



CITY OF CAMPBELL
Community Development Department

January 7, 2021

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

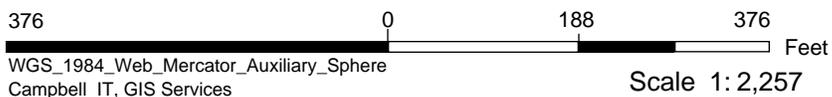
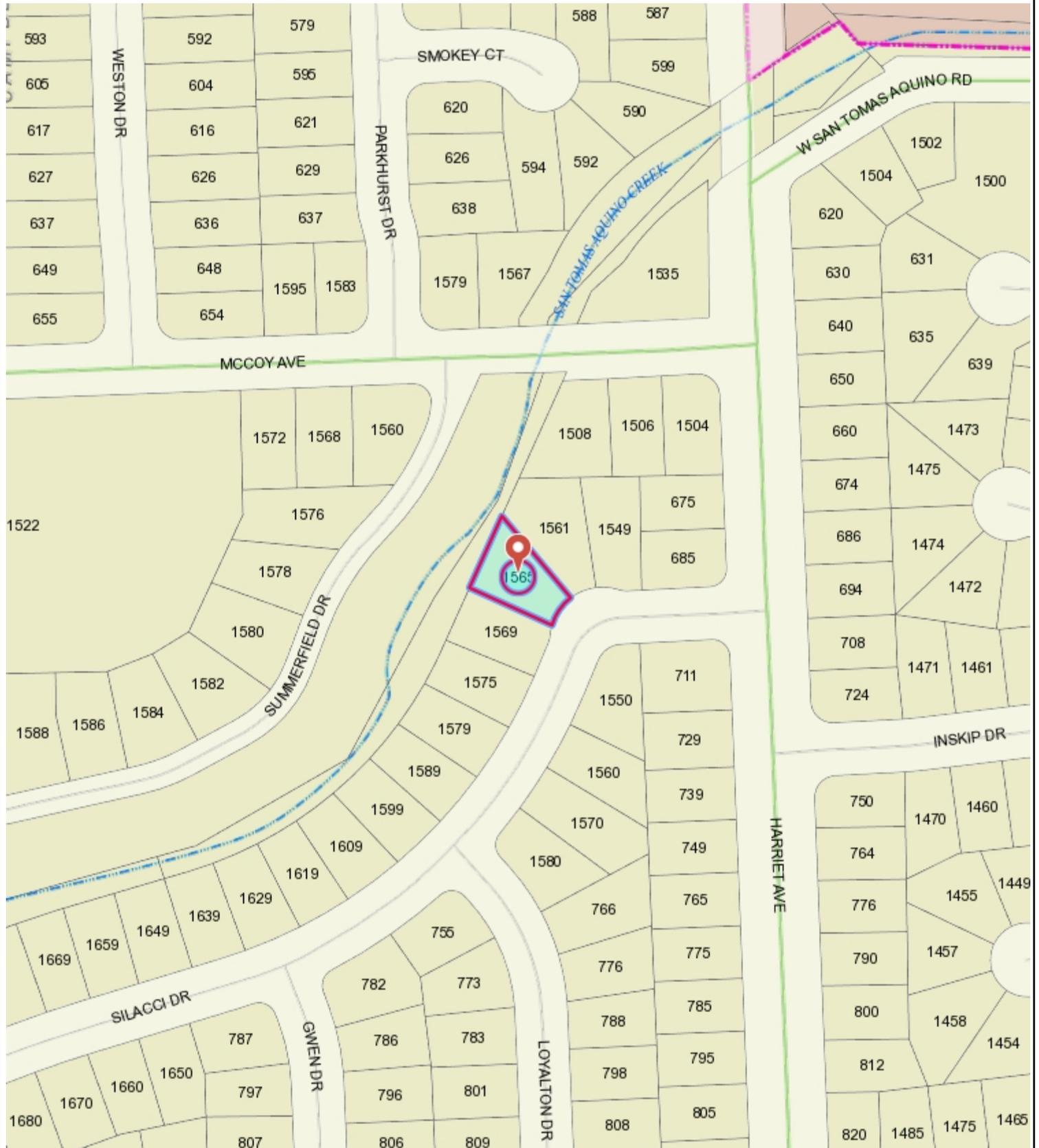
File No.:	PLN-2020-138
Applicant:	Hau-Ching Liao
Project Address:	1565 Silacci Dr.
Property Owner:	Umang Parekh
Zoning District:	R-1-6 (Single Family Residential)
General Plan:	Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s):	San Tomas Area Community Coalition
Project Description:	Approximately 375 sq. ft. single-story addition to an existing single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on January 7, 2021 and ends on January 18, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 18, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



