



CITY OF CAMPBELL
Community Development Department

January 11, 2021

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.:	PLN-2020-83
Applicant:	Darren's Design Inc.
Project Address:	1185 Normandy Dr.
Property Owner:	David Davis
Zoning District:	R-1-8 (Single Family Residential)
General Plan:	Low Density Residential (Campbell Village Neighborhood Plan)
Neighborhood Association(s):	Campbell Village Neighborhood Association
Project Description:	Approximately 1,050 square-foot first-floor addition and major remodel to an existing single-family residence

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on January 11, 2021 and ends on January 21, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 21, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.

SCOPE OF WORK

REMODEL TO EXISTING KITCHEN; BATH RM.
LIVING RM; DINING RM. (ADDITION) 11 BED
M. BATH WALK-IN CLOSET, FAMILY RM.
LAWN/GRASS RM. BED & BATH RM. ADDITION
UTILITY RM. TANKLESS WATER HEATER
HVAC SYSTEM REAR PORCH FLOOR BOARD
ENTRY.

PROJECT DATA

APN:
ZONE:
CONSTRUCTION TYPES: VB
OCCUPANCY TYPE: R-3/1U
TOTAL LOT S.F.: 9100.37
BUILDING S.F.: 3344.510
TOTAL NEW LIVING SPACE: SF 1,052.000
SPRINKLER: NO

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 7. PLUMBING PLAN
 8. HVAC HEATING PLAN
 9. ROOF & CEILING FRAMING PLAN
 10. SECTION DETAIL
 11. STRUCTURAL DETAILS
 12. ELEVATION PHOTOS
 13. ELEVATION
 14. TITLE-24
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 16. CAL GREEN STANDARDS

CODE:

2019 ELECTRIC CODE
2019 PLUMBING CODE
2019 BUILDING CODE
2019 TITLE 24
2019 MECHANICAL CODE
2018 FIRE CODE
2019 CALIFORNIA RESIDENTIAL CODE

PROJECT: REMODEL/ADDITION - DWG	
OWNER: THE HINES DESIGN GROUP	
APN:	
ADDRESS: 1185 NORMANDY DR	
CAMPBELL, CA	
BUILDING ZONE:	
BUILDING TYPE: SINGLE FAMILY	
NUMBER OF STORIES:	
MAXIMUM HEIGHT: 17'-6"	
EXISTING HABITABLE AREA:	1,229.26 SF
NEW HABITABLE AREA:	990.00 SF
GARAGE AREA:	370.00 SF
TOTAL AREA:	2,589.26 SF
PATIO (HARD) AREA:	297.00 SF
COVERED PORCH AREA:	17.25 SF (H)



VICINITY MAP.

REVISION	BY
1/17/20/10/20	D.P.
1/20/20	D.P.

SITE MAP:
 REMODEL/ADDITION - DWG
 1185 NORMANDY DR.
 CAMPBELL, CA 95008
 PHONE: (650) 844-0578

DRAWN	D.P.
CHECKED	
DATE	10/01/2020
SCALE	AS SHOWN
PROJECT NO.	2020079
SHEET	1
OF	16 SHEETS

NT.5

Wash-out Water Management Plan
 Construction wash-out water from concrete, mortar, tile, taping, and painting shall be done in a portable containment pool or in a lined evaporative pit. Wash-out shall not enter the storm water system.

Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain: paints, solvents, glues, taping compound, food products, or easily recyclable materials (such as bottles, cans, plastics, or paper). Remaining trash shall be limited to concrete, wood, drywall, roofing, and insulation and shall be covered with a waterproof tarp. Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site. Retain the receipts and keep with the permit documents, proof of recycle and disposal of the job site trash will be checked periodically and prior to final inspection.

West Valley Collection and Recycling (408) 283-9259 will deliver a roll-off debris box and sort the trash off site.

Per CBC 314.2.2: Hardwired smoke detection is required in each bedroom. Combustible Smoke and Carbon Monoxide detection is required outside each bedroom and on each floor.

