



CITY OF CAMPBELL
Community Development Department

February 26, 2021

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 9, 2021**, for a Public Hearing to consider the application of Amandeep Dulay for a Site and Architectural Review Permit (PLN-2020-160) to allow construction of a new approximately 3,245 square-foot one-story single-family residence with an approximately 495 square-foot junior accessory dwelling unit (JADU) on property located at **1495 Theresa Avenue**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

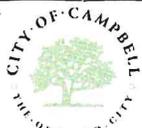
Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_QRq7_Ld6R5mPvs3hsgTtPQ. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, March 5th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, February 26th, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

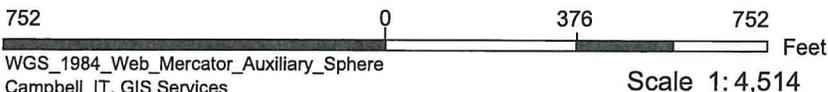
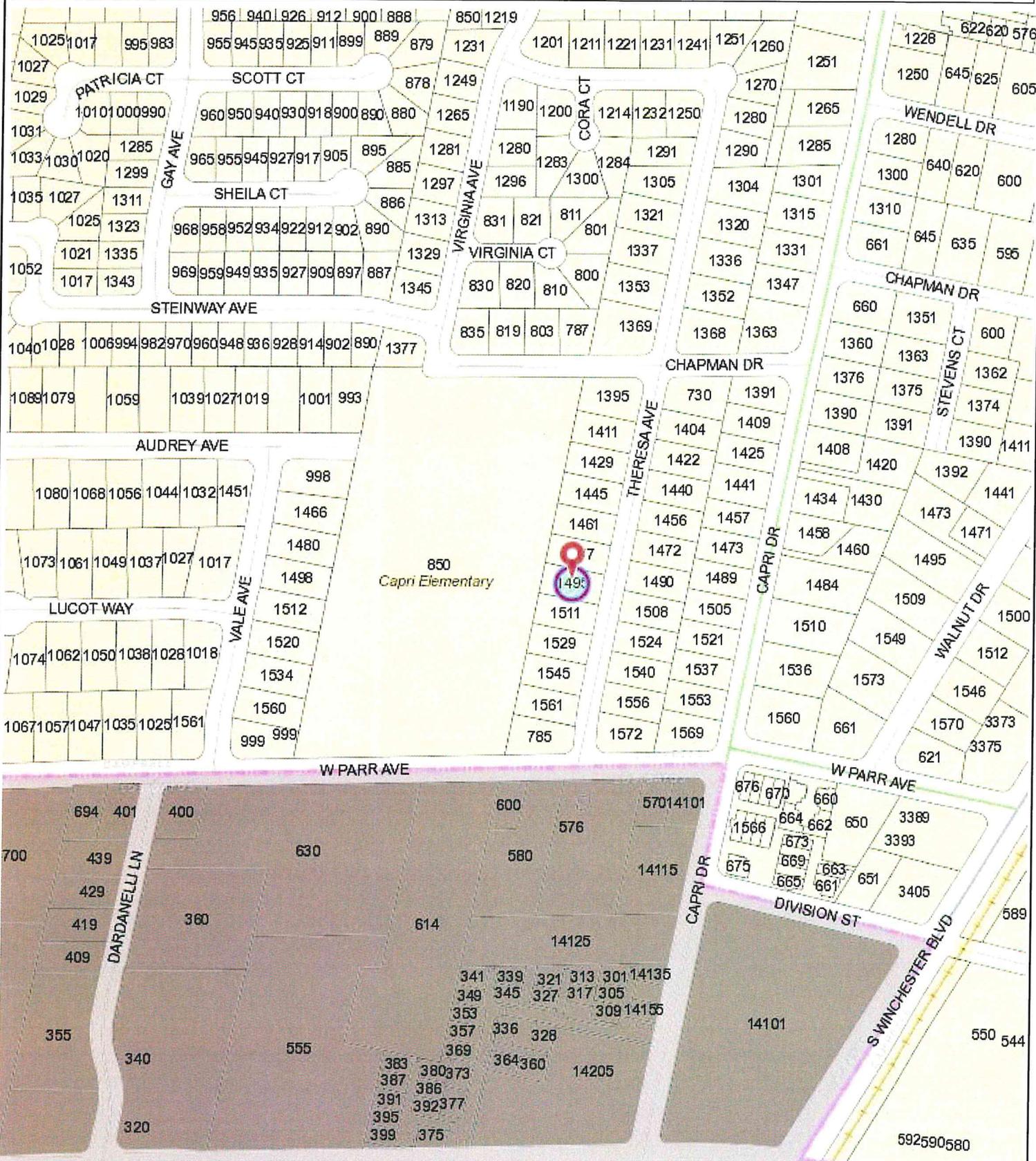
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE:

When calling on this Notice, refer to **1495 Theresa Ave**



Location Map - 1495 Theresa Ave



This map is based on GIS information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

DEFERRED SUBMITTAL

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER CITY OF CAMPBELL FIRE DEPARTMENT REQUIREMENTS.
CRC SEC. 313.2, AS ADOPTED AND AMENDED BY CBLMC.

ENERGY VERIFICATIONS

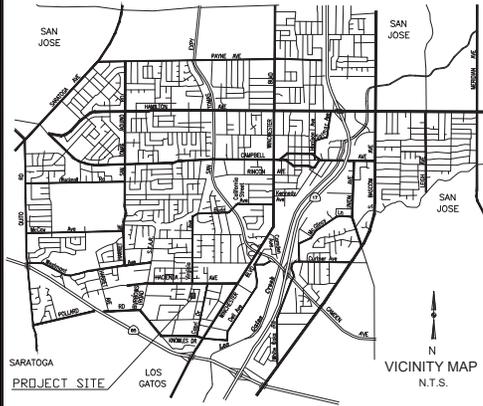
HERS VERIFICATION REQUIRED FOR BUILDING ENVELOPE, HVAC COOLING, OR HVAC DISTRIBUTION, HVAC FAN SYSTEMS, AND IAQ (INDOOR AIR QUALITY).
PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.
AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, 10-103 (b).

NEW ONE STORY HOUSE

1495 THERESA AVE.
CAMPBELL, CA 95008

VICINITY MAP



CONSULTANTS

1- ARCHITECTURAL	AKS BUILDING DESIGN 17871 LOS ALAMOS DR. SARATOGA, CA 95070 (408) 375-8351	3- CIVIL	SMP ENGINEERS 1534 CAROB LANE LOS ALTO, CA 94024 (650) 941-8055
2- SURVEY	Christensen & Plouff Land Surveying 101 CHURCH ST. #20 LOS GATOS, CA 95030 (661) 645-9320	4- LANDSCAPE	WILSON & ASSOCIATE 815 SAN DIEGO RD. BERKELEY, CA 94707 (10) 644-9602

DRAWING INDEX

- A-1 COVER SHEET/ NEW SITE PLAN
- A-1.1 SITE PHOTOGRAPHS
- 10F1 TOPOGRAPHIC SURVEY
- C-1 CIVIL TILE SHEET
- C-2 GRADING & DRAINAGE PLAN
- C-3 CIVIL DETAILS
- C-4 EROSION CONTROL PLAN
- C-5 BLUEPRINT FOR CLEAN BAY
- L-1 PLANTING PLAN
- L-2 IRRIGATION PLAN
- L-3 LANDSCAPE NOTES & DETAILS
- A-2.0 AREA CALCULATIONS
- A-2 NEW 1ST FLOOR PLAN
- A-3 BUILDING ELEVATIONS
- A-4 ROOF PLAN/SECTIONS/ COLOR CHART

FIRE DEPARTMENT NOTES

An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by CBLMC.