1565 Silacci Dr



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

PAREKH RESIDENCE ADDITION

1565 SILACCI DRIVE
CAMPBELL, CALIFORNIA 95008

LHC

L.H.C. Design, inc.
13937 Lynde Avenue
Saratoga, CA 95070
(408) 483-1965



OWNER:
Umang Parekh
1565 Silacci Drive
Campbell, CA 95008
(650) 382-7359

OWNER:
UMANG PAREKH
1565 SILACCI DRIVE
CAMPBELL, CA 95008
TEL: (650) 382-7359

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965

SCOPE OF WORK

THIS PROJECT IS TO EXTEND THE MASTER BEDROOM & ONE OF BEDROOMS TOWARD LEFT SIDE TO CREATE A HALLWAY FROM THE GARAGE TO LIVING AREA; ADD A MASTER BATHROOM; OPEN THE WALL BETWEEN THE DINING ROOM AND THE LIVING ROOM; REMOVE THE FRONT COVERED PORCH.

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.

NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS; AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.

THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISAPPEARED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.

ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

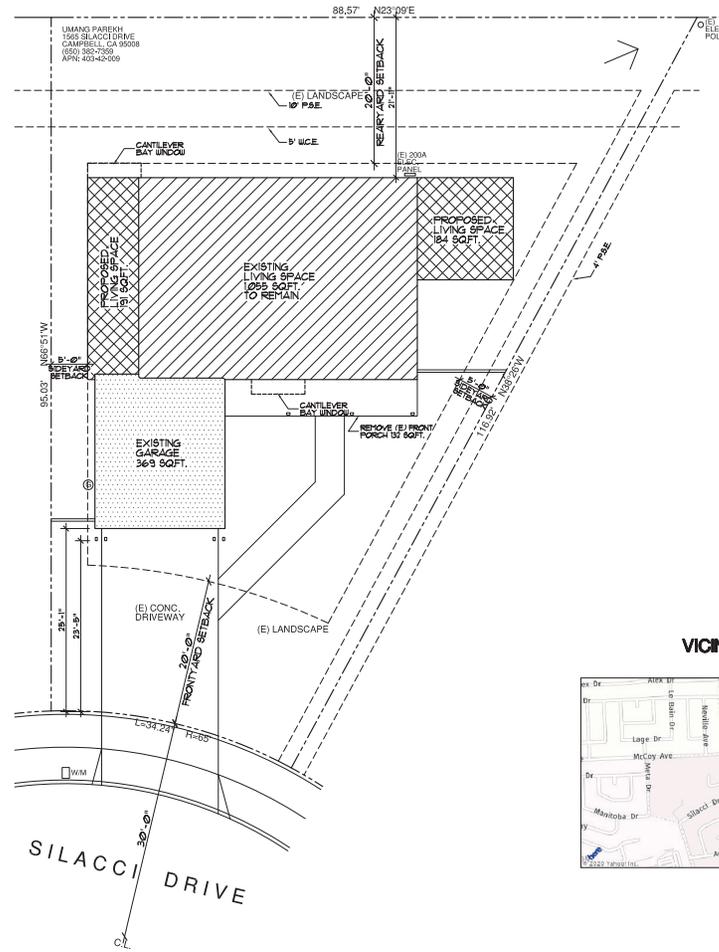
ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

FINISH GRADE AROUND STRUCTURAL SHALL SLOPE AWAY FROM FOUNDATION A MINIMUM 5% FOR A MINIMUM 10'.

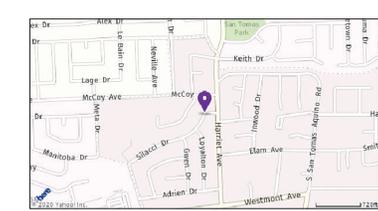
PROJECT DATA

ZONING DESIGNATION:	R1-6	
EXISTING USE:	SINGLE FAMILY RESIDENTIAL	
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL	
OCCUPANCY GROUP:	R3/U	
TYPE OF CONSTRUCTION:	V-B	
LOT SIZE:	6068 S.F.	0.1393 ACRE
EXISTING LIVING AREA:	1055 S.F.	
PROPOSED LIVING ADDITION AREA:	375 S.F.	
TOTAL LIVING AREA:	1430 S.F.	
EXISTING GARAGE:	369 S.F.	
TOTAL BUILDING AREA:	1799 S.F.	
FLOOR AREA RATIO (FAR):	29.65% (1799/6068)	
(E) PORCH TO BE REMOVED:	132 S.F.	
LOT COVERAGE:	29.65% (1799/6068)	
BUILDING HEIGHT:	14'-4"	
NUMBER OF STORIES:	1	
PAVING AREA:	607 S.F.	10.00% OF TOTAL
LANDSCAPE AREA:	3662 S.F.	60.35% OF TOTAL
PROPOSED BLDG. SET BACK:	FRONT 20 FT. SIDE 5 FT. REAR 20 FT.	
APPLICABLE CODES:	2019 CRC, CGBC, CMC, CPC, CFC, CEC, & CITY OF CAMPBELL ORDINANCES, 2019 CALIFORNIA ENERGY STANDARD	
ASSESSOR PARCEL NUMBER:	403-42-009	