CEC Art. 406.12: All new and replaced duplex receptacles shall be "tamper-resistant receptacles"

Compliance with ARC-Fault and Ground Fault outlets per Art. 210.12 and 210.8 CEC 2016. Arc-fault (AFCI) required in family rms, dining rms, parlors, libraries, dens, bedrooms, sun rooms, rec rms, closets, and hallways and lighting. Ground-fault (GFCI) is required in bath rms, garages, accessory areas, exterior, refrigerators, basements, dishwashers, and disposals. Combination AFCI/GFCI is required in kitchens, and laundry areas.

All new lighting shall be high-efficiency compliant as table 150.04 CEC. Screw-based permanently installed light fixtures must contain screw-based LED Light Sources & compliant lamps. All compliant light sources in ceiling recessed downlights and LED's are to be controlled by vacancy sensors or dimmers.

Exhaust fans shall be switched separately from lighting. Exterior lighting shall be controlled by photocell and motion per energy 110.9. At least one fixture in each laundry room is to be controlled by a vacancy sensor. At least one fixture in each Utility Room is to be controlled by a vacancy sensor. At least one fixture in each Bathroom is to be controlled by a vacancy sensor. Under cabinet lighting shall be controlled by separate switching.

A 120V receptacle shall be placed within 3' of a water heater and within 25' of an A/C condenser.

100V exterior outlet be placed (1) in the front and (1) in the back of the home.

All penetrations into the fire rated floors, walls, and ceilings shall not compromise the fire rating. 3-hour fire rated doors shall be installed in 58 gymnasiums.

Plumbing

Water Usage: Please place this notation on the MEP drawings (from CA civil code section 1101.1-1101.8)

On and after January 1, 2014, for all building alterations or improvements to single family residential real property, as a condition for issuance of a certificate of final completion and occupancy or final permit approval by the local building department, the permit applicant shall replace all non-compliant plumbing fixtures with water conserving plumbing fixtures. Some historic buildings may have exempt fixtures.

Fixture	If the water usage exceeds	It must be replaced with
Water Closet	3.6 gal/flush	1.28 gal/flush
Shower Head	2.5 gal/minute	1.8 gal/minute
Laundry Faucet	2.2 gal/minute	1.2 gal/minute
Kitchen Faucet	2.2 gal/minute	1.0 gal/minute

After obtaining the original letter of approval from West Valley Sanitation District (408) 376-2407, if W.V.S.D. requires "check valve protection or a property line cleanout" on this project, mark the location on the site plan and the plumbing plan and place a note: West Valley Sanitation District (W.V.S.D.) required "check valve" to be placed 5' from the house and the "property line cleanout" is to be placed next to the property line. Additionally, show that the second floor sewer connects to down stream from the back-water valve.

Cleaning and dish washing machines shall be fitted with water hammer arrestors.

Mechanical

Identify the gas meter location and the pipe type and size of new gas piping.

Kitchen dryer exhaust vent per 504.3 2016 CMC. The dryer moisture exhaust duct shall not exceed 14" min of 4" dia with a backflow damper to be

metal or moisture rated PVC with a smooth interior surface w/o screws. Duct shall terminate at least 3' from openings into the building.

IFVAC system, if it is located in the attic it shall comply with Section 904.11 CMC 2016. It shall include a service platform, catwalk to the scuttle, lighting, and 110V power. Weight of the unit and a service tech may exceed the loading of the ceiling unless located under support walls; consider the doubling of ceiling joists that run to support walls below. A new home in Campbell may not have a gas heating system.

Refrigerant require 50 cfm minimum humidity controlled exhaust fans (by fan or switch) per R410-A and be protected separately from lighting systems.

o (per CEC 150): Kitchen hood vent to have damper and be ducted to the exterior with smooth wall sheet metal per mfg's installation requirements. Exhaust fan must provide a minimum of 100 cfm.

Note: If there are any Cedar, Redwood, Oak, or Ash trees present on the property, depict and note protection measures consistent with the Campbell Standards for Tree Protection During Construction (enclosed).

Provide a note that existing landscaping will be protected during construction and that replacement landscaping will be subject to the provisions of the California Model Water Efficient Landscape Ordinance (MWELO).