All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project.

Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CRC Sec. 903.5.5 and Health and Safety Code 13114.7.

Address Identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

PROJECT DATA

PROJECT DESCRIPTION:	NEW ONE STORY HOUSE WITH 2 CAR GARAGE (3 BEDROOM/ 2 BATH) & JUNIOR ADU WITH 1 BEDROOM/ 1 BATH
LOCATION:	1495 THERESA AVENUE
A.P.N.:	406-23-031
ZONING:	R-1-B
EXISTING USE:	RESIDENTIAL (EMPTY LOT)
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY:	R-3/U
ADJACENT LAND USE:	N.E.-RESIDENTIAL & W-ELEMENTARY SCHOOL
NET LOT SIZE:	9,475.20 SF. (0.218 ACRES)
AVERAGE SLOPE:	RELATIVELY FLAT

AREA	
FIRST FLOOR	2,246 SQ. FT.
JUNIOR ADU	495.8
GARAGE AREA:	503
TOTAL AREA:	3,244.8
FRONT PORCH:	57 SF

SETBACKS	PROPOSED	MINIMUM REQUIRED
FRONT	25'-0"	20'-0" H/25'-0" G
RIGHT	10'-0"	THE GREATER OF 10' OR 60% OF WALL HEIGHT
LEFT	8'-0"	THE GREATER OF 8' OR 60% OF WALL HEIGHT
REAR	36'-4"	20'-0"

LOT COVERAGE:	PROPOSED	ALLOWED
(LIVING AREA+GARAGE+PORCH)	3301.8/9,475.20= 34.8%	(3,315.9 SF)35%
FAR:	PROPOSED	ALLOWED
	3301.8/9,475.20= .35%	(4,263.84 SF) .45

IMPERVIOUS COVERAGE:	AREA	% OF LOT
(1st Flr+Garage+Porches)	3,301.8 sf	34.8%
PERVIOUS COVERAGE:	AREA	% OF LOT
(Landscape & Pervious pavers)	6,173.2 sf	65.2%

Designer: *A. Dulay*
AKS BUILDING DESIGN
AKS BUILDING DESIGN
AMAN DULAY
(Principal Designer)
Tel: 408.375.8351
Fax: 650.941.8755
aksdesign@gmail.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Tie to the plans and specifications remains with AKS BUILDING DESIGN without prejudice. Read contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Project:
NEW Single Family Residence
1495 THERESA AVE.
CAMPBELL, CA 95008
APN: 406-23-031

Owners:
MS. LANH HOYLE
1495 THERESA AVE.
CAMPBELL, CA 95008

No.	Submittals	Date
1	PLANNING	10/1/2020
2	PLANNING	11/30/2020
3	PLANNING	1/22/2021

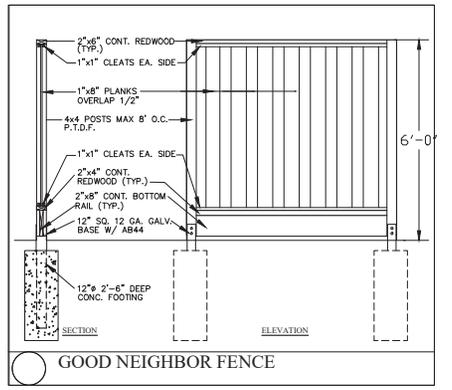
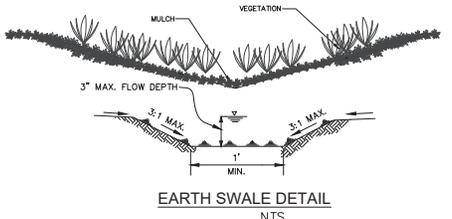
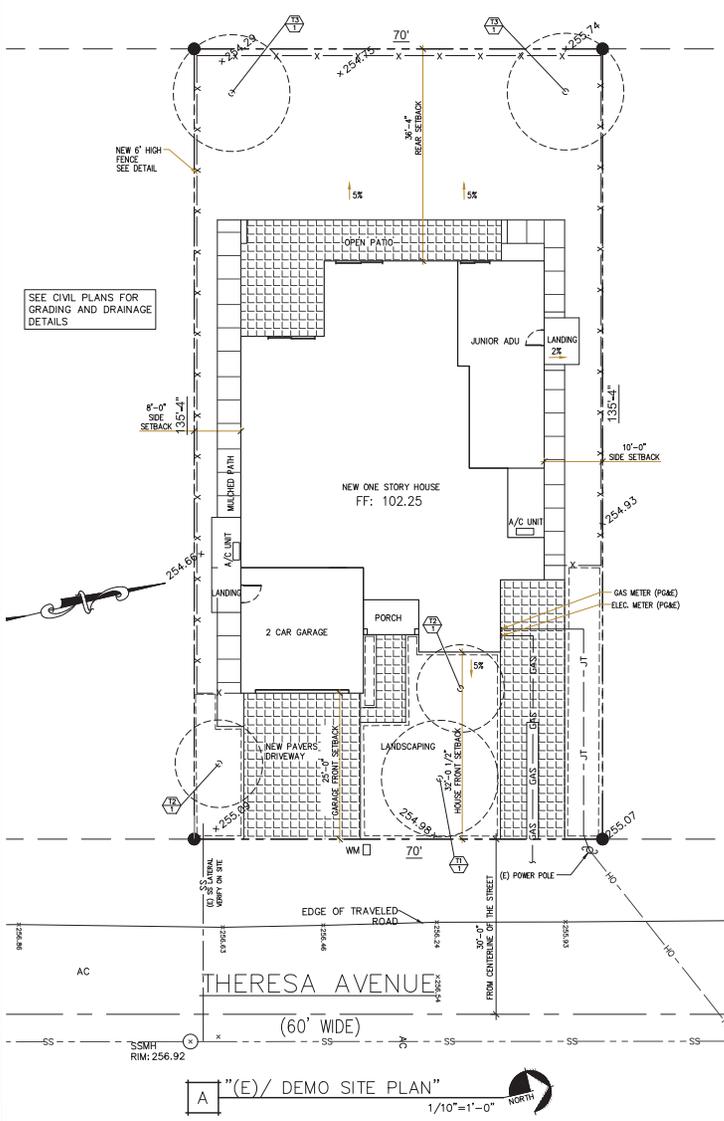
No.	Revision/Issue	Date

Project: THERESA
Scale: As Shown
Date: 1/22/2021

Sheet Title:
"Cover Sheet & (E) Site Plan"

Sheet No:

A-1





A "FRONT ARIEL PICTURE"



B "RIGHT AND LEFT SIDE HOUSES"



C "REAR LEFT SIDE"



C "REAR RIGHT SIDE"