SAN TOMAS AQUINO CREEK



VICINITY MAP



DRAWING INDEX

ARCHITECTURAL	
A-0	TITLE SHEET / SITE PLAN
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S-2	CEILING JOIST / ROOF FRAMING PLAN

SYMBOL

	SECTION
	SHEET NUMBER
	DETAIL
	SHEET NUMBER
	COLUMN GRID
	EXISTING DOOR
	DOOR NUMBER
	DOOR SCHEDULE
	DOOR TYPE
	INTERIOR ELEVATIONS INDICATOR
	ROOM NUMBER
	FLOOR FINISH
	BASE FINISH
	WALL FINISH
	CEILING FINISH

SITE PLAN

1/8" 1

REVISIONS:

Planning Comments Nov. 10, 2020

SHEET TITLE:
SITE PLAN
TITLE SHEET

DATE: Mar. 23, 2020 PROJECT NO.: 20-05
SCALE: AS SHOWN DRAWN: HC
SHEET

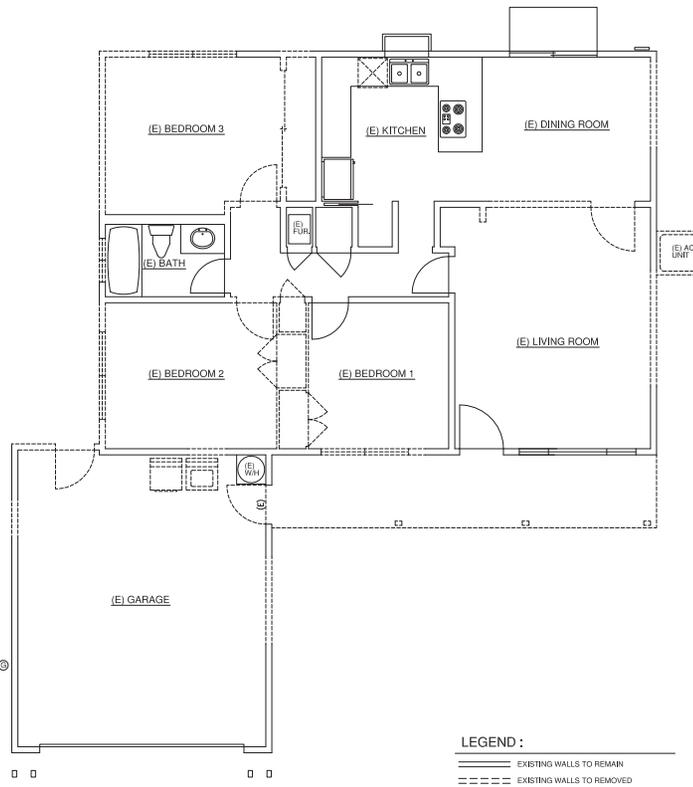
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OF 9 SHEETS



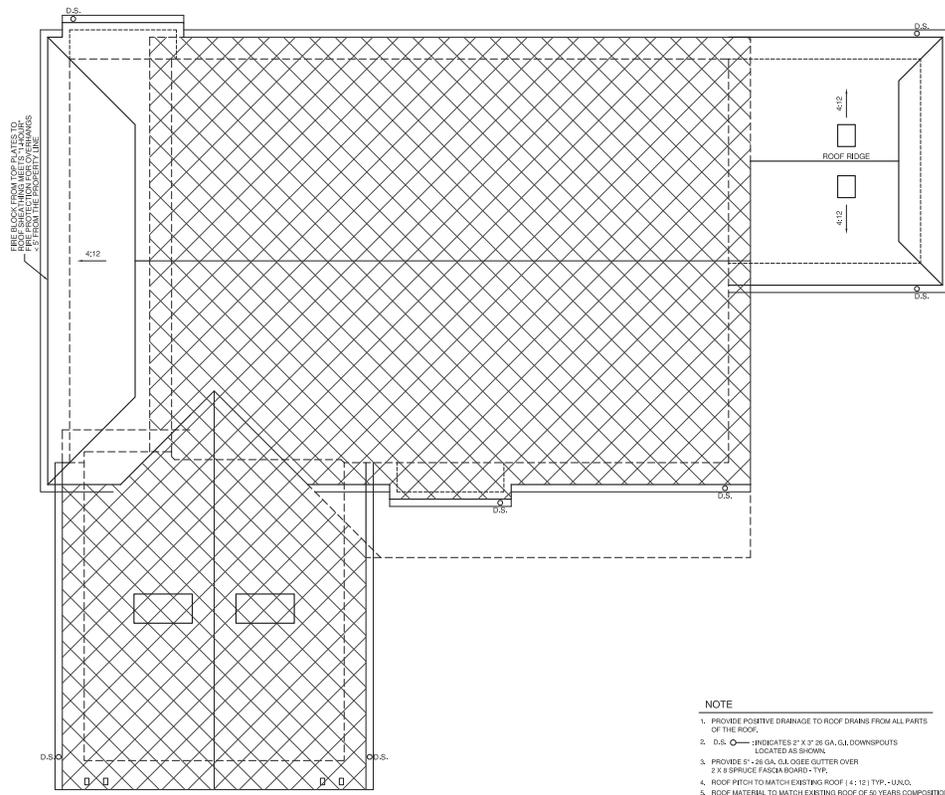
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**PAREKH
RESIDENCE ADDITION
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LEGEND :
 ———— EXISTING WALLS TO REMAIN
 - - - - - EXISTING WALLS TO BE REMOVED