City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140

STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:

- Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as followed:
 - The fence shall be a minimum of six feet in height and shall be set securely in place.
 - The fence shall be chain link without slats to allow visibility to the trunk for inspections and safety.
 - There shall be no storage of any kind prior to or at each time after the protective fencing is installed.
 - The fence may be adjusted as necessary to accommodate work approved within the dripline provided any excavation is done in accordance with instructions directed by a qualified arborist.
- The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
- Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the dripline).
- Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
- Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
- Soil compaction of the area under the dripline of the tree shall be avoided during all phases of site clearing and construction.
- No soil stabilizers or weed killer that will inhibit or restrict the tree's growth may be applied on the root area.
- No signs, wires or any other object shall be attached to the tree.
- Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
- The applicant shall provide the project manager with photos of the installed protective fencing prior to issuance of a building permit.

Revision	Revision Note	Date
1		
2		

PARCELS DESIGN AGENT
 2550 FORT HILL BLVD
 OAKLAND, CA 94612
 510-660-1174 - karen@parcelsdesign.com

REMOVAL / ADDITION - PAVING
 1135 NICHANDEY DR.
 CAMPBELL, CA 95008
 PHONIE: (408) 804-8573

Hendrik Van De Pol
 2226 Living Stone Ln
 San Jose, CA 95128
 phone (408) 636-3581
 hvandepol@aol.com

2

16

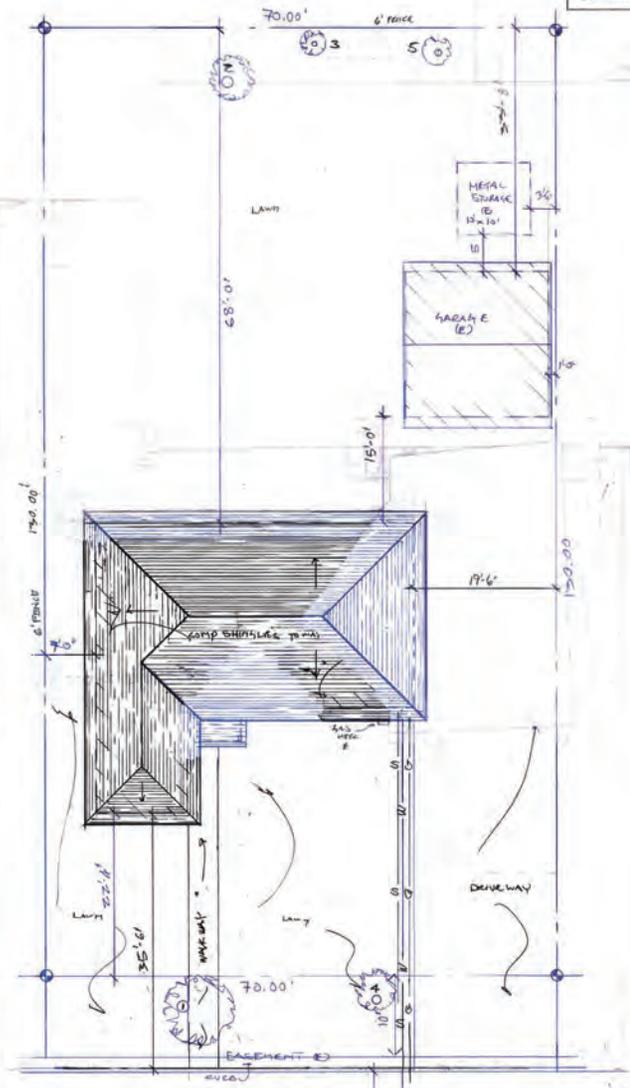
CASEY	
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95	96
97	98
99	100

