



**CITY OF CAMPBELL**  
**Community Development Department**

January 15, 2021

**NOTICE OF PUBLIC HEARING**  
**THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **January 26, 2021**, for a Public Hearing to consider the application of Ana Manzo for a Site and Architectural Review Permit (PLN2019-235) to allow for the construction of a new 3,149 sq. ft. two-story single-family residence on property located at **1362 Hacienda Court**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

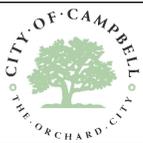
Interested persons may register to electronically participate in this Zoom PC meeting at [https://us02web.zoom.us/webinar/register/WN\\_CaZgE3SzQ0q4JsWeEOxQaA](https://us02web.zoom.us/webinar/register/WN_CaZgE3SzQ0q4JsWeEOxQaA). After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, January 22nd, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to [planning@campbellca.gov](mailto:planning@campbellca.gov). Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, January 15<sup>th</sup> on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

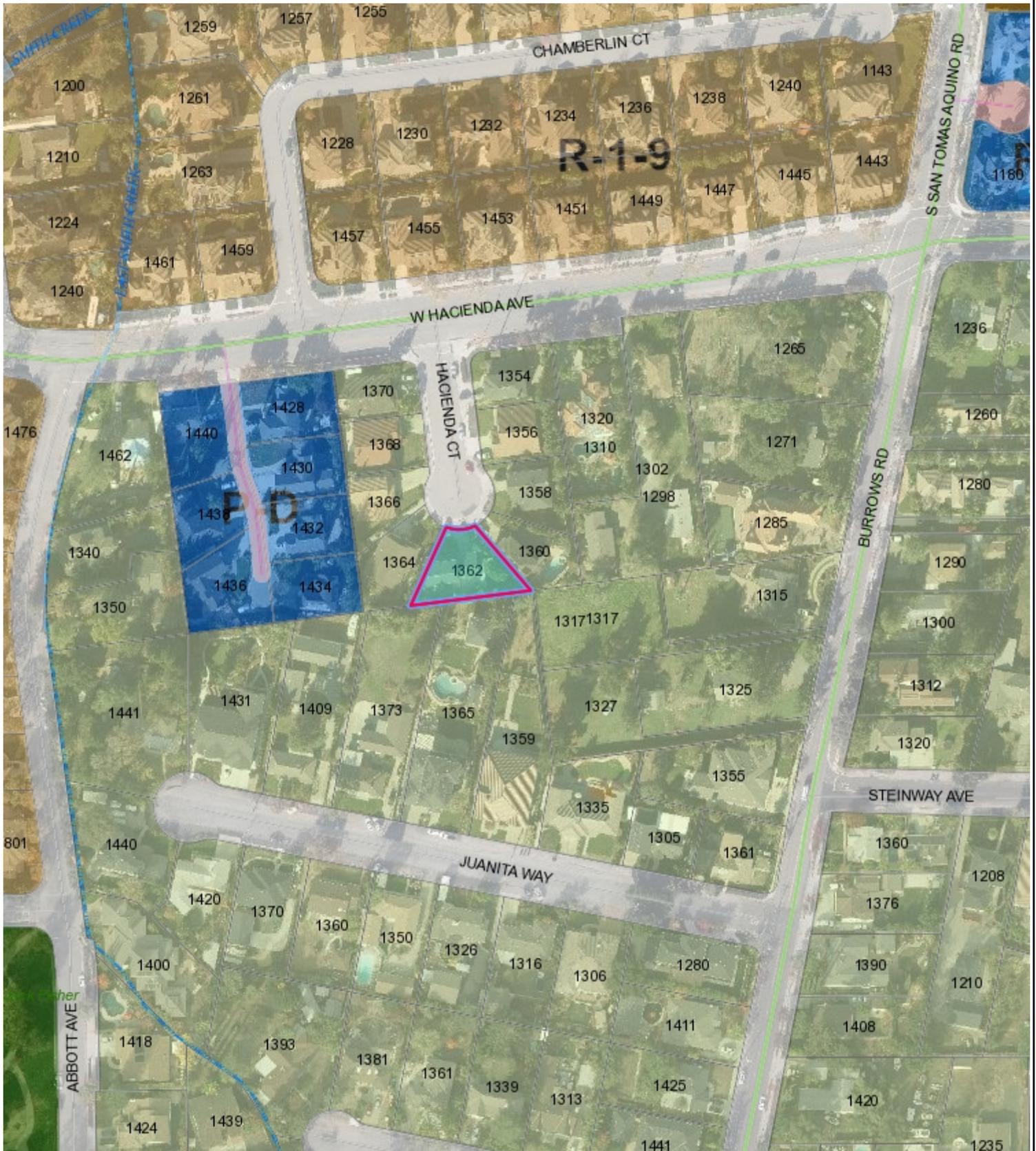
PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE:

When calling on this Notice, refer to **1362 Hacienda Court**



# 1362 Hacienda Court



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.











INTERIORS  
REMODEL +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

KAWAZOE CHANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019

6 DECEMBER 2019  
SITE + ARCH SUBMITTAL

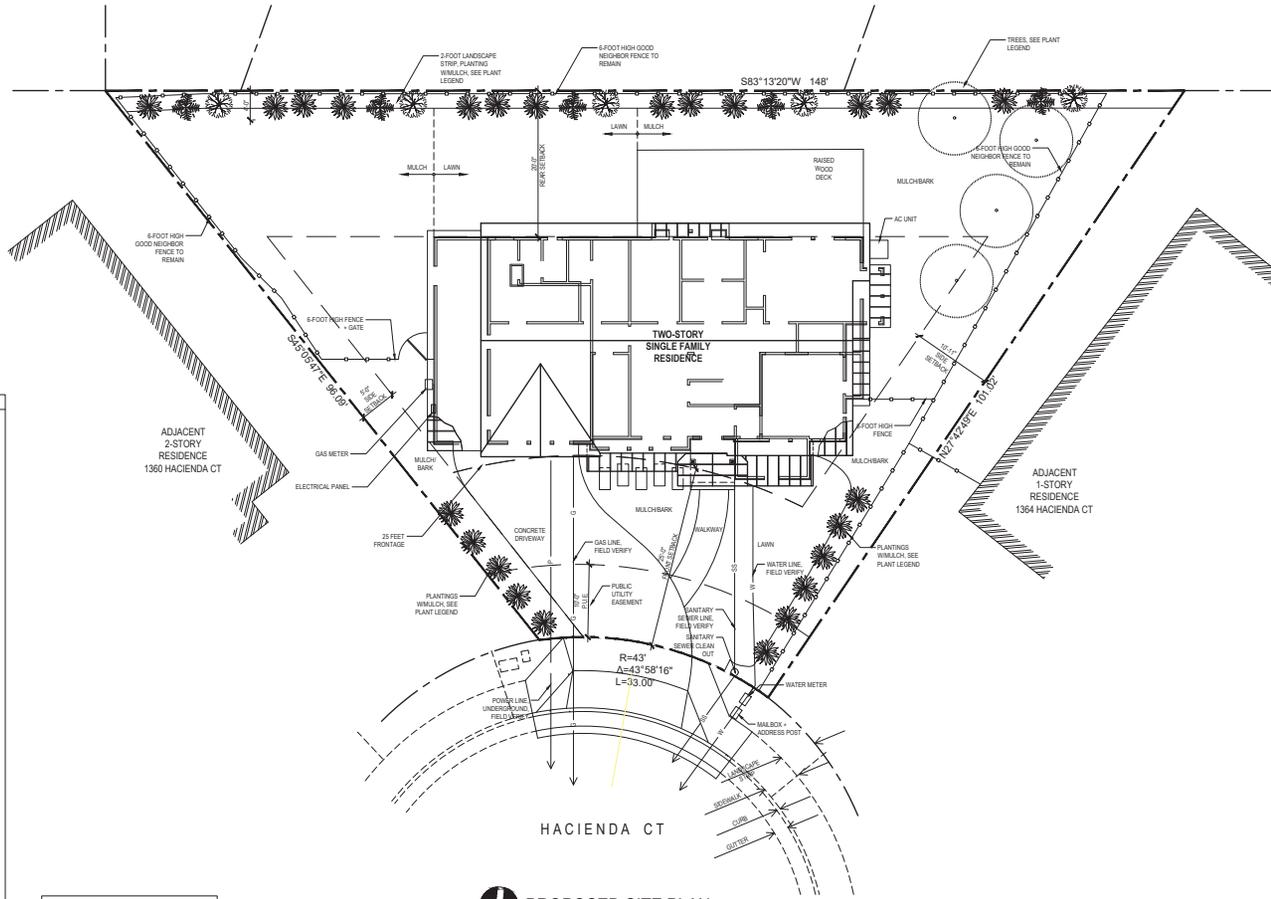
30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II

11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED SITE PLAN

A1.5



PLANT LEGEND	
	5 GALLON ESCALONIA PRUNUS
	5 GALLON BENERBE ROSE GLOW
	24" BOX TREE ARBUTUS MARINA
	24" BOX FRAXINUS RAYWOOD ASH TREE

**LANDSCAPE NOTES + REQUIREMENTS**

COMPLIANCE OPTIONS TO MODEL WATER EFFICIENT LANDSCAPE ORNANCE

TOTAL FRONT YARD: 1,482 SF, MIN. 50% UNPAVED = 741 SF  
LANDSCAPED AREA: 800 SF (57' LAWN + 317 MULCH), 60%  
PAVED AREA: 800 SF (42' DRIVEWAY + 33 MULCHWAY + 36 PORCH + 28 STEPS STONES), 40%

TOTAL LANDSCAPED AREA: 4,274 SF, MAX. 25% LAWN = 1,068 SF  
FRONT YARD: 800 SF (57' LAWN + 317 MULCH)  
REAR YARD: 3,384 SF (42' LAWN + 2,338 MULCH + 354 LANDSCAPE STRIP)

TOTAL LAWN AREA: 1,068 SF (57% FRONT + 48% REAR), 20%  
TOTAL REAR YARD: 3,796 SF (95% LAWN + 233 MULCH)  
354 LANDSCAPE STRIP (17% COVER)

MIN. ONE TREE PER 2,000 SF OF NET LOT AREA. 4 TREES REQUIRED. MIN. NO EXISTING TREES ON SITE. NO EXISTING IRRIGATION SYSTEM ON SITE.