Designer: *A. Dulay*
aks AKS BUILDING DESIGN
 AMAN DULAY
 (Principal Designer)
 Tel: 408.375.8351
 Fax: 650.944.8755
 aksdesign@gmail.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with "AKS BUILDING DESIGN" without prejudice. Read contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Project:
 NEW Single Family Residence
 1495 THERESA AVE.
 CAMPBELL, CA 95008
 APN: 406-23-031

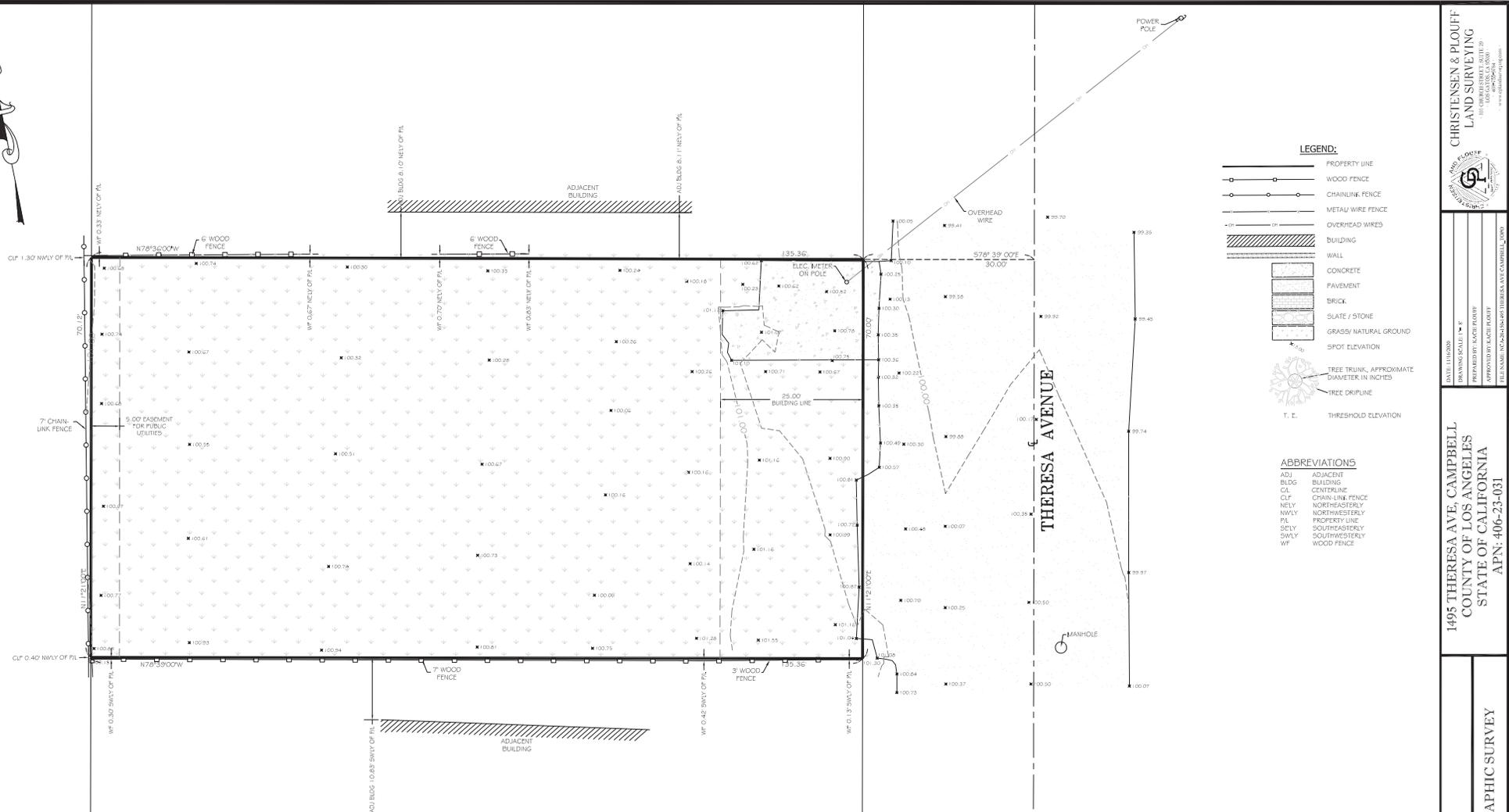
Owners:
 MS. LANH HOYLE
 1495 THERESA AVE.
 CAMPBELL, CA 95008

No.	Submittals	Date
1	PLANNING	10/1/2020
2	PLANNING	11/30/2020

No.	Revision/Issue	Date

Project: THERESA
 Scale: As Shown
 Date: 11/30/2020
 Sheet Title:
 "SITE PHOTOGRAPHS"

Sheet No:



LEGEND:

- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- METAL WIRE FENCE
- OVERHEAD WIRES
- BUILDING
- WALL
- CONCRETE
- PAVEMENT
- BRICK
- SLATE / STONE
- GRASS / NATURAL GROUND
- SPOT ELEVATION
- TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
- TREE DRIPLINE
- T. I. THRESHOLD ELEVATION

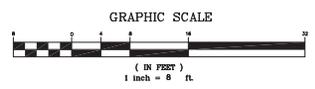
ABBREVIATIONS

- ADJ ADJACENT
- BLDG BUILDING
- CL CENTERLINE
- CLP CHAIN-LINE FENCE
- NELY NORTHEASTERLY
- NWLY NORTHWESTERLY
- PL PROPERTY LINE
- SELY SOUTHEASTERLY
- SWLY SOUTHWESTERLY
- WF WOOD FENCE

LEGAL DESCRIPTION
 LOT 28 TRACT #321 SAN TOMAS VILLAS UNIT NO. 2, RECORDED IN BOOK 10 PAGE 55 OF SANTA CLARA COUNTY RECORDS

SURVEYOR'S NOTES

- PROJECT BENCHMARK ELEVATIONS ARE ON ASSUMED DATUM.
- ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY. SMALLER TREES AND SHRUBS ARE NOT SHOWN.
- DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.



SURVEYOR'S CERTIFICATE

I, KADE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013).

I FURTHER CERTIFY THAT THIS PLAN REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KADE A. PLOUFF, PLS 9013

GRADING AND DRAINAGE NOTES

ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 1495 THERESA AVE. CAMPBELL, CA 95008
 BUILDING PERMIT NO. BLDXXXX-XXXX
 ASSESSORS PARCEL NO. 406-23-031
 NEW SINGLE FAMILY HOME

INDEX OF DRAWINGS

TITLE	SHEET
TITLE SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
DETAILS	C-3
EROSION CONTROL PLAN	C-4
BLUE PRINT FOR A CLEAN BAY	C-5

1.CALIFORNIA BUILDING CODE
 ALL WORK SHALL COMPLY WITH THE 2018 CALIFORNIA BUILDING CODE.

20.S.A.H. REGULATIONS
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.

3.GEOTECHNICAL (SOILS) REPORT
 THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT PREPARED BY SILICON VALLEY SOIL ENGINEERING, DATED DECEMBER 2019, 11, PROJECT NO. SV 2009.

4.SPECIFICATIONS AND OBSERVATIONS
 ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY 396-1150 SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

5.NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM
 PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.