PARCEL MAP



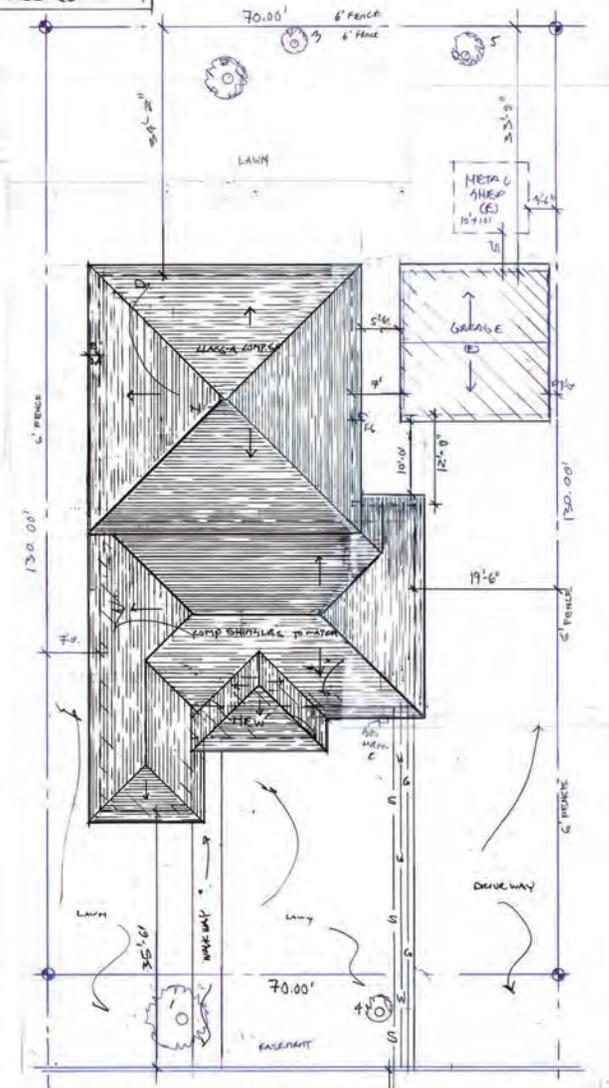
TREES

LEDGEN
 WATER = W 3/4" GALV.(E)
 GAS 3/4" GALV.(E)
 SEWER 4" ABS (E)



1185 NORMANDY DR.

PLOT PLAN: SCALE: (EXISTING) 1/8"=1'-0"



1185 NORMANDY DR.

PLOT PLAN: SCALE: 1/8"=1'-0"

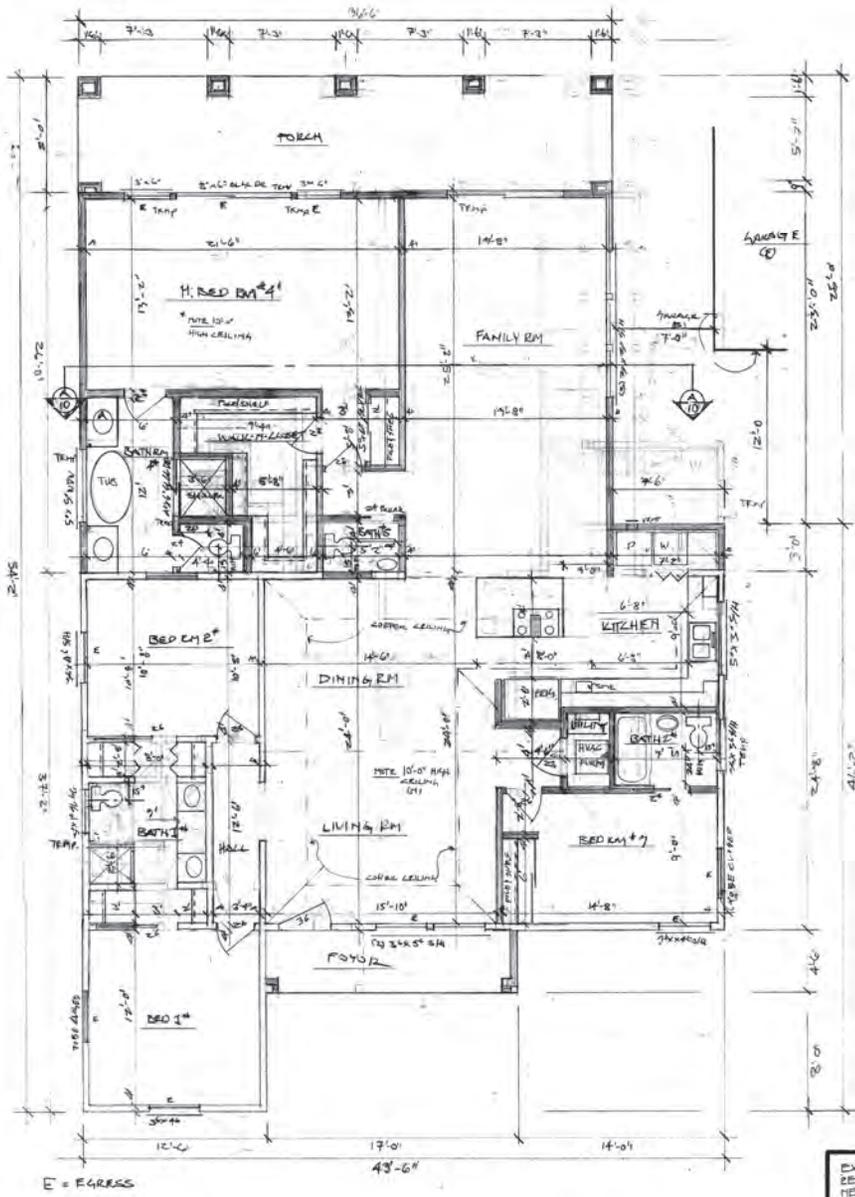
REVISIONS	BY
10/2/12	D.O.
12/12/12	D.O.