PROJECT TYPE: DEMO OF EXISTING SINGLE FAMILY RESIDENCE FOR NEW WATER SUPPLY: SAN JOSE WATER CO.

STATEMENT: I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MODEL.

DATE: 12.11.2020

- INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO LANDSCAPE AREAS (UNLESS CONTRADICTION BY A SOIL TEST).
  - PLANT MATERIAL SHALL COMPLY WITH ALL OF THE FOLLOWING:
    - FOR RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE MUCOLS PLANT FACTOR IS 1.0 FOR 70% OF THE PLANT AREA INCLUDING EMBELLS AND AREAS USING RECYCLED WATER. FOR NON-RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE MUCOLS PLANT FACTOR IS FOR 10% OF THE NET AREA INCLUDING EMBELLS AND AREAS USING RECYCLED WATER).
    - A MINIMUM THREE (3) INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, DRIVEWAYS OR HOVING AREAS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRADICTION.
  - TURF SHALL COMPLY WITH ALL OF THE FOLLOWING:
    - TURF SHALL NOT EXCEED 20% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS, AND THERE SHALL BE NO TURF IN NON-RESIDENTIAL AREAS.
    - TURF SHALL NOT BE LAID IN SLOPED AREAS WHICH EXCEED A SLOPE OF 1 FOOT VERTICAL ELEVATION CHANGE FOR EVERY 4 FEET OF HORIZONTAL LENGTH.
    - TURF IS PROHIBITED IN PARAWAYS LESS THAN 10 FEET WIDE, UNLESS THE PARAWAY IS ADJACENT TO A PARKING STRIP AND USED TO ENTER AND EXIT VEHICLES. ANY TURF IN PARAWAYS MUST BE IRRIGATED BY SUBSURFACE IRRIGATION OR BY OTHER TECHNOLOGY THAT CREATES NO OVERSPRAY OR RUNOFF.
  - IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING:
    - AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
    - IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOGE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
    - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
    - MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
    - ALL IRRIGATION EMISSION DEVICES SHALL MEET THE REQUIREMENTS SET IN THE ANSI STANDARD ASABR/IC 802.014 "LANDSCAPE IRRIGATION EMISSION AND EMISSION TESTS". ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY COEFFICIENT OF 0.8 OR HIGHER USING THE PROTOCOL DEFINED IN ASABR/IC 802.014.
    - AREAS LESS THAN TEN (10) FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCE NO RUNOFF OR OVERSPRAY.
  - FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, A PRIVATE SUBMITTAL TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A LETTER OF WORK COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

SITE DATA	
EXISTING IMPERVIOUS AREA:	
RESIDENCE	788 SF
ATTACHED GARAGE	948 SF
DRIVEWAY	94 SF
PORCHES	147 SF
MULCH	788 SF
TOTAL	2,765 SF
PROPOSED IMPERVIOUS AREA:	
RESIDENCE	1,189 SF
ATTACHED GARAGE	150 SF
DRIVEWAY	475 SF
PORCH	30 SF
MULCH	81 SF
TOTAL	2,735 SF
NET CHANGE	-43 SF
LOT AREA:	7,038 SF
SITE COVERAGE:	
EXISTING	39%
PROPOSED	33%
NUMBER OF PARKING:	2 (ON SITE)



PROPOSED SITE PLAN

- GENERAL NOTES:**
- THE SITE IS FLAT AND REQUIRES NO GRADING (UNLESS NOTED).
  - MAINTAIN EXISTING DRAINAGE PATTERN.
  - EXISTING WATER AND SEWER SERVICE TO REMAIN AS-IS.
  - CONTRACTOR TO VERIFY UTILITIES & STREET NUMBER & ROADSIDE IN FRONT OF PROJECT.
  - THE LANDING SHALL NOT BE MORE THAN 7"3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1-1/2" AT DOORS SWINGING OVER THE LANDING.
  - LANDING LENGTH SHOULD NOT EXCEED 3" CIRC OR 6" WITH A WIDTH EQUAL THAT OF THE ADJACENT OPENING.
  - ALL DOWNSPUTS SHALL HAVE A BRUSH ROD AND BE DIRECTED TO LANDSCAPED AREAS.
  - FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL GABLES.
  - FINISH GRADE AROUND STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET (CIRC 1804).
  - IMPERVIOUS SURFACES WITHIN 15 FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CIRC 1804.3)

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	FENCE
	GAS LINE
	WATER LINE
	POWER LINE
	SANITARY SEWER LINE



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019

6 DECEMBER 2019  
SITE + ARCH SUBMITTAL

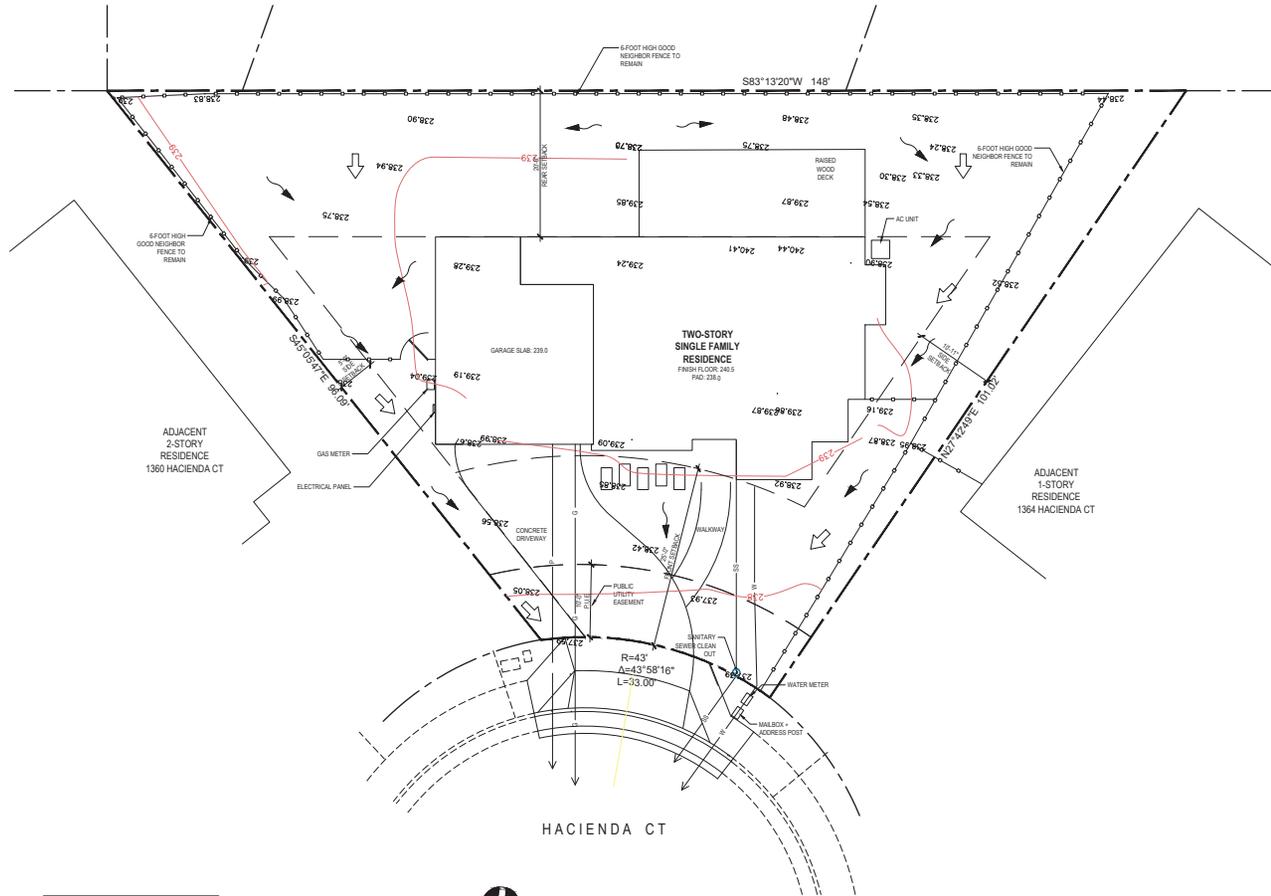
30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II

11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED GRADING  
REQUIREMENTS

A1.6



SITE DATA:	
EXISTING IMPERVIOUS AREA:	
RESIDENCE	1,284 SF
DRIVEWAY	564 SF
HARDSCAPE	387 SF
TOTAL	2,235 SF
PROPOSED IMPERVIOUS AREA:	
RESIDENCE	1,140 SF
DRIVEWAY	470 SF
HARDSCAPE	117 SF
TOTAL	1,727 SF
NET CHANGE	-17 SF
LOT AREA:	7,036 SF
SITE COVERAGE:	
EXISTING	39%
PROPOSED	33%
NUMBER OF PARKING:	
EXISTING	2 (GARAGE)
PROPOSED	2 (DRIVEWAY)
NO INCREASE/DECREASE IN GRADING	
NO CUT/FILL QUANTITIES	



**PROPOSED SITE PLAN**

BASE OF ELEVATION: CITY OF CAMPBELL  
BENCH-MARK: "B" ELEVATION 237.77'  
SEE TOPOGRAPHIC MAP FOR ADDITIONAL INFORMATION

- GENERAL NOTES:**
1. THE SITE IS FLAT AND REQUIRES NO GRADING ANTICIPATED.
  2. MAINTAIN EXISTING DRAINAGE PATTERNS.
  3. EXISTING WATER AND SEWER SERVICE TO REMAIN AS-IS.
  4. ALL DOWNSPUTS SHALL HAVE A SPILLWAY BOX AND BE DIRECTED TO LANDSCAPED AREAS.
  5. FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL EAVES.
  6. FINISH GRADE AROUND STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 1% FOR A MINIMUM DISTANCE OF 10 FEET (CIBC 1854.3).
  7. IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING (CIBC 1854.3).