NOTES:
 PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCEED OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM OF 2.0 GPM. SHOWER HEAD, LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).



- NOTE**
1. PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS FROM ALL PARTS OF THE ROOF.
 2. D.S. ——— INDICATES 2" X 3" 26 GA. G.I. DOWNSPOUTS LOCATED AS SHOWN.
 3. PROVIDE 5" - 26 GA. G.I. OSBEE CUTTER OVER 2 X 8 SPRUCE PANDA BOARD - TYP.
 4. ROOF PITCH TO MATCH EXISTING ROOF | 4:12 TYP. - 11/12.
 5. ROOF MATERIAL TO MATCH EXISTING ROOF OF 50 YEARS COMPOSITION SHINGLE MIN. CLASS "C" OVER 3/4" FELT - TYP.
 6. PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED.
 7. PROVIDE 1/4" TRIM T&G PLANKS @ ROOF OVERHANG AREA.
 8. CROSS VENTILATE CALIFORNIA FRAMING.



REVISIONS:

NO.	DESCRIPTION	DATE
1	Planning Comments	Nov. 10, 2020

SHEET TITLE:
**ROOF PLAN
 DEMOLITION PLAN**

DATE: Mar. 23, 2020 PROJECT NO.: 20-05

SCALE: AS SHOWN DRAWN: HC

SHEET

LEGEND :

- EXISTING WALL TO REMAIN AND REPAIR AS REQUIRED.
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. ON BOTH SIDES (CDX OR OSB PLYWD /O/ STUO @ SHEAR WALLS)
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. INTERIOR SIDE 7/8" CEMENT PLASTER O/ (2) "O" PAPER BACKED LATH OR WOOD SINDG OVER 1/4" BLDG. PAPER (PAINTED) OVER CDX OR OSB PLYWOOD (SEE ELEVATIONS FOR EXTERIOR FINISH)
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. ON LIVING AREA SIDE OF WALLS & 5/8" TYPE "X" GYP. BD. ON GARAGE SIDE OF WALLS (CDX OR OSB PLYWD /O/ STUO @ SHEAR WALLS)
- WINDOWS

⊗ All escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet on 2nd floor & 5.0 square feet on 1st floor. The minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of escape or rescue they shall have the bottom of the opening no higher than 44 inches above the floor per CBC 1026.3.

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1-3/4" THK. UNDO. (SEE PLAN FOR SIZE)
2. ALL HOUSE TO GARAGE DOORS TO BE SOLID CORE 1-3/4" THK W/ SELF CLOSING JACK FITTING (SEE PLAN FOR SIZE)
3. ALL ENTRY DOORS TO BE SOLID CORE 1-3/4" THK. (SEE PLAN FOR SIZE)
4. PROVIDE A LANDINGS WITH A MIN. DEPTH & WIDTH OF 36" AT ALL EXIST DOOR WHERE THE FINISH GARAGE FLOOR IS 1/4" BELOW THE FINISH PER 2019 CBC.
5. PROVIDE SOUND BATT INSULATION # ALL INTERIOR WALL W/ R-13 MIN.

FLOOR PLAN NOTES

- [1] FIRE SEPARATION BETWEEN HOUSE & GARAGE TO BE 1/2" GYP. BD. ON GARAGE SIDE W/ 84 DOORER SEAL AT 1" G.C. CONTINUOUS FROM GARAGE SLAB TO ROOF DRAINAGE.
- [2] PROVIDE 1/2" MIN. CONC. LANDING AT ALL NEW EXTERIOR DOOR OF 7/8" LIP STEP W/IC.
- [3] 22"x30" ATTIC ACCESS PANEL PER C.B.C. 1209.2.
- [4] 18"x24" UNDERFLOOR ACCESS PANEL PER C.B.C. 1209.1.
- [5] 30"x30" SHOWER W/ 2"x2" FLOOR TILE & ASPHALT SEAL TILE TO 7/8" I.O.N. PROVIDE SOAP DISH.
- [6] TYPED GLASS SHOWER ENCLOSURE W/ TOWER BAR.
- [7] CLOTH WASHER. PROVIDE COLD AND HOT WATER.
- [8] TOILET ACCESS AREA SHALL BE 24"(10x30") W/ 19" MIN. FROM CENTER OF TOILET TO BOTH SIDES.
- [9] (E) GAS METER.
- [10] (E) 200 AMP METER & PANEL.
- [11] PROVIDE "TUBSHEET" OR "SHOWER BOARD" WALL LINING AROUND SHOWER/BATHUB AREA. CULTURE MARBLE OR 1/2" FINIS SEE PLAN.
- [12] ALL PLUMBING FIXTURES SHALL BE OF CPC APPROVED MATERIALS. EXCEPT SHOWER VALVE HAVE PRESSURE OR THERMOSTATIC MIXING VALVE WITH WATER TEMPERATURE CONTROL.
- [13] CLOTH DRYER. DRYER PER CMC 500.3.
- [14] (E) 50 GAL. WATER HEATER W/ CIRCULATE PUMPS.
- [15] 24"x4" FIX SKYLIGHT, CC ESR-3177.