REMODEL / ADDITION - PAUL
 1185 NORMANDY DR.
 CAMPBELL, MO 65008

INTS / GENERAL

PHONE: 660294-0578

DPO 3/22	
CHECKED	
DATE	10/10/12
SCALE	AS SHOWN
JOB NO.	202879
SHEET	3
OF	16 SHEETS

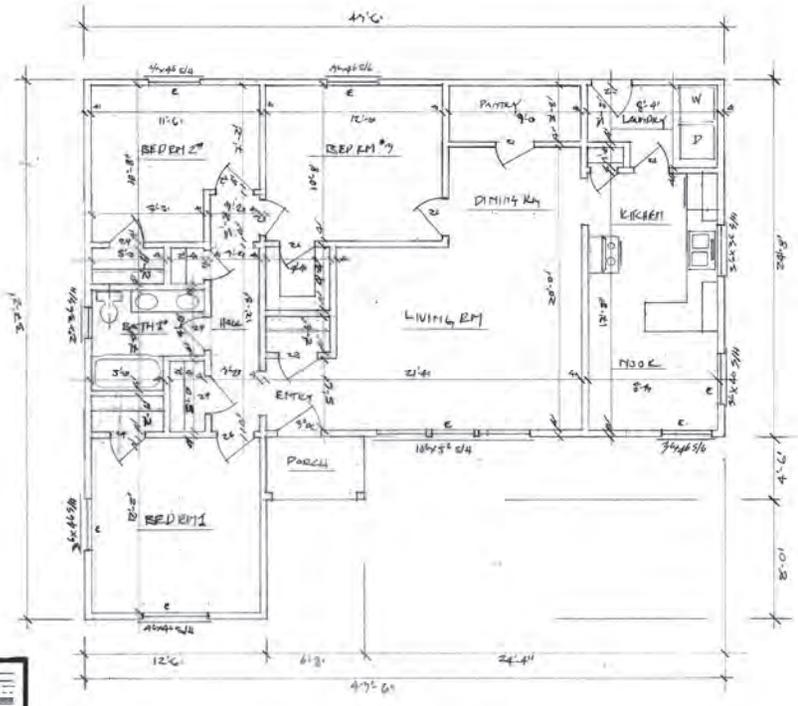


FLOOR PLAN: SCALE: (PROPOSED) 1/4"=1'-0"

NOTES

- ELEC. SYMBOLS
- TELEPHONE JACK
 - TV CABLE
 - SMOKER DETECTOR
 - GAS VALVE
 - LIGHT FIXTURE (CLG)
 - LIGHT FIXTURE (HALL)
 - FLUORESC. TUBE
 - HANDLIGHT
 - FAN
 - CENTRAL
 - WALL OUTLET
 - OUTLET 220V
 - JUNCTION BOX 220V
 - DOORBELL
 - CHIMNEY
 - 2 POLE SWITCH
 - 4 POLE SWITCH
 - SWITCH
 - HO HOSE END
 - SPRINKLER HEAD
 - SMOKE & CARBON DETECTOR

- EXISTING WALL
- REMOVED WALL
- NEW WALL
- R-19 CEIL INSUL.
- R-15 WALL INSUL.
- R-19 FLOOR INSUL.