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	FENCE
	GAS LINE
	WATER LINE
	POWER LINE
	SANITARY SEWER LINE
	DIRECTION OF SURFACE FLOW
	OVERLAND RELEASE



STUDIO THREE DESIGN  
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TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



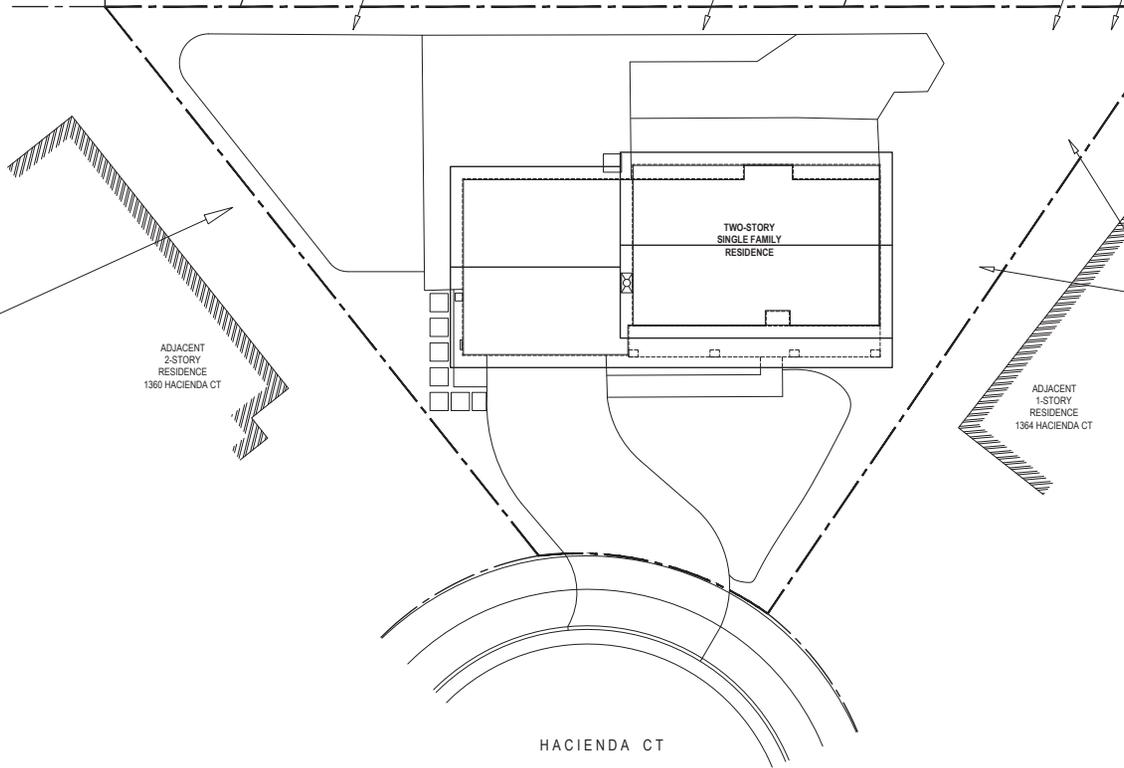
TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREE ON ADJACENT PROPERTY,  
 FOR REFERENCE ONLY



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES

NO CONSTRUCTION IN DRIPLINE

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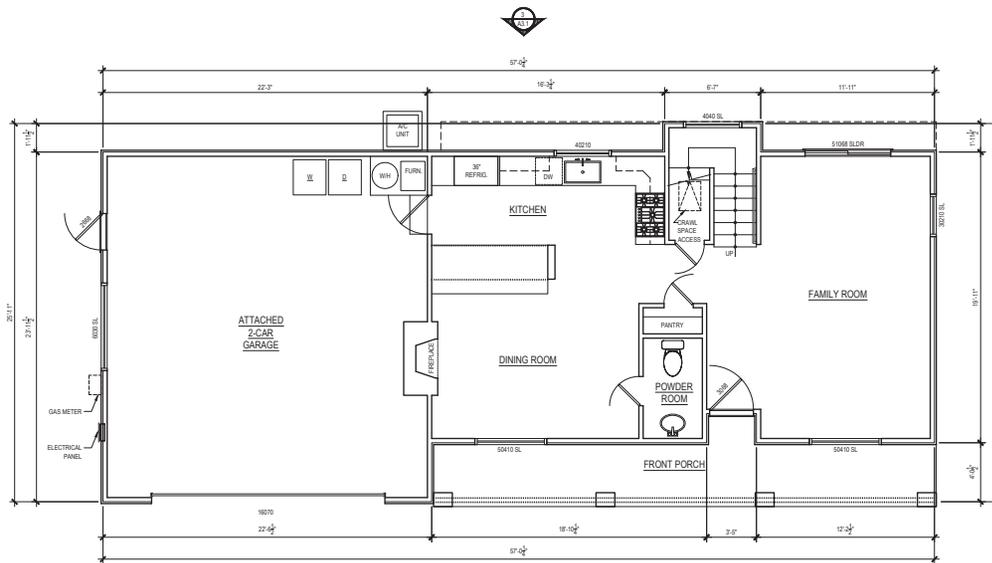
SCALE: NTS

TREE SURVEY

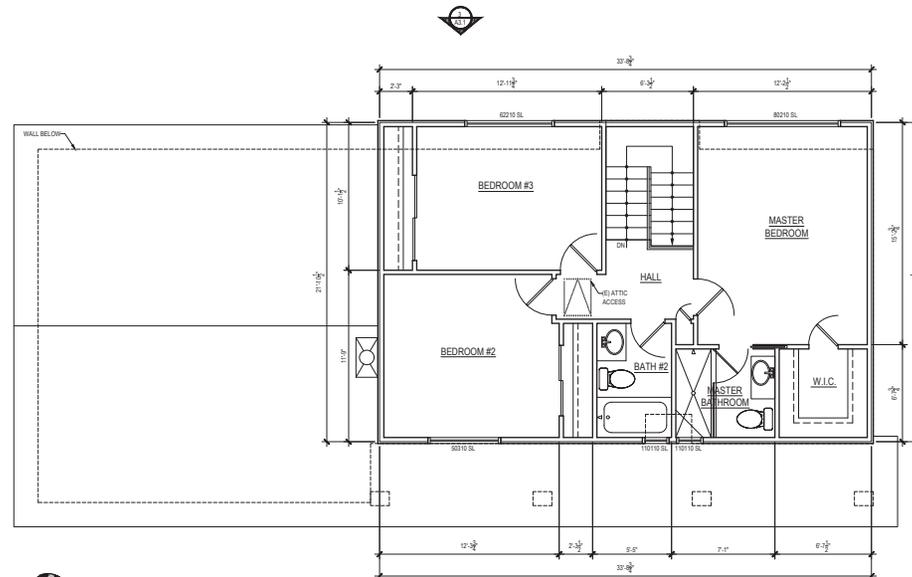
A1.7



INTERIORS  
 REMODELE +  
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 **EXISTING FIRST FLOOR PLAN**  
 (FOR REFERENCE ONLY)



 **EXISTING SECOND FLOOR PLAN**  
 (FOR REFERENCE ONLY)

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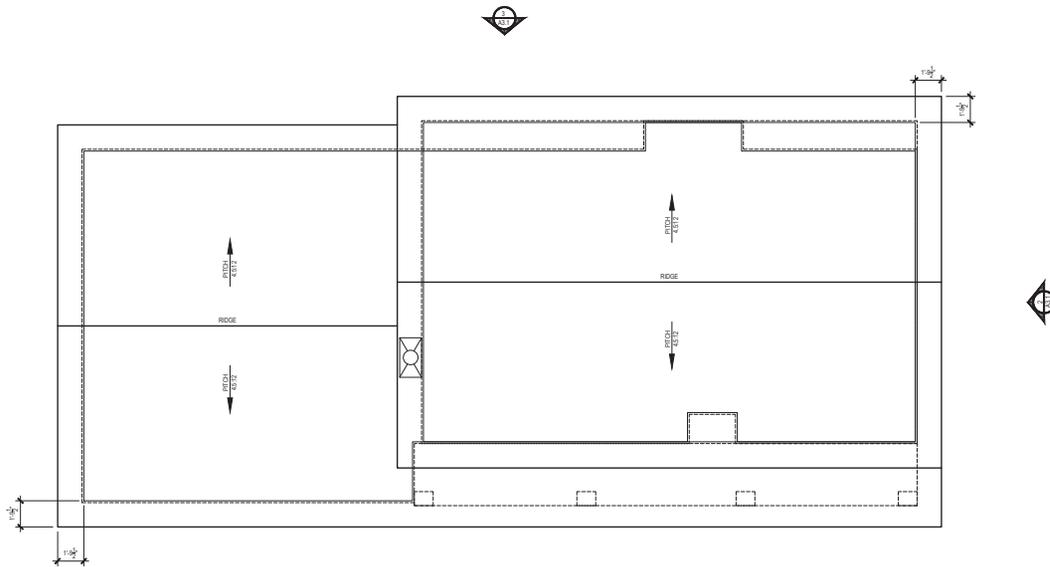
SCALE: 1/8" = 1'-0"

EXISTING FIRST + SECOND  
 FLOOR PLANS  
 (FOR REFERENCE ONLY)

**A2.1**



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 NORTH  
 EXISTING ROOF PLAN  
 (FOR REFERENCE ONLY)

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SCALE: 1/2" = 1'-0"

EXISTING ROOF PLAN  
 (FOR REFERENCE ONLY)

