Downtown Development Plan
- East Campbell Avenue Master Plan
- North of Campbell Avenue Plan (NOCA)
- San Tomas Area Neighborhood Plan
- South of Campbell Avenue Plan (SOCA)
- Winchester Boulevard Master Plan

### Residential Guidelines

- Design Guidelines for Single-Family Homes
- Design Guidelines for Additions to Single-Family Homes
- Design Guidelines for Low-Medium Density Residential

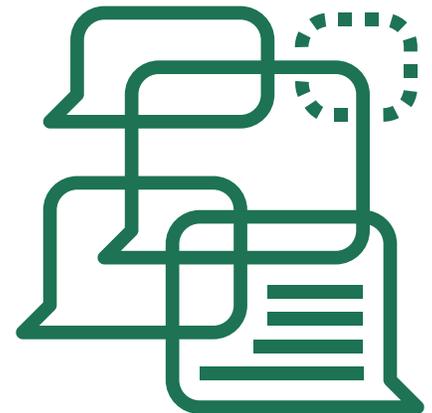
### Relevant Chapters of the Zoning Code

- 21.12.030 P-D (Planned Development)
- 21.23 Accessory Dwelling Units
- 21.30.030 Administrative Procedures
- Title 21, Article 4 - Land Use/ Development Procedures
- CMC 21.72 Definitions

## Opportunities for Community Engagement

Learn more about this project:

- **Check out the project web page** at [www.ci.campbell.ca.us/1174/Objective-Standards](http://www.ci.campbell.ca.us/1174/Objective-Standards) which contains the latest information on project status, background studies, and project documents
- **Join upcoming webinars/public workshops** for project updates and providing feedback
- **Participate in surveys** regarding major issues and public concerns
- **Attend periodic meetings and hearings** with the Planning Commission and City Council



### Questions? Contact:

Stephen Rose, Senior Planner, City of Campbell  
p: 408.866.2142 e: [stephenr@campbellca.gov](mailto:stephenr@campbellca.gov)

[www.ci.campbell.ca.us/1174/Objective-Standards](http://www.ci.campbell.ca.us/1174/Objective-Standards)