TABLE 150.2-A CLASSIFICATION OF HIGH EFFICACY LIGHT SOURCES

High Efficacy Light Sources Luminaires treated with only the lighting technologies in this table shall be classified as high efficacy	Light sources in this column other than those installed in ceiling recessed downlight luminaires are classified as high efficacy and are not required to comply with Reference Joint Appendix JAG
<ol style="list-style-type: none"> 1. Fluorescent linear or compact fluorescent light sources using electronic ballasts. 2. Fluorescent metal halide. 3. High pressure sodium. 4. GLU-24 sockets containing light sources other than LEDs, A.D.s 5. Luminaires with hardwired high frequency generator and induction lamp. 6. Inseparable SSL luminaires that are installed outdoors. 7. Inseparable SSL luminaires containing colored light sources that are installed to provide decorative lighting. 	<ol style="list-style-type: none"> 8. All light sources in ceiling recessed downlight luminaires, now that ceiling recessed downlight luminaires are classified as high efficacy regardless of lamp type as described in Section 150.2(A)(1)(C) 9. GLU-24 sockets containing LED light sources. 10. Any light source not otherwise listed in this table and certified to the Commission as complying with Joint Appendix S.

Notes:
a. GLU-24 sockets containing light sources such as compact fluorescent lamps and induction lamps.
b. California Title 20 Section 16059.3 does not allow incandescent sources to have a GLU-24 base.