**A2.2**



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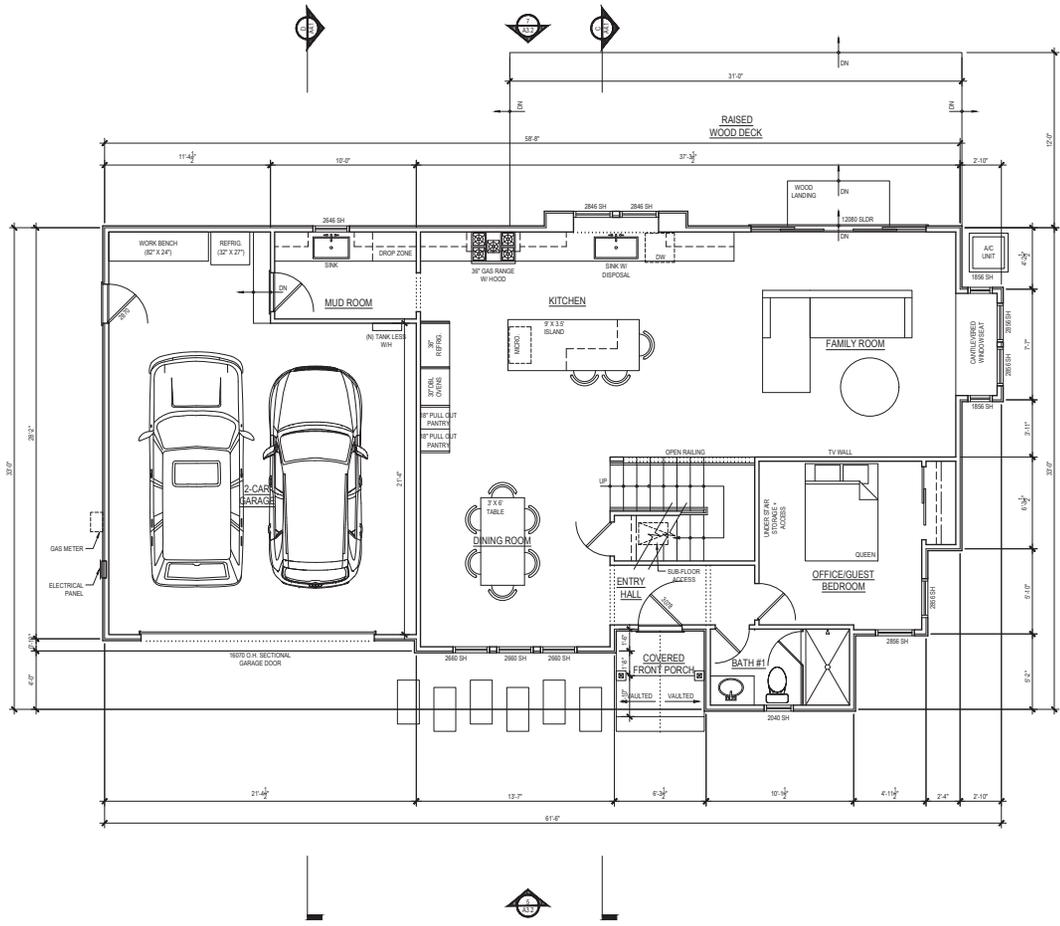
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PROPOSED  
 FIRST FLOOR PLAN

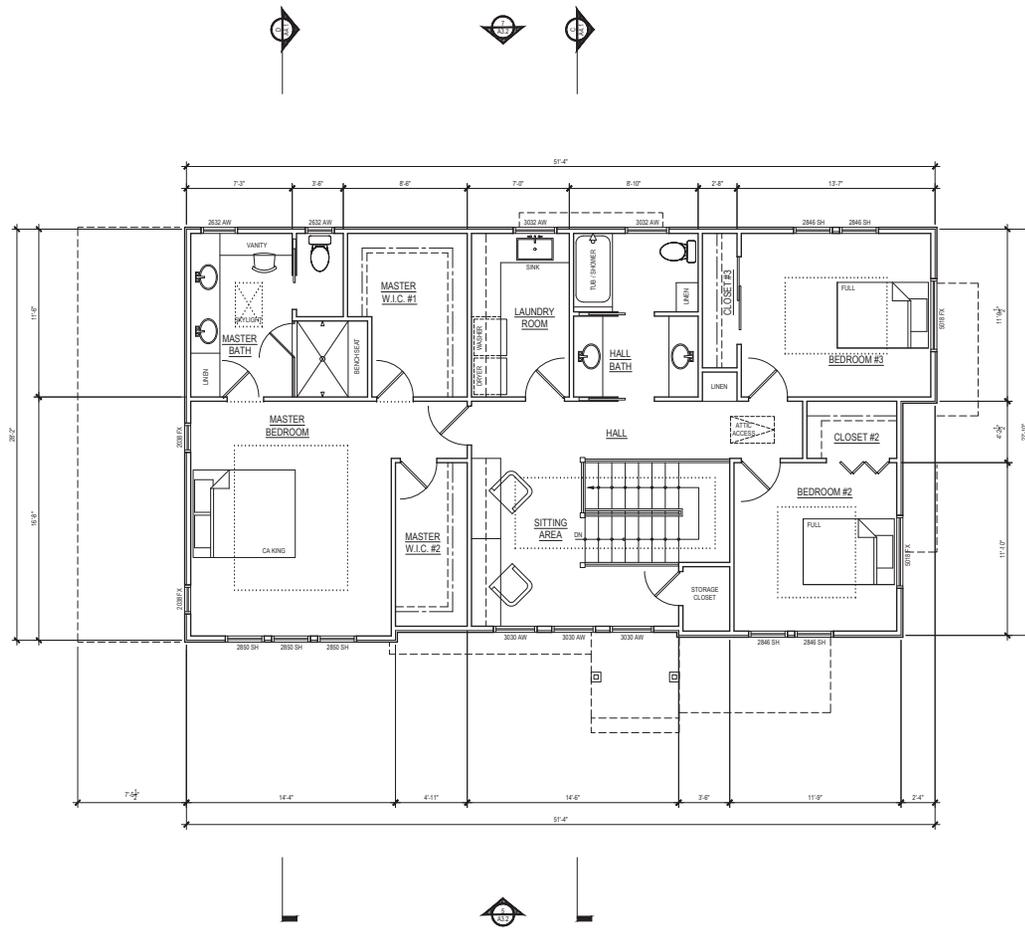
**A2.3**



 **PROPOSED FIRST FLOOR PLAN**



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 **PROPOSED SECOND FLOOR PLAN**

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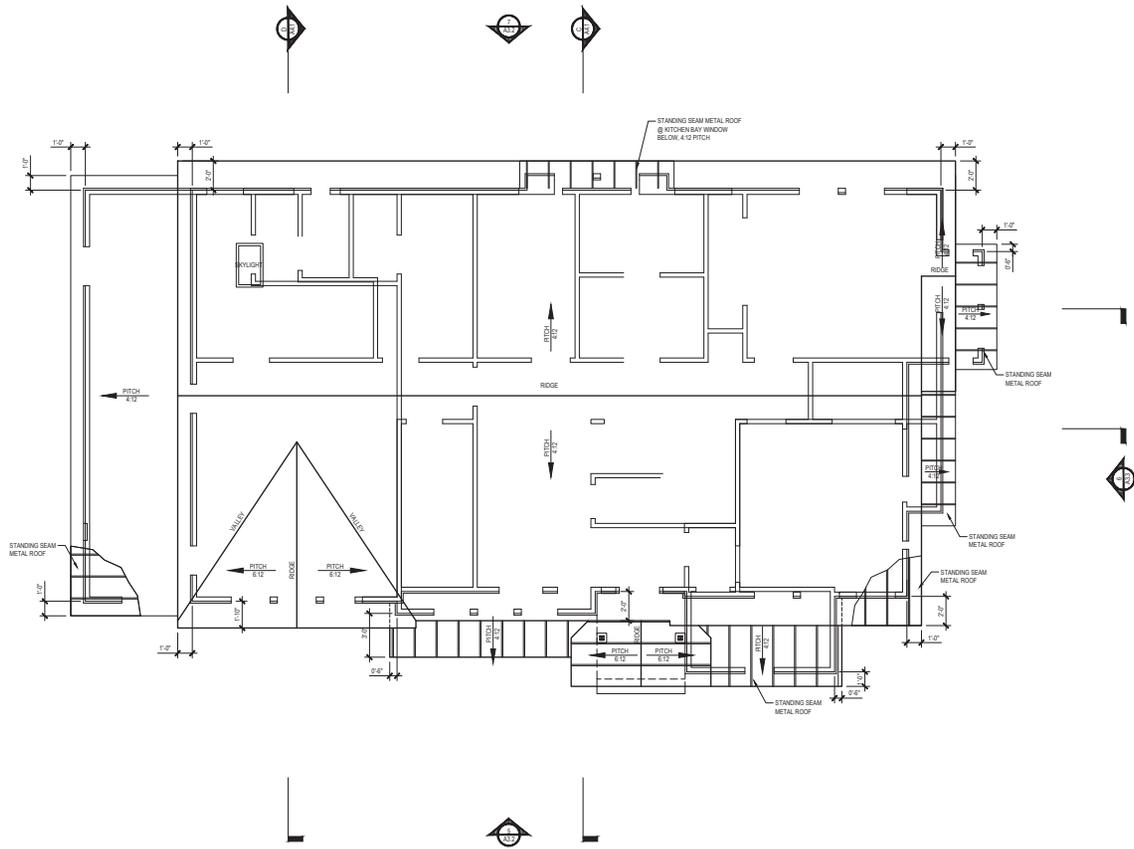
SCALE: 1/8" = 1'-0"

PROPOSED  
 SECOND FLOOR PLAN

**A2.4**



INTERIORS  
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 PROPOSED ROOF PLAN

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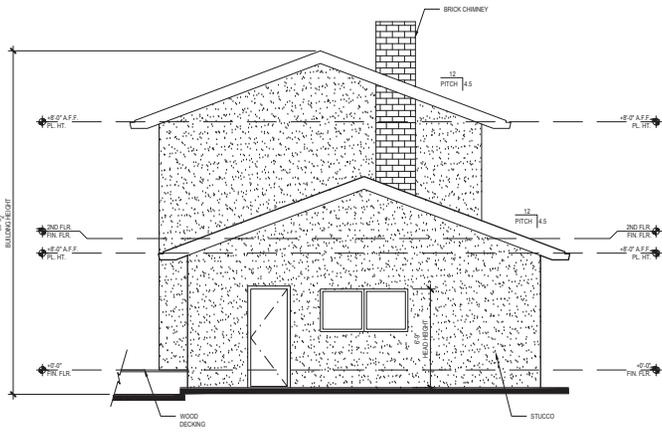
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PROPOSED ROOF PLAN