6.LOCAL NON-POINT SOURCE ORDINANCE
 COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.

7.UNDERGROUND UTILITIES AND STRUCTURES
 THE EXISTING AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL MAKES NO CLAIM OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.

8.EROSION CONTROL, PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN IF APPLICABLE FOR DETAILS OF PLANTING.

9.UTILITY ELEVATION VERIFICATION
 THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND STORM DRAIN CONNECTIONS PRIOR TO ANY SITE WORK. SHOULD LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE COMMENCING THE DESIGN.

10.UTILITY CROSSINGS
 THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK BEFORE ANY POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.

11.GRADING REQUIREMENTS
 DRAINAGE INCLUDING ALL ROOF AND PATIO DRAINS SHALL BE DIRECTED AWAY FROM THE STRUCTURE. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 5% OR AT LEAST 1' FEET MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN 2%.

12.GRADED SITE ELEVATIONS
 THE GRADED SITE: THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 30 INCHES 300MM PLUS PERCENT. THE FINISHED OFFICIAL MAP SHALL ALTERNATE ELEVATIONS PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.

13.CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY
 THE PERMITTEE SHALL MAINTAIN THE STREETS AND OTHER PUBLIC RIGHTS-OF-WAY AS WELL AS A CLEAN, SAFE AND USABLE CONDITION. ALL SPLLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

14.TOPOGRAPHY SURVEY
 THE TOPOGRAPHY SURVEY MADE BY SMP ENGINEERS ON 3/16/2020

15.TREE REMOVAL AND PRESERVATION
 THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.

16.PROJECT PLANS
 THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS IF APPLICABLE. FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.

17.FINAL LETTER OF INSPECTION
 THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.

18.GRADE EVENLY
 THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.

19.APPROVAL OF PLANS
 APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORIZED AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.

20.WELL LOCATIONS
 ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL 395-2000 FOR EXTENSION. 3070 ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.

21.EARTHWORK QUANTITIES
 THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND PERMIT FEES.

22.ELEVATION ADJUSTMENTS
 ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.

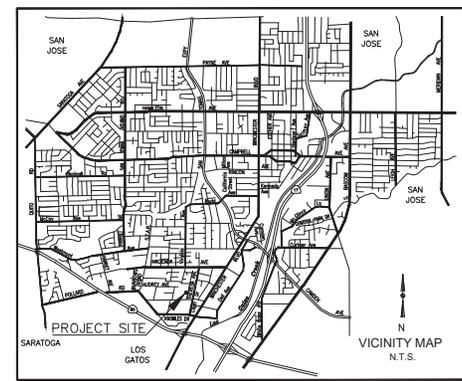
23.TRUCK ROUTE
 THE TRUCK ROUTE SHALL BE: HEAD SOUTH ON THERESA AVE., TOWARD W. PARR AVE., TURN LEFT ON W. PARR AVE., TOWARD WINCHESTER BLVD., USE THE RIGHT LANE TO TURN RIGHT ONTO SAN TOMAS EXPK., TURN RIGHT ONTO SAN TOMAS EXPK., AND USE THE RIGHT LANE TO MERGE ONTO CA 17 N. THRU DRIVE TO 1286.

24.CONTRACTOR RESPONSIBILITIES
 THE SOILS ENGINEER AND/OR ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTORS' WORKMANS' COMPLIANCE WITH ALL ORDINANCES ON THE PROJECT. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

25.NEAT AND CLEAN PREMISES
 DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OFTEN AS DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH



CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS



ABBREVIATIONS	
DESCRIPTION	DESCRIPTION
AB AGGREGATE BASE (CLASS AS NOTED)	JP JOINT POLE
AC ASPHALT CONCRETE	MOK MONUMENT
AD ARCA DRAIN	OC ORIGINAL GROUND
BC BEGIN OF CURVE	PB PULL BOX
BFP BACK FLOW PREVENTER	PEV PIPE VAULT
BO BLOW OFF	PL PROPERTY LINE
BW BACK OF WALK	PP POWER POLE
CA BLACK WALNUT TREE	PPR PLASTIC REFORCATED PIPE
CAF GARAGE FINISH FLOOR (BACK)	PSE PUBLIC SERVICE EASEMENT
CF CENTERLINE	PVC POLYVINYL CHLORIDE
CLS CENTERLINE SWALE	PVC RIGHT OF WAY
CO CEMENT	RCP REINFORCED CONCRETE PIPE
CONC CONCRETE	SD STORM DRAIN
CP CONTROL POINT	SDM STORM DRAIN MANHOLE
DDW DIRT DRIVEWAY	SEW SANITARY SEWER LINE
D DROP INLET	SSW SANITARY SEWER MANHOLE
DETAL DAYLIGHT	SW SIDEWALK
ELECTROD ELECTROD	TC TOP OF CURB
EP EDGE OF PAVEMENT ELEVATION	TE TOP OF BANK
EUC EUCALYPTUS TREE	TOE TOP OF SLOPE
EX EXISTING	TOF TOP OF FOUNDATION
FF FINISHED FLOOR	TP TOP OF PIPE
FG FINISH GRADE	UG UNDERGROUND GAS
FI FIRE HYDRANT	USS UNDERGROUND SANITARY SEWER
FL FLOW LINE	UT UNDERGROUND STORM DRAIN
ENG ENGINE	UT UNDERGROUND TELEPHONE
FOG FOG LINE	UW UNDERGROUND WATER
GB GRADE BREAK	VCP ATYPICAL CLAY PIPE
GF GARAGE FINISHED FLOOR (FRONT)	WL WHITE LINE STRIP
GUY GUY WIRE	WK WALKWAY
HP HIGH POINT	MW WATER METER
IP IRON PIPE	WV WATER VALVE
UP UP OF GUTTER	YL YELLOW LINE STRIP
C&C CURB AND GUTTER	YL YELLOW LINE STRIP

AGENCY INDEX

SANTA CLARA COUNTY FIRE DEPARTMENT	(408) 378-4010
CITY OF CAMPBELL - PUBLIC WORKS	(408) 866-2150
CITY OF CAMPBELL - POLICE	(408) 866-2121
AT&T TELEPHONE	(408) 811-3000
PACIFIC GAS & ELECTRIC	(408) 973-8980
SAN JOSE WATER COMPANY	(408) 279-7900
SANTA CLARA VALLEY WATER DISTRICT	(408) 285-2000
COMCAST CABLE TELEVISION	(408) 452-9100
WEST VALLEY SANITATION DISTRICT	(408) 378-2407

26. ANY ABANDONED UNDERGROUND PIPES
 ANY ABANDONED UNDERGROUND PIPES DISCOVERED DURING CONSTRUCTION SHALL BE REMOVED ADEQUATELY PLUGGED, OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CAMPBELL, BUILDING DIVISION.

27. HUMAN REMAINS
 IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE HUMAN REMAINS, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE CITY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.

28. MAINTENANCE PROCEDURES
 THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

29. DUST CONTROL
 ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

30. CONSTRUCTION MITIGATION MEASURE
 HOURS OF CONSTRUCTION SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND 9:00 A.M. TO 4:00 P.M. ON SATURDAY. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE ON SUNDAYS AND HOLIDAYS.