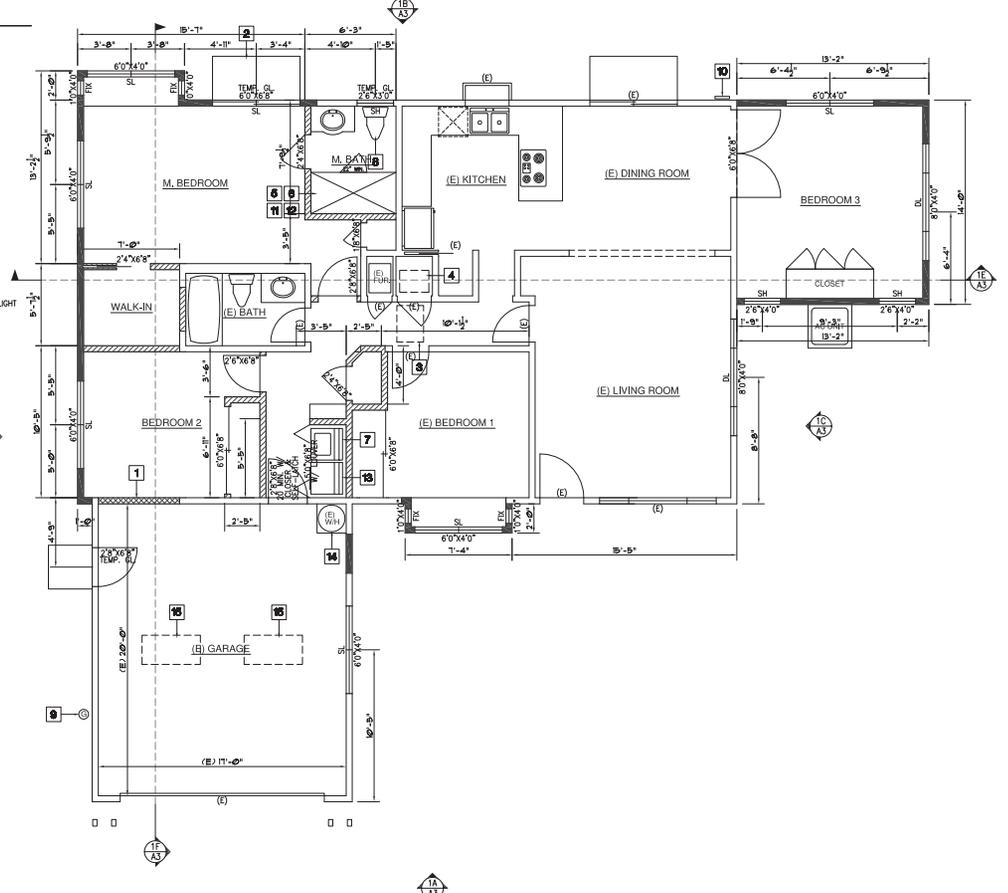
LEGEND

- CEILING LED TRACK LIGHT
- CEILING LED PENDANT LIGHT
- WALL MOUNTED LIGHT
- CEILING RECESSED LED LIGHT
- CEILING RECESSED W/P LED LIGHT
- TUBE SKYLITE (SIZE PER OWNER)
- JUNCTION BOX FOR SUSPENDED LIGHT
- FLUORESCENT LIGHT
- WALL SCENE LED LIGHT
- DUPLEX 110VAC OUTLET
- DUPLEX 220VAC OUTLET
- MOTION SENSOR "ON" & PHOTO SENSOR "OFF"
- OCCUPANCY SENSOR
- 110V HOT WIRE CARBON MONOXIDE DETECTOR
- 110V HOT WIRE SMOKE DETECTOR
- EXHAUST FAN W/ HUMIDISTAT CONTROL.
- TELEPHONE JACK
- DATA JACK
- TV JACK
- LIGHT SWITCH
- 3 WAY LIGHT SWITCH
- DIMMER
- THERMOSTAT
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- MOTION SENSOR LIGHT
- SPEAKER
- TRACK LIGHT
- DOOR BELL
- HOSE BIB
- 110V W/P W/ LED LIGHT

NOTE:

- * PROVIDE 12" MINIMUM CLEARANCE IN FRONT OF 2" OR LESS UNDER-FLOOR CLEANOUT PIPING AND 18" IF MORE THAN 2" DIAMETER PIPE.)
- * NO UNDER-FLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM DRAIN HOLE ACCESS POINTS (CEC 210.10)
- * OUTDOOR A/C SUCTION LINE INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM UV DEGRADATION OR PHYSICAL DAMAGE. USES 1500LB. 1/2" THICK POLYURETHANE INSULATION WITH 1/4" AIR GAP. PROVIDE A SWITCH-CONTROLLED LIGHT PER CMC 308.0.
- * ENVIRONMENTAL AIR FLOWS SUCH AS VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST, AND CLOTHES DRYER EXHAUST SHALL BE EQUIPPED WITH BACK-DAMPERS PER CMC 504.4.
- * TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3" FROM ANY OPENING IN THE BUILDING ENVELOPE. THIS SHALL BE 3" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS/CMC 504.5.
- * SINGLE-WALL METAL PIPE SHALL NOT BE USED AS A VENT IN DWELLINGS & RESIDENTIAL OCCUPANCIES PER CMC 602.4.1.
- * EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED EXHAUST FAN FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE W/ CMC CHAPTER 4, & CMC CHAPTER 4, DIVISION 4.3. (R303.3.1)
- * RECESSED DOWNLIGHT LUMINAIRES IN CEILING SHALL BE LISTED FOR ZERO CLEARANCE SHALL BE IDENTIFIED AS AIRTIGHT (INCLUDING EXHAUST FAN HOUSINGS) SHALL BE SEALED WITH A GASKET OR GREA BETWEEN LUMINAIRE HOUSING AND CEILING. SHALL NOT CONTAIN SCREW BASE SOCKETS & ALL LIGHT SOURCES SHALL BE MARKED WITH 04-2018 - AS SPECIFIED IN REFERENCED APPROVAL JAG.
- * ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH IESNA SEE 78.7.
- * EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
- * LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON & OFF.
- * IN BATHROOMS, GARAGES, LAUNDRY ROOMS & UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VANDANCY SENSOR.
- * DIMMERS OR VANDANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 10'3" IN WALLWAYS).
- * UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- * RESIDENTIAL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON & OFF SWITCH WITH PHOTOCELL & MOTION SENSOR.
- * ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, RECREATION AREAS, CHILDREN'S PLAY AREAS, BREAKFAST ROOMS, DINING ROOMS, RECEPTACLE (SEE RECEPTACLE TOP SURFACE), LAUNDRY AREA, SINKS (WITHIN 6' OF THE EDGE OF THE SAME), SHOWER, AND UTILITY AREAS SHALL HAVE GROUND-Fault CIRCUIT INTERRUPTER (GFCI) PROTECTION. (CEC 201.8)
- * ALL 120V, 150V AND 200V SINGLE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLES (15) IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREA.
- * AT LEAST ONE 20A BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2))
- * A DEDICATED 20-AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTABLES/LIGHT/FAN PER CEC 210.11(C)(3).
- * ALL 120V SINGLE-PHASE 15A & 20A BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT INTERIORS, FAMILY ROOMS, DINING ROOMS, BREAKFAST ROOMS, PARLORS, LIBRARIES, GENS, BEDROOMS, SLEEPING ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR AREAS OR AREA SHALL BE PROTECTED BY A LISTED MCC-BREAKER CIRCUIT INTERRUPTER PER CEC 210.12.
- * ALL WALL SPACES 3' OR MORE IN WIDTH SHALL HAVE RECEPTABLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY IS MORE THAN 6' FROM A RECEPTABLE (1) (SEE 210.52(A)(3)(2)).
- * COUNTERTOPS IN KITCHEN, PANTRIES, BREAKFAST ROOMS, DINING ROOMS & SIMILAR AREAS, SPACES 12" OR MORE SHALL HAVE RECEPTABLES INSTALLED SUCH THAT NO POINT ALONG THE WALL IS MORE THAN 2' FROM RECEPTABLE (CEC 210.52(C)(1)).
- * 120V & 240V RECEPTABLES INSTALLED OUTDOORS IN WET LOCATION SHALL HAVE A LISTED ENCLOSURE THAT IS WATER-RESISTANT & WEATHERPROOF WHETHER OR NOT THAT ATTACHMENT PLUG CAP IS INSERTED (CEC 406.8 (B)(1))