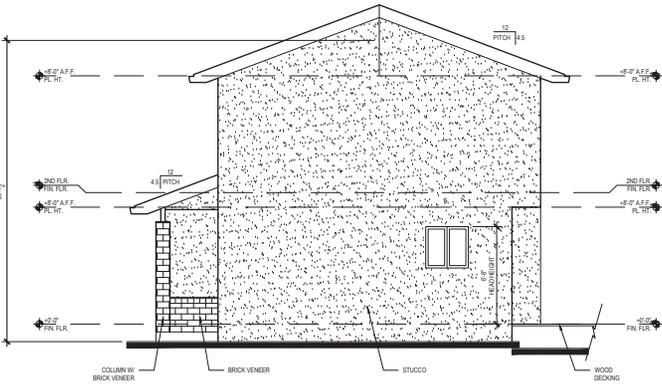
INTERIORS  
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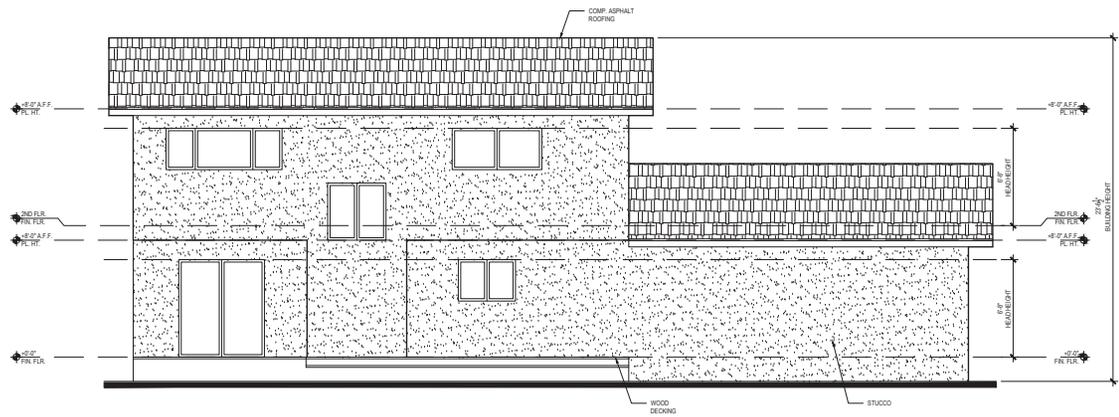
2 - EXISTING EAST ELEVATION FOR REFERENCE ONLY



1 - EXISTING NORTH ELEVATION, FOR REFERENCE ONLY  
 (FRONT - HACIENDA CT)



4 - EXISTING WEST ELEVATION FOR REFERENCE ONLY



3 - EXISTING SOUTH ELEVATION FOR REFERENCE ONLY

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EXISTING EXTERIOR  
 ELEVATIONS  
 (FOR REFERENCE ONLY)

**A3.1**

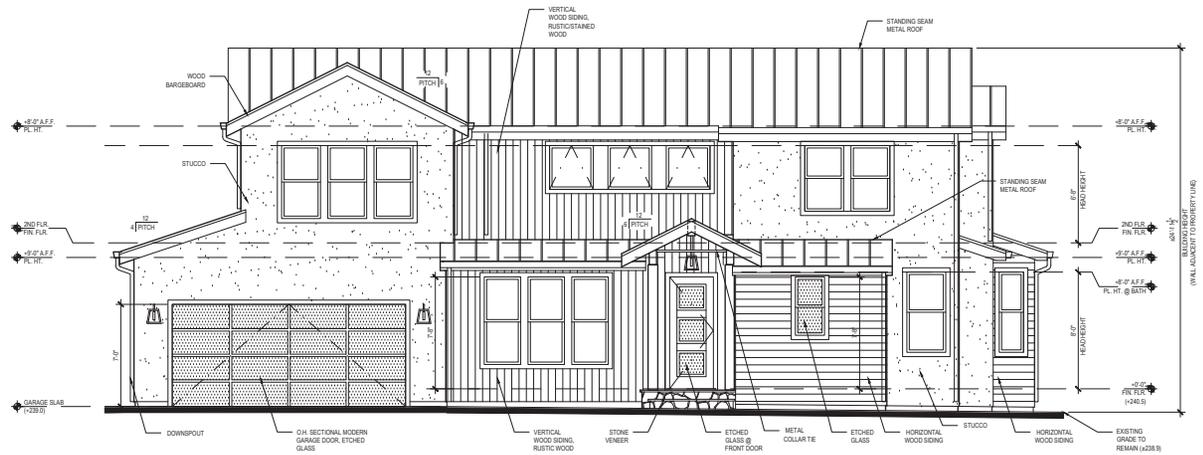


INTERIORS  
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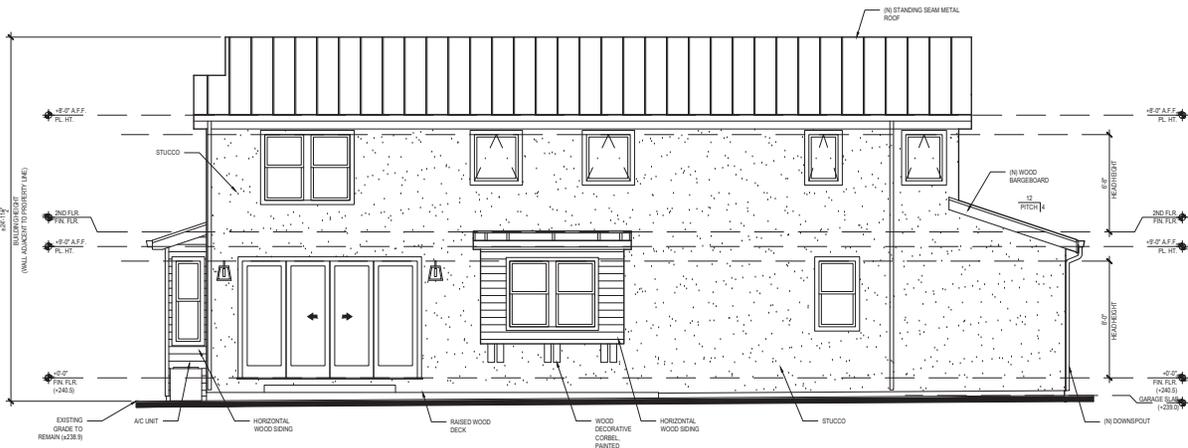
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MATERIALS NOTES:	
STUCCO:	SMOOTH FINISH, PAINTED BENJAMIN MOORE HC-168, OR APPROVED EQ.
SIDING:	I) HARDIE ARTISAN SHIP-LAP SIDING, HORIZONTAL, PAINTED BENJAMIN MOORE AC-2, OR APPROVED EQ. J) VERTICAL WOOD SIDING, RUSTIC WOOD, OR APPROVED EQ. K) DORADO/CYPRESS RIDGE/CATANIA, OR APPROVED EQ.
STONE VENEER:	EL DORADO/CYPRESS RIDGE/CATANIA, OR APPROVED EQ.
WINDOWS:	SIERRA PACIFIC WINDOW, BLACK ALUMINUM CLAD
WINDOW TRIM:	EXTENDED WOOD INTERIOR, OR APPROVED EQ.
POSTS & BEAMS:	WRAPPED, CHERRY SOUTH WESTERN, OR APPROVED EQ.
ROOFING:	TAYLOR STANDING SEAM METAL ROOF, BLACK SR-25, OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M. BENJAMIN MOORE 2128-20, OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE 2128-20, OR APPROVED EQ.
DOWNPOUTS:	PAINTED G.S.M. BENJAMIN MOORE HC-168, OR APPROVED EQ.
FRONT DOOR:	KELLEHER CORP. DOOR, 304G-G, ETCHED GLASS, OR APPROVED EQ.
GARAGE DOOR:	NORTHWEST DOOR, MODERN CLASSIC GARAGE DOOR, DARK BRONZE, ANODIZED FRAME, INSULATED STAIN ETCHED GLASS, OR APPROVED EQ.



**5 - PROPOSED NORTH ELEVATION  
(FRONT - HACIENDA CT)**

(ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF, BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASES OF ELEVATION  
CITY OF CAMPBELL, BENCHMARK, '86 ELEVATION 237.77.  
SEE SHEETS 1-1 & A1.6 FOR ADDITIONAL INFORMATION.



**7 - PROPOSED SOUTH ELEVATION**

(ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF, BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASES OF ELEVATION  
CITY OF CAMPBELL, BENCHMARK, '86 ELEVATION 237.77.  
SEE SHEETS 1-1 & A1.6 FOR ADDITIONAL INFORMATION.

KAWAZDE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-1062

19 FEBRUARY 2019  
6 DECEMBER 2019  
SITE + ARCH SUBMITTAL  
30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II  
11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

**A3.2**



STUDIO THREE DESIGN

INTERIORS  
REMEDIATEL +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

MATERIALS NOTES:	
STUCCO:	SMOOTH FINISH, PAINTED BENJAMIN MOORE HC-168, OR APPROVED EQ.
SIDING:	1) HARDSIDE ARTISAN SHIP-LAP SIDING, HORIZONTAL, PAINTED BENJAMIN MOORE A-C, OR APPROVED EQ. 2) VERTICAL WOOD SIDING, PLSTIC WOOD, OR APPROVED EQ. 3) DORADO/CYPRESS RIDGE/CATANIA, OR APPROVED EQ.
STONE VENEER:	EL DORADO/CYPRESS RIDGE/CATANIA, OR APPROVED EQ.
WINDOWS:	SIERRA PACIFIC WINDOW, BLACK ALUMINUM CLAD
WINDOW TRIM:	EXTENDS WOOD INTERIOR, OR APPROVED EQ.
POSTS & BEAMS:	WRAPPED, CHERRY SOUTH WESTERN, OR APPROVED EQ.
ROOFING:	TAYLOR STANDING SEAM METAL ROOF, BLACK SRI-20, OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M., BENJAMIN MOORE 2128-20, OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE 2128-20, OR APPROVED EQ.
DOWNSPOUTS:	PAINTED G.S.M., BENJAMIN MOORE HC-168, OR APPROVED EQ.
FRONT DOOR:	KELLEHER CORP. DOOR, 304G-G, ETCHED GLASS, OR APPROVED EQ.
GARAGE DOOR:	NORTHWEST DOOR, MODERN CLASSIC GARAGE DOOR, DARK BRONZE, ANODIZED FRAME, INSULATED STAIN ETCHED GLASS, OR APPROVED EQ.



### 6 - PROPOSED EAST ELEVATION

ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF (BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASIS OF ELEVATION:  
CITY OF CAMPBELL BENCHMARK '89 ELEVATION 237.77.  
SEE SHEETS T-1 & T-6 FOR ADDITIONAL INFORMATION.



### 8 - PROPOSED WEST ELEVATION

ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF (BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASIS OF ELEVATION:  
CITY OF CAMPBELL BENCHMARK '89 ELEVATION 237.77.  
SEE SHEETS T-1 & T-6 FOR ADDITIONAL INFORMATION.