31. CONSTRUCTION PERIMETER RETENTION WALLS
 ALL PROPERTY LINE RETENTION WALLS SHALL BE MADE OF CONCRETE OR MASONRY.

32. STORMWATER TREATMENT FACILITIES
 ALL STORMWATER TREATMENT FACILITIES REQUIRE PUBLIC WORKS INSPECTIONS. CALL 408-866-2150 TO SCHEDULE INSPECTIONS 48-HOURS PRIOR.

Earthwork Quantities

FILL:	30 CY
CUT:	132 CY
EXPORT:	0 CY
IMPORT:	100 CY

NOTE:
 EARTHWORK QUANTITIES ARE ENGINEER'S ESTIMATE.
 CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS FOR BIDDING PURPOSES.

SURVEY MAP DISCLAIMER NOTE:

SMP ENGINEERS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC SURVEYING DEPICTED ON THIS PLAN SET. TOPOGRAPHIC SURVEYING MAP WAS PREPARED BY OTHERS AND FURNISHED TO SMP ENGINEERS BY THE OWNER.

LEGAL DESCRIPTION

LOT 28 TRACT #321 SAN TOMAS HILLS UNIT NO. 2 RECORDED IN BOOK TO PAGE 55 OF SANTA CLARA COUNTY RECORDS

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS SET FORTH IN SECTION 67003 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

THE DESIGN INCLUDES PRINCIPLES AND TECHNIQUES TO REDUCE QUANTITY AND IMPROVE THE QUALITY OF STORM WATER RUNOFF, AS REQUIRED BY PERMITS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAINAGE AND LOCATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

Emad Razavi
 SIGNATURE P.E. C 52724
 EMAD RAZAVI
 CIVIL
 SMP ENGINEERS
 1534 CAROL LANE, LOS ALTOS, CA 94024
 TEL: (650) 941-8005



COVER SHEET
 GRADING AND DRAINAGE PLANS
 NEW SINGLE FAMILY HOME
 1495 THERESA AVE. CAMPBELL, CA 95008



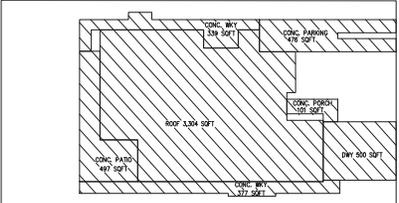
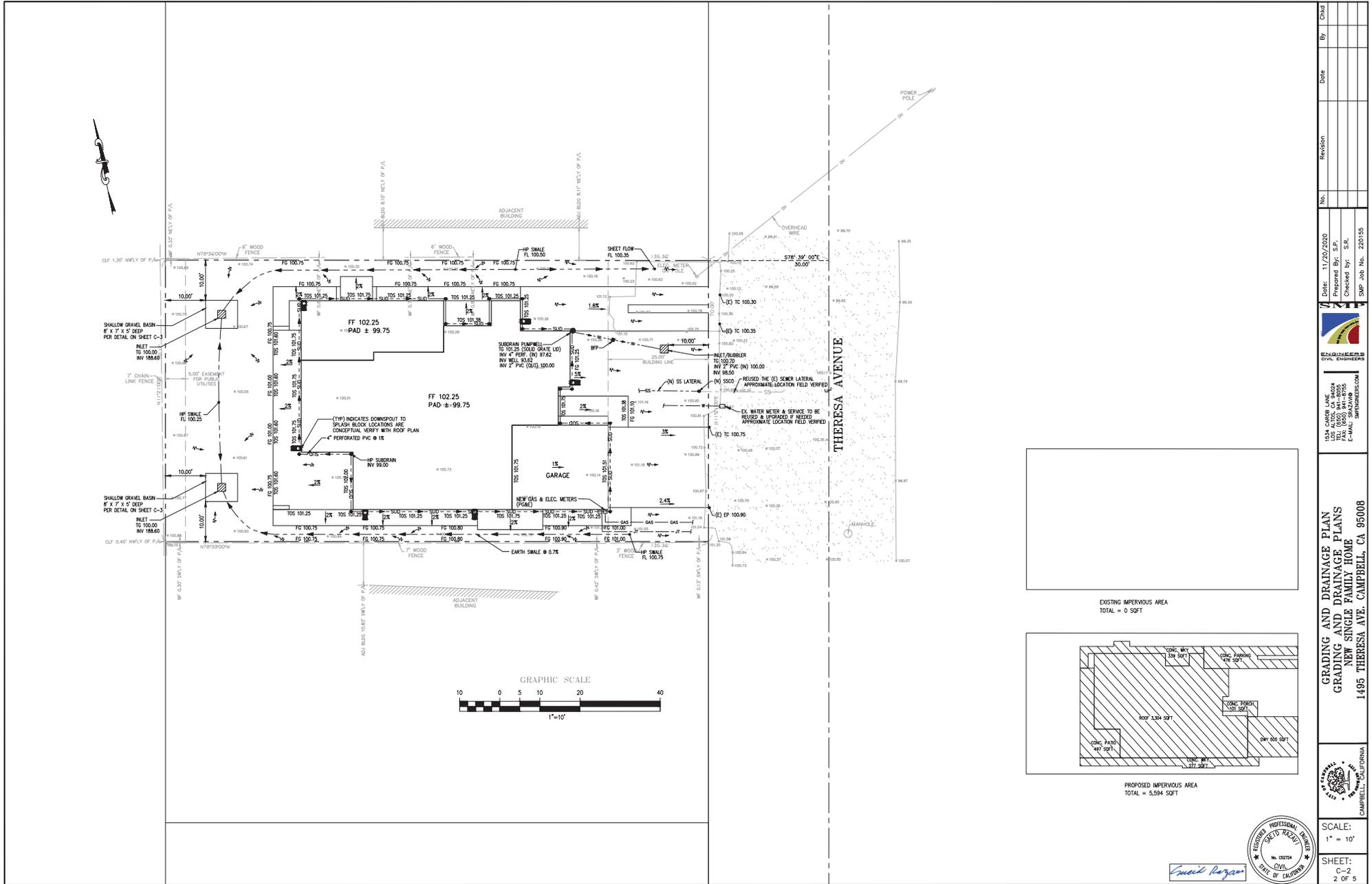
SCALE: N.T.S.
 SHEET: 1 OF 5

Date	Revision	No.
11/20/2020		

Prepared By: S.P.
 Checked By: S.R.
 SMP Job No.: 220155

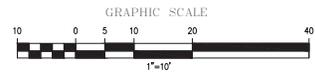


1534 CAROL LANE
 LOS ALTOS, CA 94024
 TEL: (650) 941-8005
 E-MAIL: SRAZAVI@SMPENGINEERS.COM

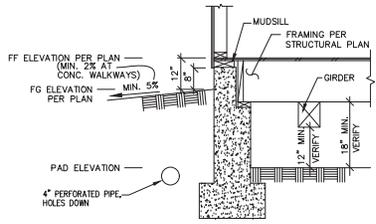


EXISTING IMPERVIOUS AREA
TOTAL = 0 SQFT

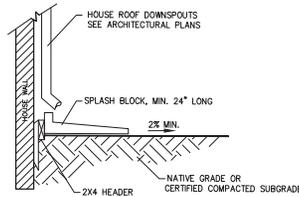
PROPOSED IMPERVIOUS AREA
TOTAL = 5,594 SQFT