- * Repair all existing electrical wire.
- * Replace all existing cast iron waste pipes under house with abs pipes.
- * Replace galvanized water pipes with copper pipes where occurs.



PROPOSED FLOOR PLAN & UTILITY PLAN



1/4" 1



L.H.C. Design, inc.
13937 Lynde Avenue
Saratoga, CA 95070
(408) 483-1965



OWNER:
Urvang Parekh
1565 Slacci Drive
Campbell, CA 95008
(650) 382-7559

PAREKH
RESIDENCE ADDITION
1565 SLACCI DRIVE
CAMPBELL, CALIFORNIA 95008

REVISED:

Planning Comments	Nov. 10, 2020

SHEET TITLE:
PROPOSED FLOOR PLAN & UTILITY PLAN

DATE	PROJECT NO.
Mar. 23, 2020	20-05
SCALE	DRAWN
A8 1/4"=1'-0"	HC
SHEET	



OWNER:
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(650) 382-7358

**PAREKH
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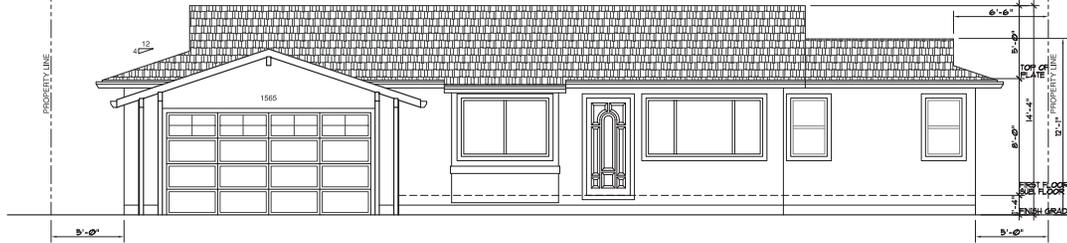
REVISIONS:
 ▲ Planning Comments Nov. 10, 2020

SHEET TITLE:
**BUILDING ELEVATIONS AND
BUILDING SECTIONS**

DATE: Mar. 23, 2020 PROJECT NO.: 20-05
 SCALE: AS SHOWN DRAWN: HC
 SHEET

A-3

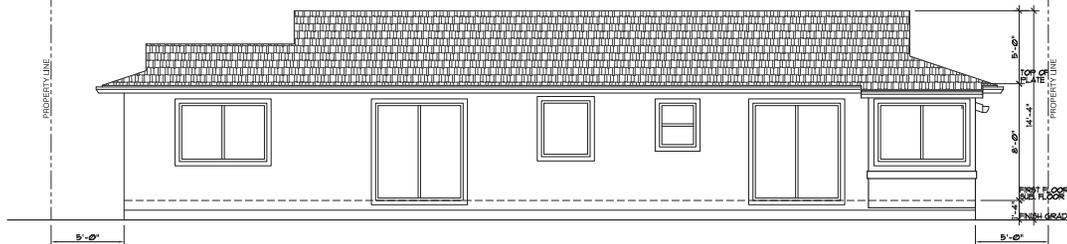
OF 10 SHEETS



A. PROPOSED FRONT ELEVATION

GENERAL NOTE

1. WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE "U" AND "SHGC" FACTORS (AS REQUIRED BY THE ENERGY DOCUMENTATION). SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET 104 FOR THE REQUIRED VALUES.



B. PROPOSED REAR ELEVATION

ELEVATION NOTES:

1. NEW ROOF TO MATCH EXISTING.
2. 3 COAT STUCCO FINISH.
3. WOOD TRIM 4" EAVE W/ GUTTER.
4. 4" WOOD TRIM 4" UNDER SILL.
5. 4" WOOD TRIM AROUND WINDOW / DOOR.
6. 145"x55" UNDER FLOOR VENT.
7. DECORATIVE 12"x12" GABLE VENT W/ 4" TRIM.
8. EXISTING ROOF TO REMAIN.
9. SHEEP SCREENED 1/4" MIN. VERTICAL ATTACHMENT FLANGE OF FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS W/ BRICKS TO BE SCREENED SMALL BE PLACED A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW RAINFALL WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.