KAWAZOE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019

6 DECEMBER 2019

SITE + ARCH SUBMITTAL

30 SEPTEMBER 2020

SITE + ARCH SUBMITTAL II

11 DECEMBER 2020

SITE + ARCH SUBMITTAL III

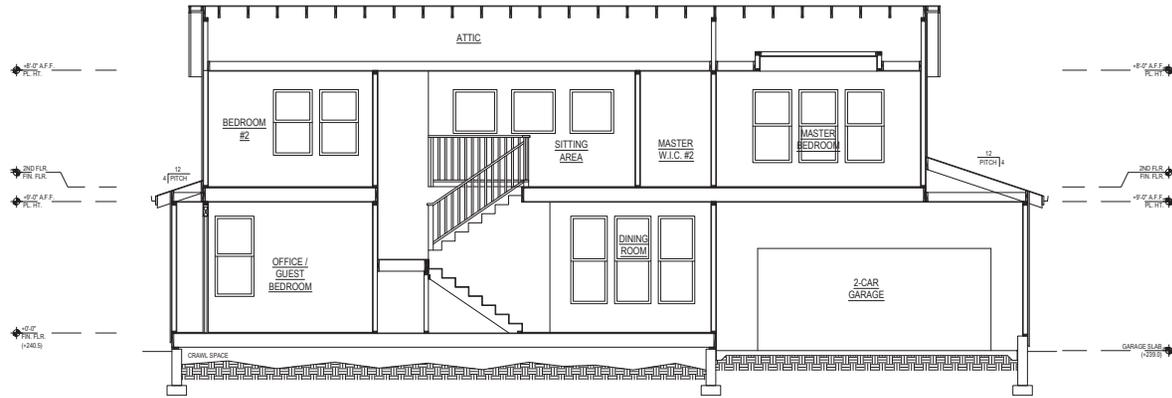
SCALE: 1/8" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

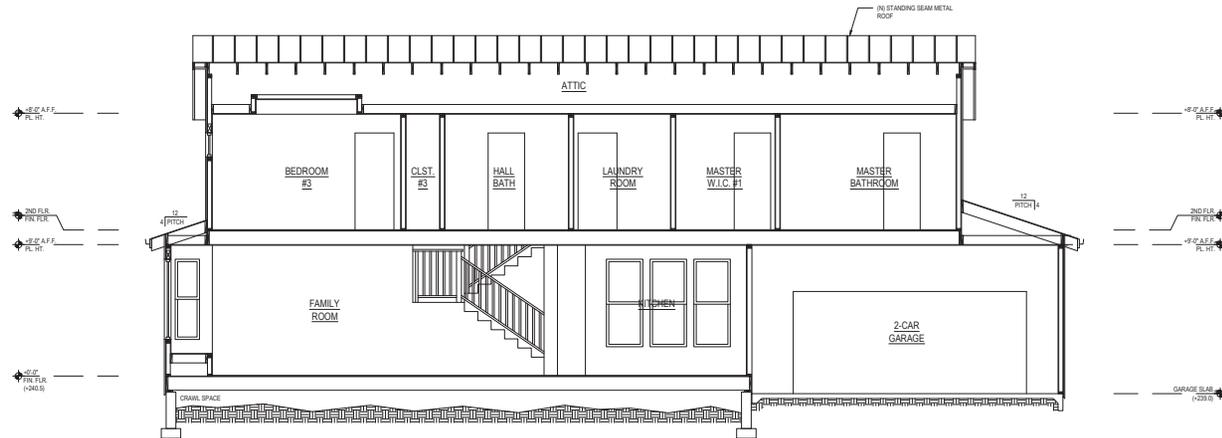
A3.3



INTERIORS  
 REMODEL +  
 ADDITIONS  
 NEW CONSTRUCTION  
 638 UNIVERSITY AVE  
 LOS GATOS  
 CALIFORNIA  
 95032  
 T 408.292.3252  
 F 253.399.1125



A - BUILDING SECTION



B - BUILDING SECTION

KAWAZOE CHUANG  
 1362 HACIENDA CT  
 CAMPBELL,  
 CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019  
 6 DECEMBER 2019  
 SITE + ARCH SUBMITTAL  
 30 SEPTEMBER 2020  
 SITE + ARCH SUBMITTAL II  
 11 DECEMBER 2020  
 SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

BUILDING SECTIONS

A4.1





VICINITY MAP  
N.T.S.

# PLANS FOR NEW DRIVEWAY AND ENCROACHMENT PERMIT

LANDS OF KAWAZOE/CHUANG  
1362 HACIENDA COURT  
CAMPBELL, CALIFORNIA  
A.P.N. 403-16-082

## SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS

## GENERAL NOTES

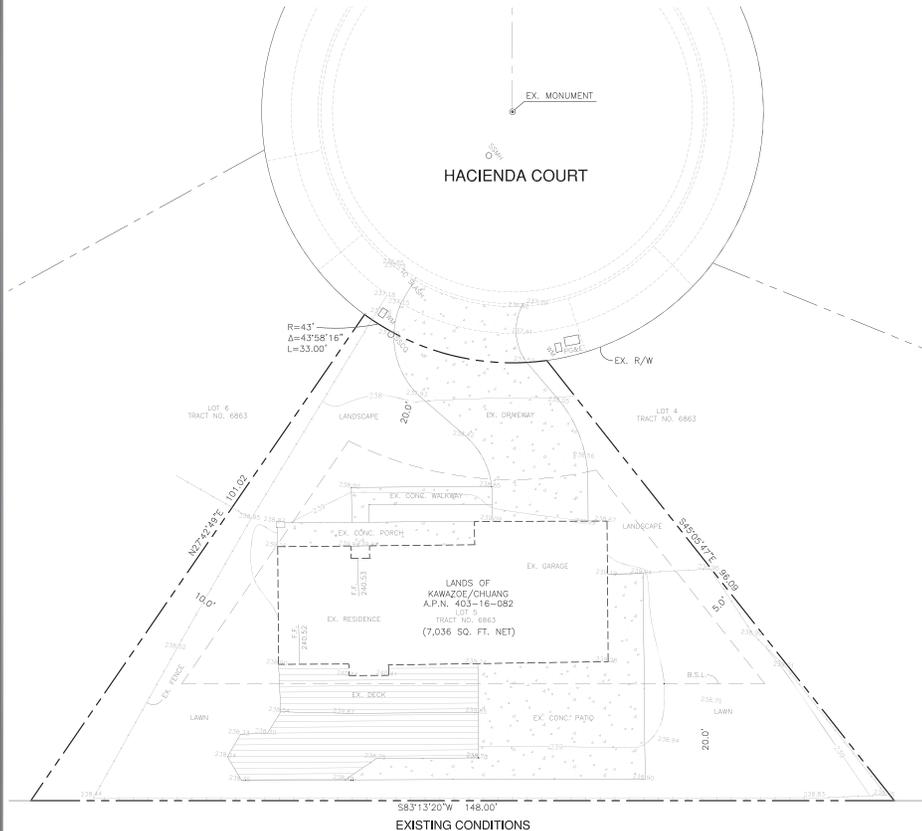
1. THE DATE OF THE FIELD SURVEY WAS APRIL 2019 AND MARCH 2020
2. CONTOUR INTERVAL IS 1-FOOT WITH SPOT ELEVATIONS.
3. THIS TOPOGRAPHIC MAP REPRESENTS SURFACE FEATURES ONLY.
4. BASIS OF ELEVATION: CITY OF CAMPBELL
5. BENCHMARK: 78" ELEVATION: 037.77
6. PROPERTY LINES SHOWN ARE RECORD DATA.
7. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

## PROPERTY INFORMATION

EX. ZONING: R-115 (SAN THOMAS AREA NEIGHBORHOOD PLAN)  
SETBACKS: FRONT = 20'  
SIDE = 5 & 10'  
REAR = 20'



DESIGNED BY:	V.S.	DATE:	08/22	RELEASED TO:	CITY	BY:	V.S.
DRAWN BY:	R.S.C.	SCALE:	AS SHOWN	PROJECT:	ENCROACHMENT		
CHECKED BY:	V.S.						
DATE:	08/22						
PROJECT NO.:	29155B						
PROJECT NAME:	ENCROACHMENT						
PROJECT ADDRESS:	1362 HACIENDA COURT						
PROJECT CITY:	CAMPBELL, CALIFORNIA						

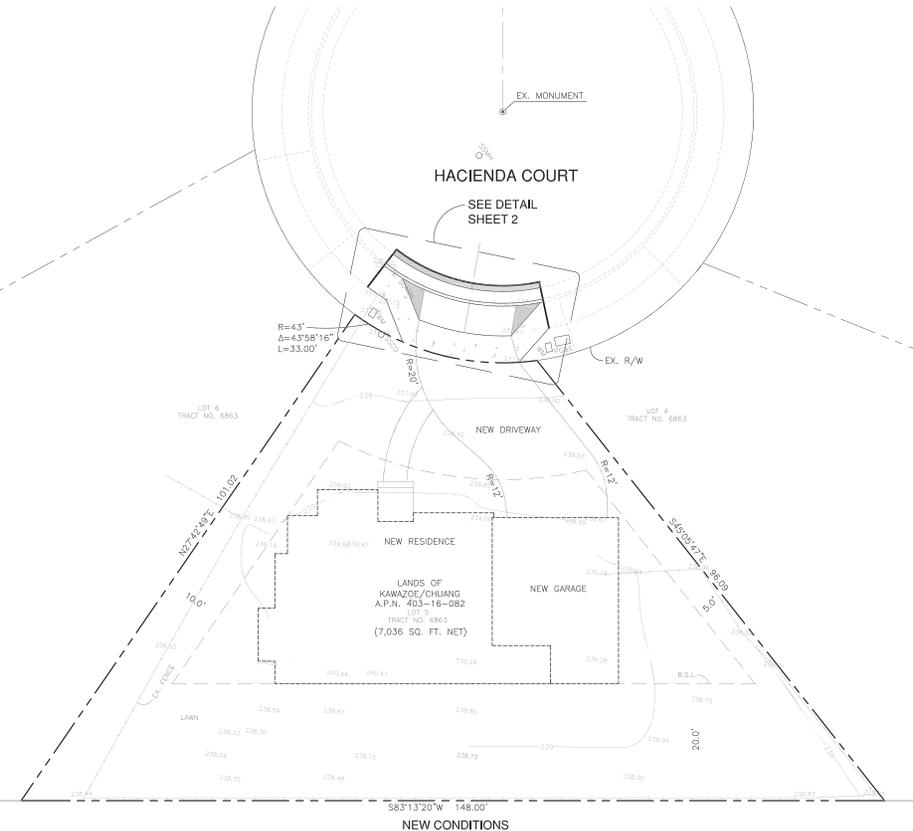


EXISTING CONDITIONS



SITE PLAN  
SCALE: 1"=10'