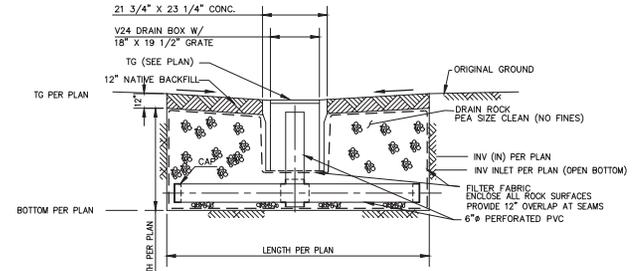
	Date: 11/20/2020	Revision	By	Chad
	Prepared By: S.P.			
1534 CAROLINE AVE SUITE 100 SAN JOSE, CA 95128 TEL: (408) 941-8000 FAX: (408) 941-8002 E-MAIL: SRAZ@CEI-ENGINEERS.COM WWW.CEI-ENGINEERS.COM	Checked By: S.R. SWP Job No. 220155			
GRADING AND DRAINAGE PLAN GRADING AND DRAINAGE PLANS NEW SINGLE FAMILY HOME 1495 THERESA AVE. CAMPBELL, CA 95008				
	SCALE: 1" = 10' SHEET: C-2 2 OF 5			



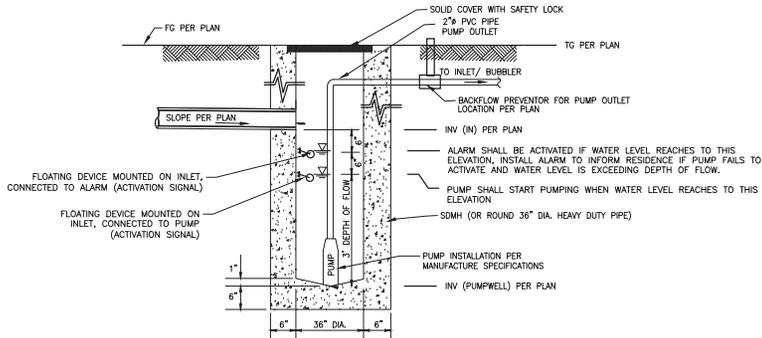
DROPPED FOUNDATION CONCEPTUAL DETAIL
N.T.S.



ROOF DOWNSPOUT/SPLASH BLOCK
N.T.S.



SHALLOW GRAVEL BASIN
ELEVATION VIEW- N.T.S.



PUMPWELL DETAIL FOR OVERFLOW
NTS

PUMP NOTES:

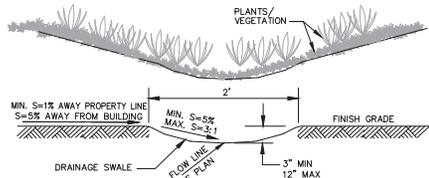
1. HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
2. PUMPS TO BE CONNECTED TO BACKUP BATTERY OPERATED PUMPS, TO PREVENT FLOODING IN CASE OF BLACKOUT.
3. PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
4. PROVIDE RESERVE PUMP (BATTERY OPERATED) FOR EACH PUMP WELL.
5. PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.

EARTHWORK TABLE FOR LOT LEFT

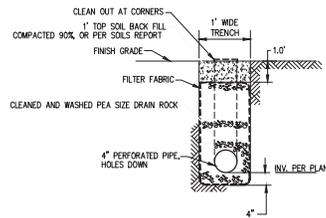
	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
HOUSE	0	95		
GARAGE	2	0		
DRIVEWAY/ PARKING	0	24		
PORCH/ PATIO SIDEWALK	19	13		
SITE	11	0		
TOTAL	32	132	0	100

NOTE:

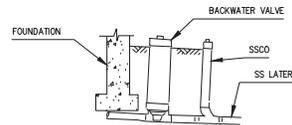
1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.



EARTH-SWALE DETAIL
N.T.S.



SUBDRAIN TRENCH DETAIL
ELEVATION VIEW- NTS

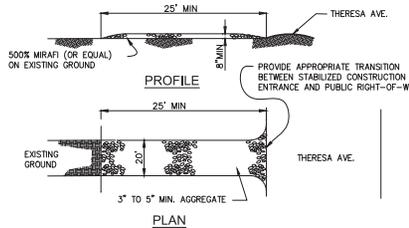
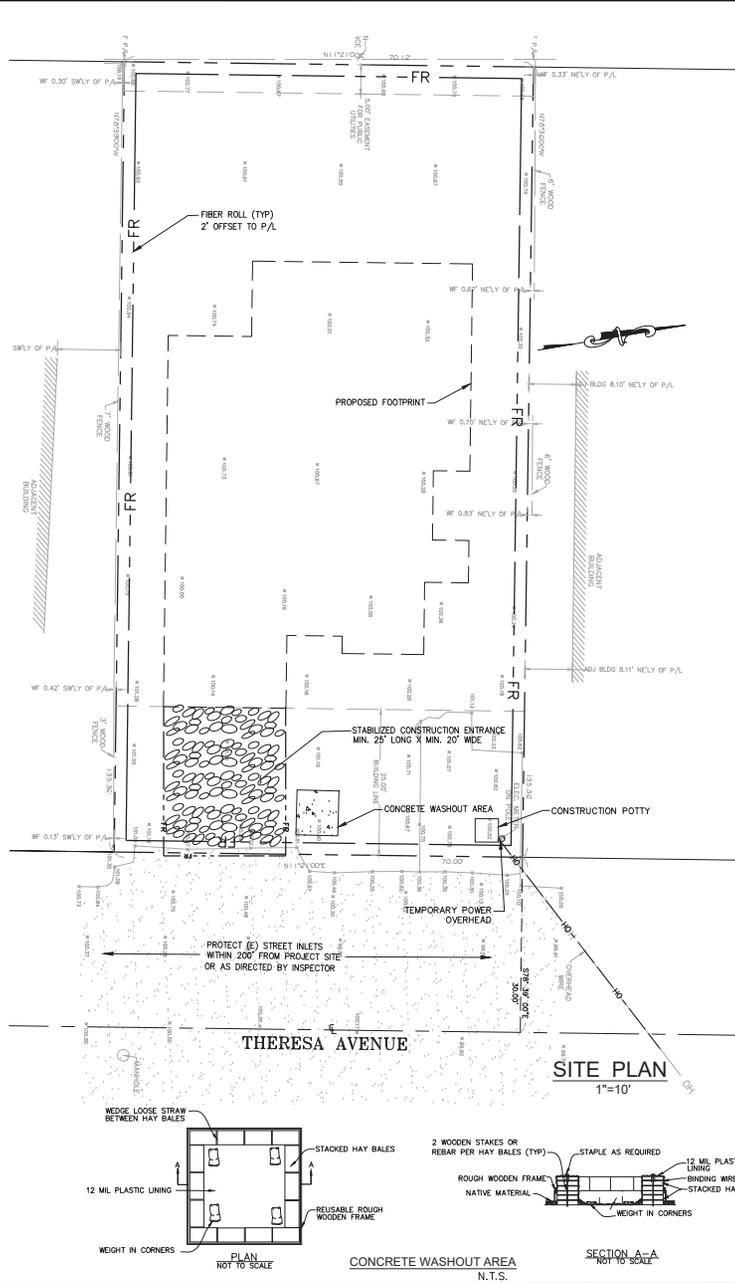