FLOOR PLAN: SCALE: (EXISTING) 1/4"=1'-0"

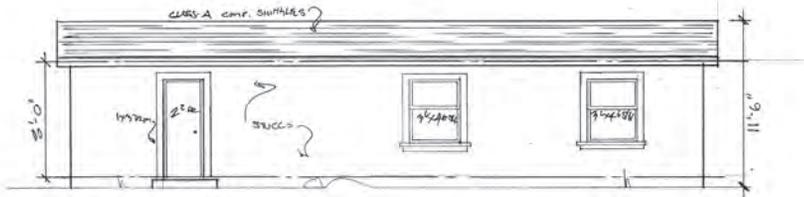
REVISION	BY
1/17/06	RD
12/02/06	RD

REMOVE ADDITION - BASIS
 1155 N. HANCOCK
 CAMPBELL, WISCONSIN

FLOOR PLAN
 PHONE (609) 261-0575

Drawn	RD

notes that all new materials (e.g., roofing, stucco, windows, etc.) will match existing materials.



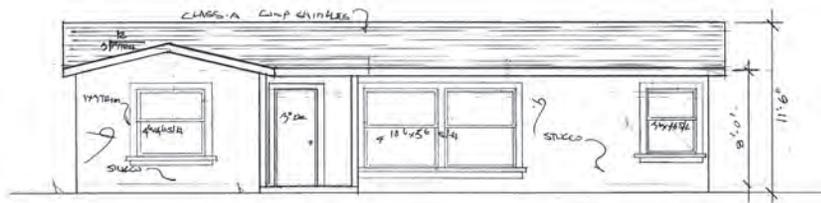
REAR ELEVATION: SCALE: (EXISTING)

1/4" = 1'-0"



REAR ELEVATION: SCALE: (PROPOSE)

1/4" = 1'-0"



FRONT ELEVATION: SCALE: (EXISTING)

1/4" = 1'-0"



FRONT ELEVATION: SCALE: (PROPOSE)

1/4" = 1'-0"

REVISIONS	BY
10/2/20	RS
12/20/20	DR

MODEL / ADDITION - DAVIS
115 HICKMAY
CAMPBELL, CALIF.

EXTERIOR ELEVATIONS
PHONE: (530) 844-0528

Date	6/11/2020
Scale	AS SHOWN
Drawn	DR/RS
Job	2020009
Sheet	12
Of 16	Sheets



FRONT LEFT



FRONT RIGHT



RIGHT SIDE



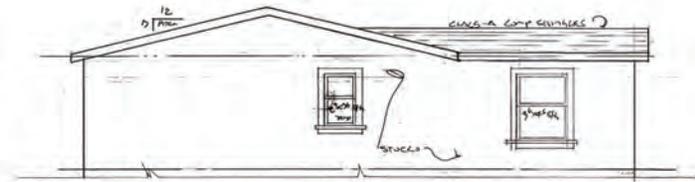
REAR



LEFT SIDE



LEFT ELEVATION: SCALE: (PROPOSE) 1/4"=1'-0"



LEFT ELEVATION: SCALE: (EXISTING) 1/4"=1'-0"



RIGHT ELEVATION: SCALE: (PROPOSE) 1/4"=1'-0"



RIGHT ELEVATION: SCALE: (EXISTING) 1/4"=1'-0"

REVISIONS	BY
10/20/20	PC
11/17/20	PC

MODEL / Addition - PAUL
 1183 HARMON RD
 TAMPA, FL 33613

EXTERIOR ELEVATIONS
 PHASE 00 3/4/2020

Date 11/16/20
 Scale 1/4"=1'-0"
 Draw BR/PC
 Job 202001
 Sheet 1/9
 Of 16 Sheets