SCALE: 1"=10'



NEW CONDITIONS



SITE PLAN  
SCALE: 1"=10'

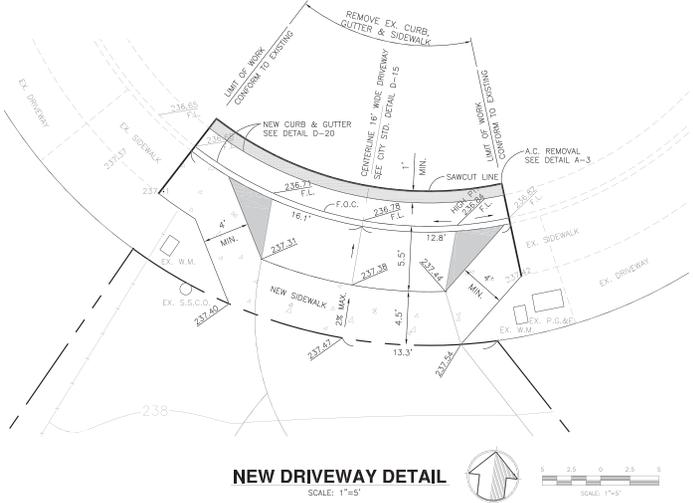
SCALE: 1"=10'

**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTERLINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	EXISTING STRUCTURES
	EXISTING CURB, GUTTER & SIDEWALK
	NEW CURB, GUTTER & SIDEWALK

**TITLE SHEET**  
LANDS OF KAWAZOE/CHUANG  
1362 HACIENDA COURT  
CAMPBELL, CALIFORNIA

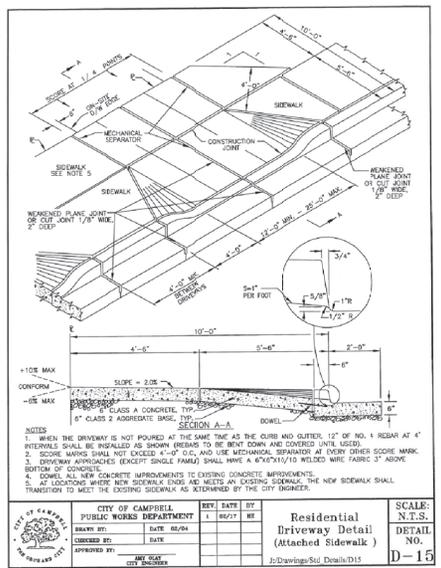
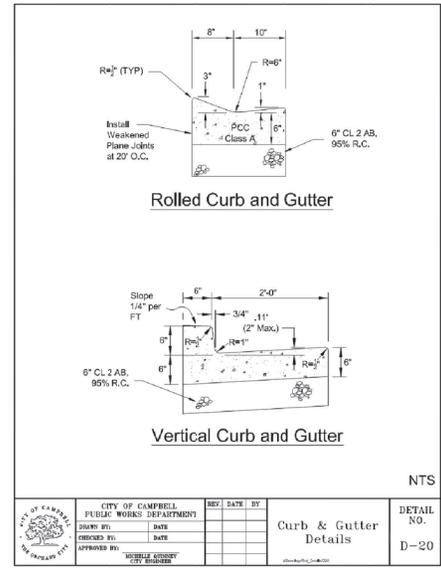
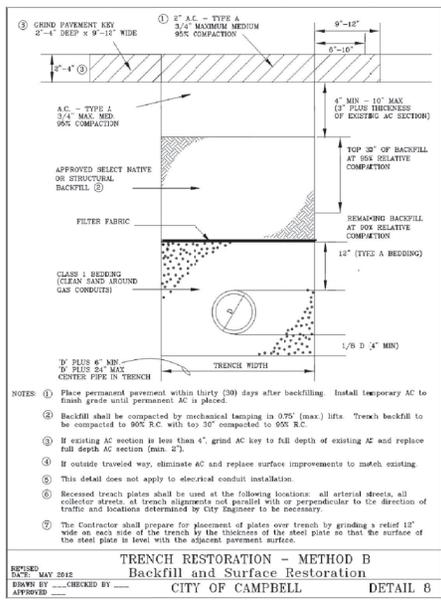
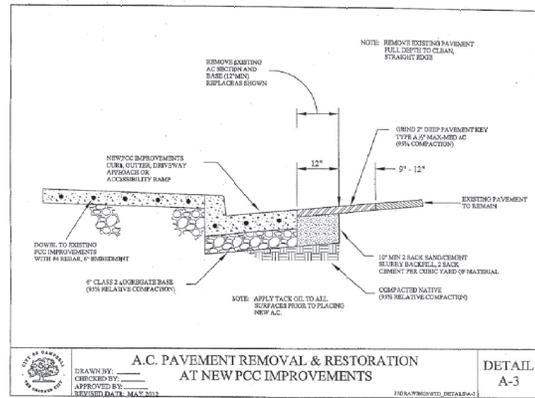
SHEET NUMBER  
**1**  
OF 2 SHEETS  
DRAWING NO.  
20012-1



**WARNING**  
CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT 811 TWO (2) WORKING DAYS PRIOR TO START OF WORK.

**NOTE**  
NOTIFY UTILITY COMPANIES TO DISCONNECT ELECTRIC, GAS, WATER, TELEPHONE AND CABLE SERVICES PRIOR TO DEMOLITION.

**SPECIAL NOTE**  
1. ALL WORKS WITHIN PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE CITY OF CAMPBELL'S STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (DATED JULY 1994)



DESIGNED BY	V.S.	DATE	
DRAWN BY	R.S.C.	DATE	
CHECKED BY	V.S.	DATE	
APPROVED BY	V.S.	DATE	
SCALE	AS SHOWN	REVISION	DESCRIPTION

PEOPLES ASSOCIATES  
STRUCTURAL ENGINEERS  
15665 HACHENDA COURT  
CAMPBELL, CALIFORNIA 95008  
TEL: 925-558-9121 FAX: 925-558-2121

**DETAILS**  
LANDS OF KAWAZOE/CHUANG  
15665 HACHENDA COURT  
CAMPBELL, CALIFORNIA



Artisan shiplap siding,  
 Horizontal,  
 Benjamin Moore AC-2



Fascia & Gutter,  
 Painted,  
 Benjamin Moore 2128-20



Taylor standing  
 seam metal roof,  
 Black SRI-29



Kelleher Corp. door,  
 9042-G



Wood posts and beams,  
 Cherry South Western



Stone Veneer,  
 El Dorado/Cypress Ridge/  
 Catina



Stucco,  
 Smooth finish,  
 Benjamin Moore HC-168



Modern Classic garage door,  
 Dark bronze anodized frame,  
 insulated stain etched glass



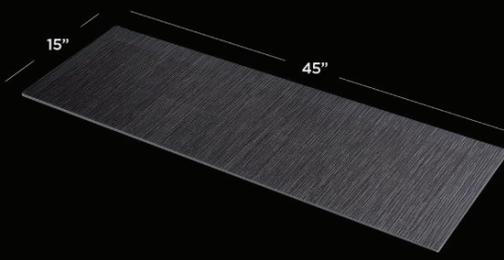
Sierra Pacific window,  
 Black aluminum clad  
 exterior, wood interior,  
 Painted wood trim



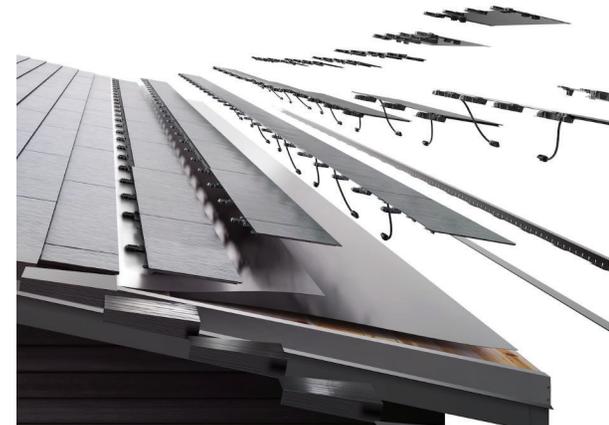
Alternate Roof - Telsa Solarglass Roof  
 (Budget Dependent)



**Solarglass Roof Specs**



<p><b>Tile Warranty</b> 25 years</p> <p><b>Power Warranty</b> 25 years</p> <p><b>Weatherization Warranty</b> 25 years</p> <p><b>Roof Pitch</b> 2:12 to 20:12</p>	<p><b>Hail Rating</b> Class 3 ANSI FM 4473 (up to 1.75" diameter hail)</p> <p><b>Wind Rating</b> Class F ASTM D3161 (up to 130 mph winds)</p> <p><b>Fire Rating</b> Class A UL 790 (best fire rating)</p>
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638 UNIVERSITY AVENUE  
LOS GATOS, CALIFORNIA . 95032  
T 408.292.3252 F 253.399.1125

## KAWAZOE CHUANG RESIDENCE



PLANNING REVISION  
VIEW 1

02-25-2020



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LOS GATOS, CALIFORNIA . 95032  
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## KAWAZOE CHUANG RESIDENCE