SANITARY SEWER BACKFLOW PREVENTOR DETAIL
NTS

Quail Canyon



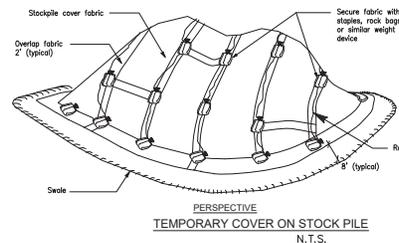
By	Chad
Date	
Revision	
No.	
Date: 11/20/2020	Prepared By: S.P.
	Checked By: S.R.
	SNP Job No. 220155
<small>1558 CAROL LANE SUITE 100 TEL: (925) 941-8000 FAX: (925) 941-8005 E-MAIL: SRAZ@QCE.COM</small>	
DETAILS GRADING AND DRAINAGE PLANS NEW SINGLE FAMILY HOME 1495 THERESA AVE. CAMPBELL, CA 95008	
SCALE:	NTS
SHEET:	C-3
	3 OF 5



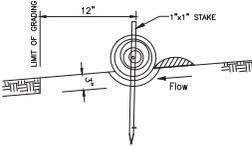
Maintenance

- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

STABILIZED CONSTRUCTION ENTRANCE (TO BE MAINTAINED)



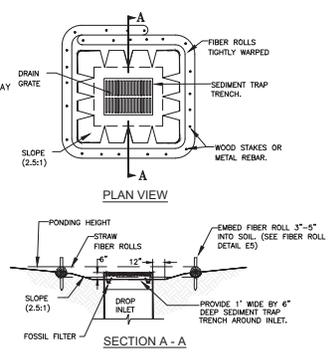
TEMPORARY COVER ON STOCK PILE N.T.S.



FIBER ROLL N.T.S.

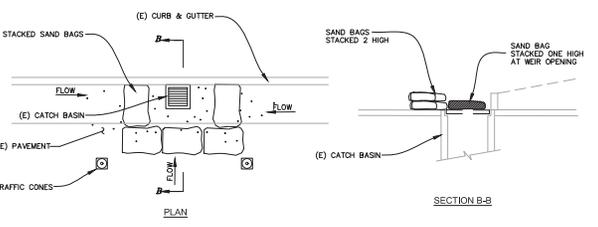
FIBER ROLL NOTES

1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading



STORM INLET SEDIMENT TRAP-FIBER ROLLS

1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-8819.



EXISTING STREET DRAINAGE INLET PROTECTION N.T.S.

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1ST to April 30TH. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
4. Contractor shall maintain stabilized entrance of each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for Interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon solid public or adjacent private property, immediately remedy such occur.
12. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local law concerning pollution abatement shall be complied with.
14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
15. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.

MAINTENANCE NOTES

1. Maintenance is to be performed as follows:
 - A. Repair damages caused by soil erosion or construction at the end of each working day.
 - B. Swales shall be inspected periodically and maintained as needed.
 - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - F. Ribs and gutters must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

Small Rojas

Client	
By	
Date	
Revision	
No.	
Date: 11/20/2020	
Prepared By: S.P.	
Checked By: S.R.	
SNP Job No. 220155	

1554 GARDEN LANE
SAN RAFAEL, CA 94901
TEL: (415) 451-8000
FAX: (415) 451-8000
E-MAIL: SRAZ@SMPENGINEERS.COM

ENGINEERS CIVIL ENGINEERS

**EROSION CONTROL PLAN
GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
1495 THERESA AVE. CAMPBELL, CA 95008**

PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
No. 62874

SCALE: 1" = 20'

SHEET: C-4
4 OF 5

FRESH CONCRETE AND MORTAR APPLICATION

BEST MANAGEMENT PRACTICES FOR THE:

- Masons and bricklayers
- Sidewalk construction crews
- Paving construction workers
- Concrete inspectors
- General contractors
- Home builders
- Developers

- When cleaning up after driveway or sidewalk construction, wash fines into dirt areas, not down the driveway or into the street or storm drain.
- Place hay bales or other erosion control down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.

GENERAL BUSINESS PRACTICES

- Both at your yard and the construction site, always store bags of dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

When breaking up paving, be sure to pick up all the pieces and dispose properly.

- Recycle large chunks of broken concrete at a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.

STORM DRAIN POLLUTION FROM MASONRY AND PAVING

Fresh concrete and cement-reinforced mortar, such as walkways, lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.

DURING CONSTRUCTION

- Don't mix up more fresh concrete or cement than you will use.
- In a dry, arid climate, operate small mixers on tarps or heavy plastic drop cloths.

LANDSCAPING, GARDENING, AND POOL MAINTENANCE

BEST MANAGEMENT PRACTICES FOR THE:

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

POOL/FOUNTAIN/SPA MAINTENANCE

- Never discharge pool or spa water to a street or storm drain.

OR

- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.

GENERAL BUSINESS PRACTICES

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals.
- Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

LANDSCAPING/GARDEN MAINTENANCE

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.

- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Many landscaping activities decompose and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

HEAVY EQUIPMENT OPERATION

BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES

BEST MANAGEMENT PRACTICES FOR THE:

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

PAINTING CLEANUP

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water based paints, extend out brushes to the extent possible, and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, and drop cloths may be disposed of as trash.

PAINT REMOVAL

- Chemical paint stripping residue is a hazardous waste.
- Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.
- When stripping or cleaning building exteriors with high-pressure water, liquid storm drains, cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

WHAT CAN YOU DO?

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from pressure water, cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

EARTH MOVING ACTIVITIES

BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backhoes, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

DETECTING CONTAMINATED SOIL OR GROUNDWATER

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for **WHAT-IF-FOR ANY OF THESE CONDITIONS:**

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

GENERAL BUSINESS PRACTICES

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains. Do not use diesel oil to lubricate equipment or parts.

ROADWORK AND PAVING

BEST MANAGEMENT PRACTICES FOR THE:

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of: grading equipment paving machines dump trucks
- Construction inspectors
- General contractors
- Developers

WHAT CAN YOU DO?

- Develop and implement erosion/sediment control plans for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.

DURING CONSTRUCTION

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

GENERAL CONSTRUCTION AND SITE SUPERVISION

BEST MANAGEMENT PRACTICES FOR THE:

- Construction industry

WHAT CAN YOU DO?

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
- Keep materials out of the rain—prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Clean up oil spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil. Collect and recycle or appropriately dispose of excess abrasive grout or sand.
- Avoid over application by water trucks for dust control.

ASPHALT/CONCRETE REMOVAL

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking old pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or baricade storm drain during saw-cutting if necessary.
- Never hose down streets to clean up tracked dirt.

STORM DRAIN POLLUTION FROM ROADWORK

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated materials. Extra planning is required to store and dispose of materials properly and guard against pollution of stormdrains and creeks.