VENT CALCULATION IS FOR THE ADDITION AREA ONLY. PROVIDE ADDITIONAL VENTS WHERE THE EXISTING VENTS ARE BLOCKED.

ATTIC VENTILATION

REQUIRED: 51.28 SF
 181 SF / 300" = 0.64 SF X 144" = 91.68 SF
 200% TOP = 183.36 SF X 50% = 91.68 SF
 50% BOTTOM = 91.68 X 50% = 45.84 SF

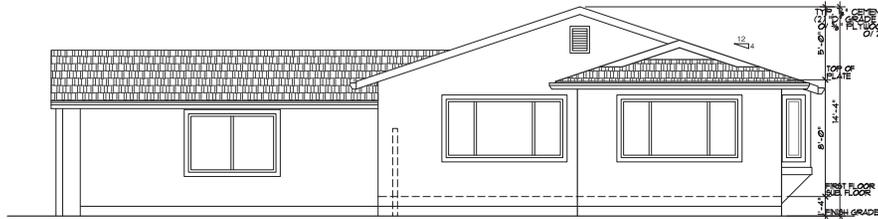
PROPOSED: 130.20 SF

50% TOP: LOW PROFILE VENT 1 @ 14.5' X 9.0' = 50.75 SF

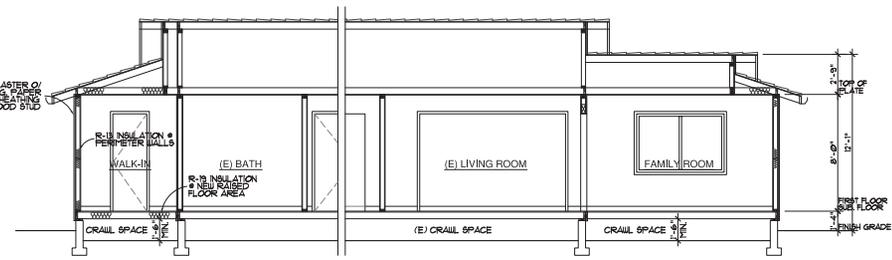
50% BOTTOM: GABLE VENT 1 @ 14.5' X 9.0' = 76.75 SF

UNDER FLOOR VENTILATION

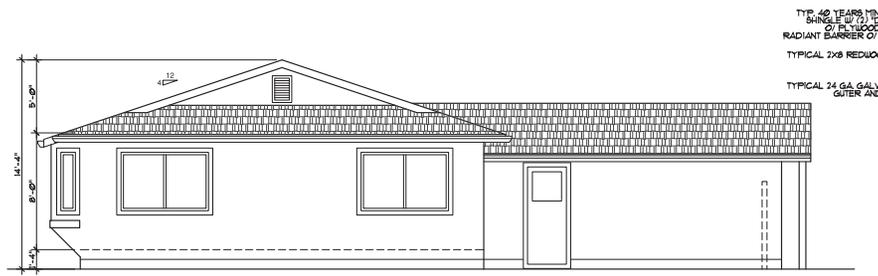
REQUIRED: 183.36 SF
 181 SF / 150" = 1.21 SF X 144" = 183.36 SF
 PROPOSED: 236.25 SF
 VENTS 3 @ 14.5' X 9.0' = 3 X 76.75 = 230.25 SF



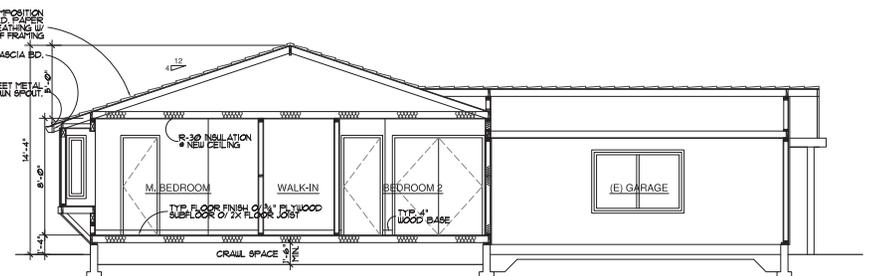
C. PROPOSED RIGHT ELEVATION



E. BUILDING CROSS SECTION



D. PROPOSED LEFT ELEVATION



F. BUILDING CROSS SECTION

TYP. 40 YEAR MIN. COMPOSITION SHINGLE @ 7/12 TO 12/12 PITCH RAISED W/ 1/2" X 2" WOOD SHIMMER OR 1/2" X 2" WOOD SHIMMER IN RADIANT BARRIER OF ROOF FRAMING.
 TYPICAL 2X8 REDWOOD FASCIA BD.
 TYPICAL 24 GA. GALV. SHEET GUTTER AND DOWN SPOUT.