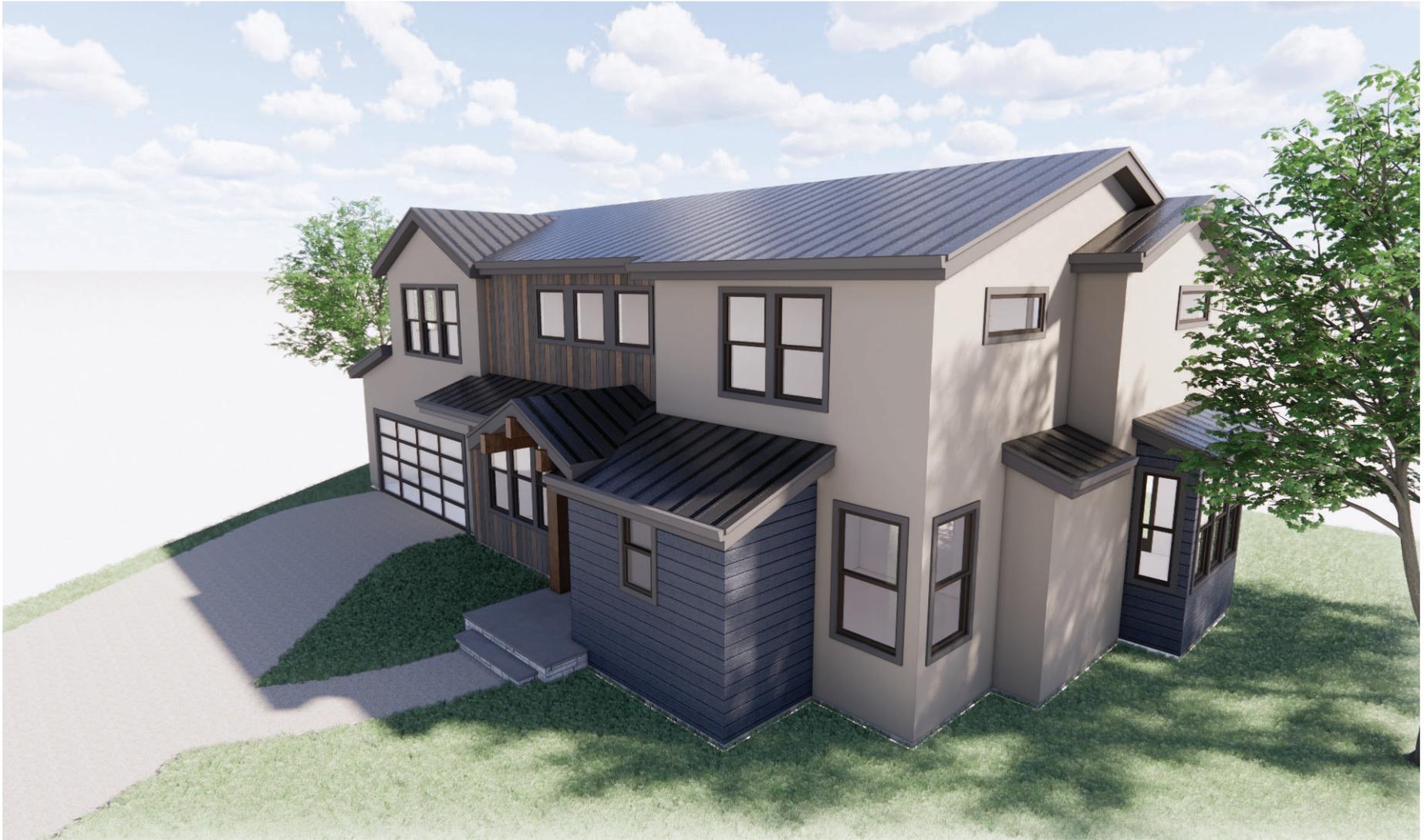
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VIEW 2

02-25-2020



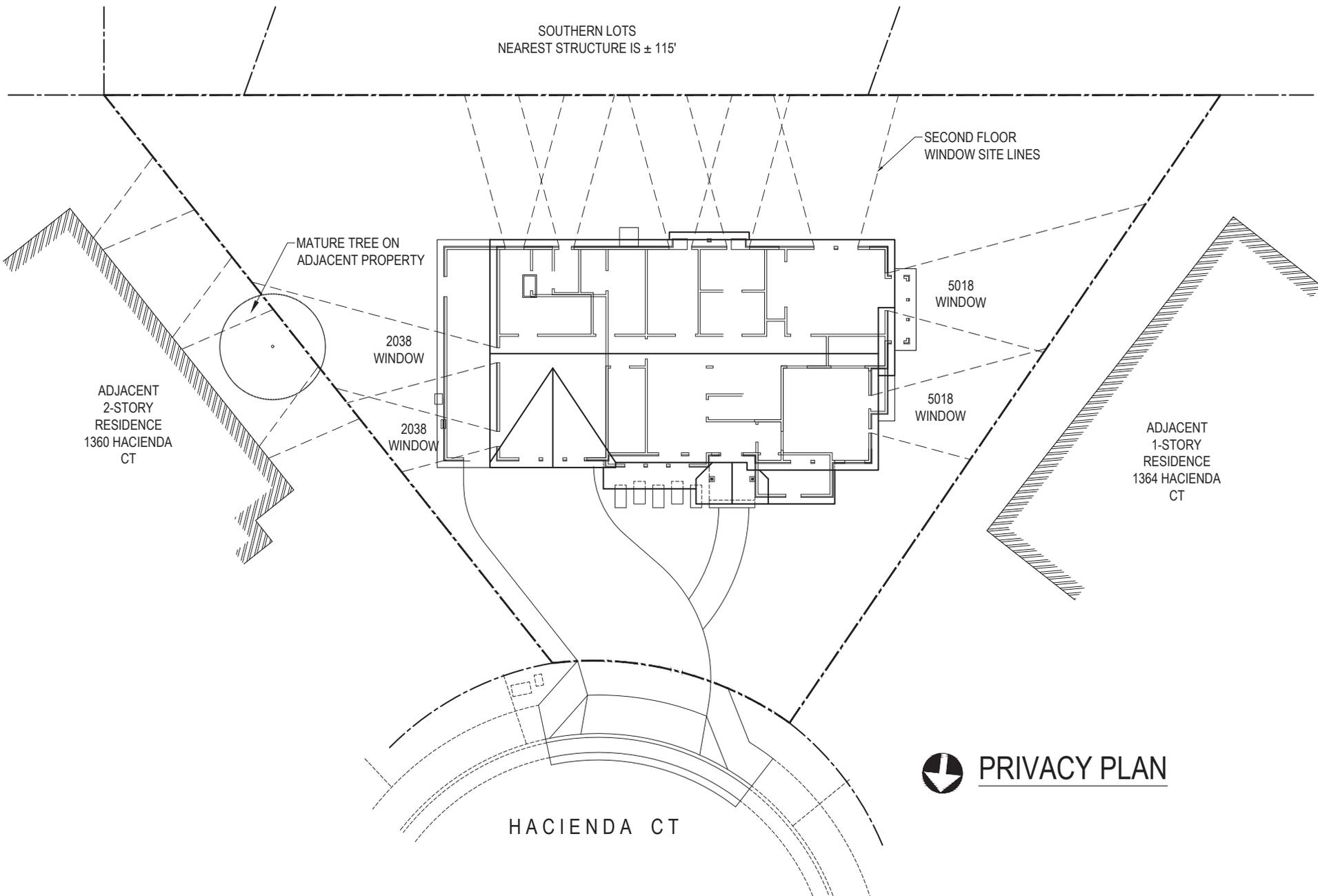
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T 408.292.3252 F 253.399.1125

## KAWAZOE CHUANG RESIDENCE



PLANNING REVISION  
VIEW 3

02-25-2020



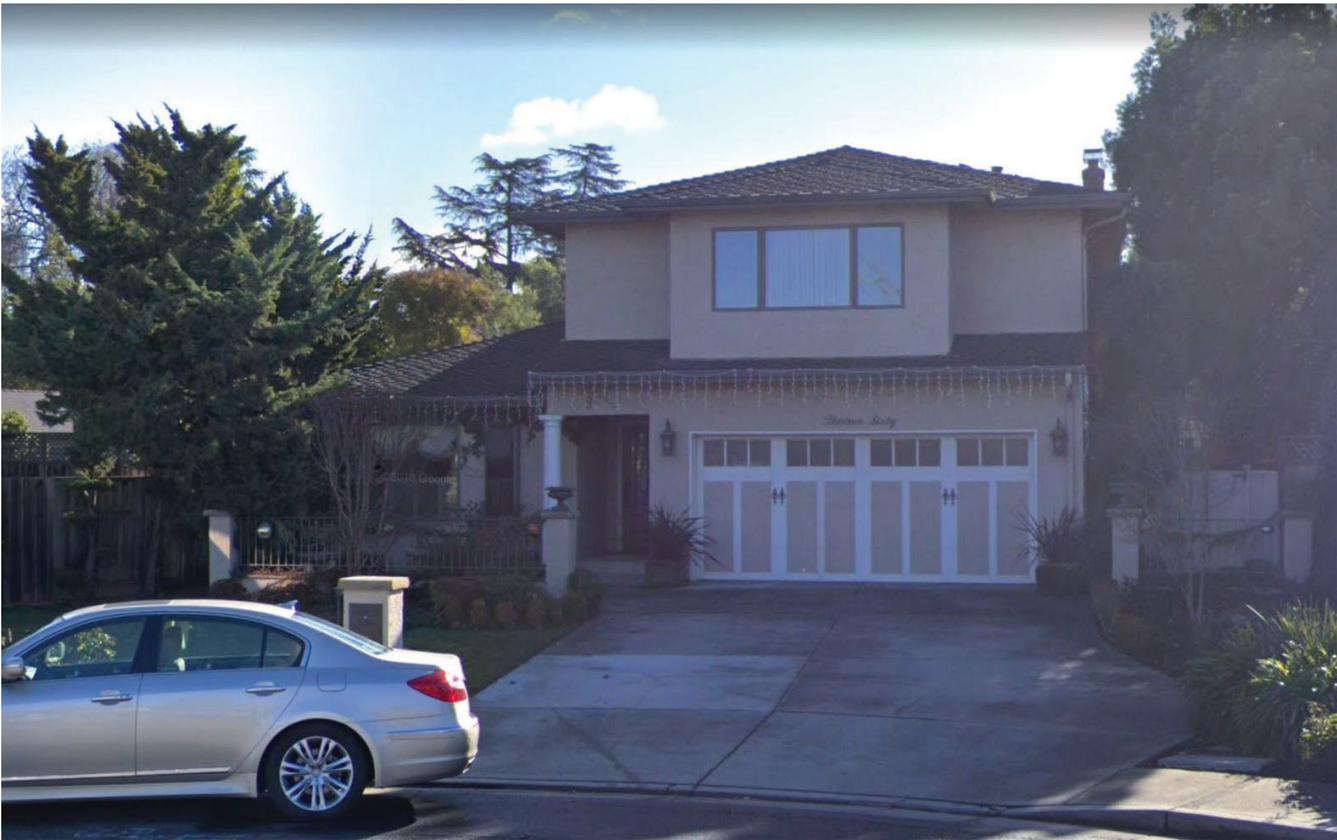
 **PRIVACY PLAN**



1362 Hacienda Ct



1358 Hacienda Ct



1360 Hacienda Ct



1364 Hacienda Ct



1366 Hacienda Ct