GENERAL CONSTRUCTION AND SITE SUPERVISION

BEST MANAGEMENT PRACTICES FOR THE:

- Practice Source Reduction—minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream.

STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

- **Never clean a dumpster by hosing.**
- **Never clean a dumpster by hose.**
- **Make sure portable toilets are properly maintained and cleaned frequently for leaks.**

BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION

In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bays/delta. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

- Spill Response Agencies**
1. Dial 911
 2. Santa Clara Valley Water District Environmental Compliance (408) 927-0710.
 3. Governor's Office of Emergency Services Warning Center (800) 7550 (24 hours).

Local Pollution Control Agencies

Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195

Santa Clara Valley Water District (408) 927-0710
San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300
Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga

Sunnyvale Water Pollution Control Plant (408) 730-7270
Palo Alto Regional Water Quality Control Plant (415) 329-2598
Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

ORDINANCE OF THE CITY OF CAMPBELL

ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL

- Criminal Penalties.** Any person who violates any provision of this chapter shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.
- Civil Penalties.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.
- Civil Liability.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.
- Remedies Cumulative.** The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

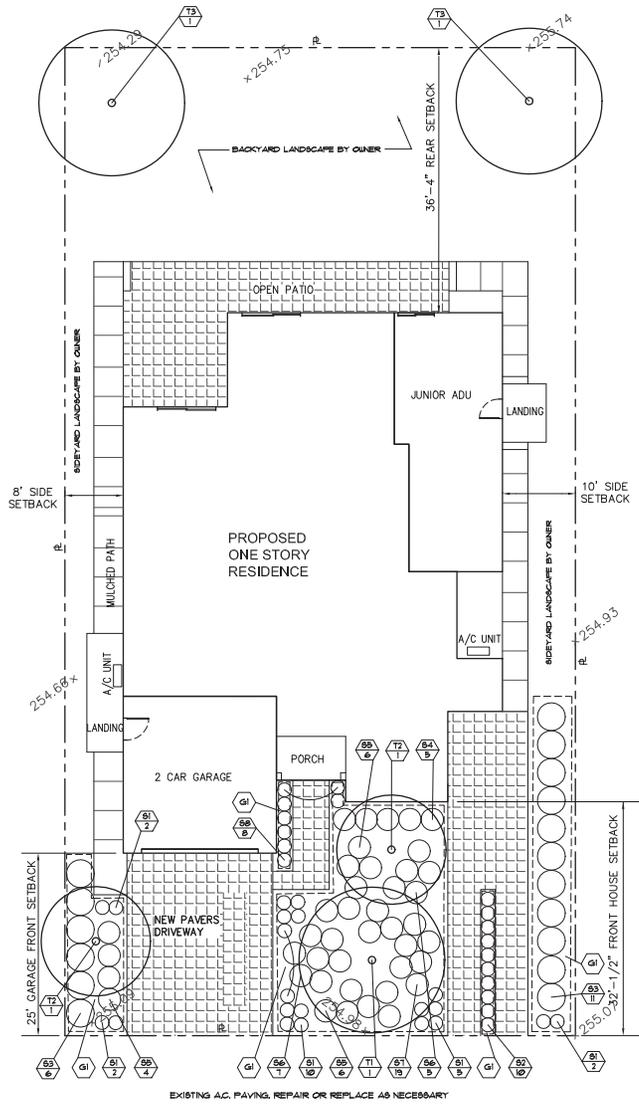
Date: 11/27/2020
 Prepared By: S.P.
 Checked By: S.R.
 SMP Job No. 220145

1535 GARDEN LANE
 SAN JOSE, CA 95128
 TEL: (408) 941-8000
 FAX: (408) 941-8005
 E-MAIL: SRAZ@SVPINC.COM
 SVPINC.COM

BLUEPRINT FOR A CLEAN BAY
GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
1495 THERESA AVE. CAMPBELL, CA 95008

PROFESSIONAL ENGINEER
 CIVIL
 No. 62874
 STATE OF CALIFORNIA

SCALE: N.T.S.
 SHEET: C-5 OF 5



SCALE: 1/8"=1'-0"

THERESA AVE

N11° 21' 00"E

PAVING SEE SHEET 9-0001-1000

PLANT LEGEND

⑤① INDICATES PLANT KEY
⑤② INDICATES PLANT QUANTITY

KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
TREES				
L 11	PISTACIA CHINENSIS CHINESE PISTACHE	24" BOX	1	SINGLE-TRUNK
L 12	ACER PALMATUM 'SANGO KAKU' JAPANESE MAPLE	24" BOX	2	SINGLE-TRUNK
L 13	ARBUTUS 'MARINA' NCN.	24" BOX	2	SINGLE-TRUNK
SHRUBS AND PERENNIALS				
L 81	KNIPHOFIA X 'BEE'S SUNSET' TORCH LILY	1 G.C.	21	MIXED EVERGREEN VAR.
L 82	ERIGERON KARVINSKIANUS SANTA BARBARA DAISY	1 G.C.	10	
L 83	XYLOPIA CONGESTUM NCN.	5 G.C.	17	
L 84	LOROPETALUM CHINENSE 'RAZZLEBERRY' NCN.	5 G.C.	5	
L 85	GENISTA LYDIA LYDIAN BROOM	5 G.C.	16	
L 86	PITTOSPORUM T. 'VARIEGATA' NCN.	5 G.C.	12	
L 87	VEURBURGH TINSU 'SPRINGS BOUQUET' LAURUSTRUS	5 G.C.	5	
L 88	CAMPANULA POSCHARSKYANA SERBIAN BELLFLOWER	1 G.C.	8	
GROUNDCOVERS				
L G1	DYTMONDIA MARGARETAE NCN.	FLATS	A5 REG.	SPACE TRK. # 12' O.C.
L G2	BARK MULCH ONLY, MEDIUM GRND 'WALK-ON' BARK	A5 REG.		2' DEEP

NOTES

1. 'WUCOLS' INDICATES 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. V.=VERY LOW, L.=LOW, M.=MEDIUM, H.=HIGH.
2. SEE SHEET L-3 FOR ADDITIONAL NOTES AND DETAILS.
3. PER CITY REQUIREMENTS, ONE TREE IS REQUIRED FOR EVERY 2,000 SQ. FT. THIS 5 TREES ARE REQUIRED ON THIS SITE. SITE AREA = 9,476.4 - SQ. FT. 4.7 TREES FIVE ARE PROVIDED.
4. MORE THAN 75% OF PLANTS ARE LOW WATER USE PLANTS, THIS COMPLYING WITH THE PRESCRIPTIVE OPTION (APPENDIX D) OF THE STATE WATER EFFICIENT LANDSCAPE ORDINANCE ('MULCH').
5. PLACE A 3 INCH LAYER OF BARK MULCH IN ALL LANDSCAPE AREAS.
6. IRRIGATED LANDSCAPE AREA 840LN IN 10710 SQ. FT. THAT IS UNDER THE 2500 SQ. FT. TO QUALIFY FOR THE PRESCRIPTIVE OPTION NOTED IN NO. 4 ABOVE.

NO.	DATE	REVISIONS

NEW SINGLE FAMILY RESIDENCE
1495 THERESA AVE.
CAMPBELL, CA 95008

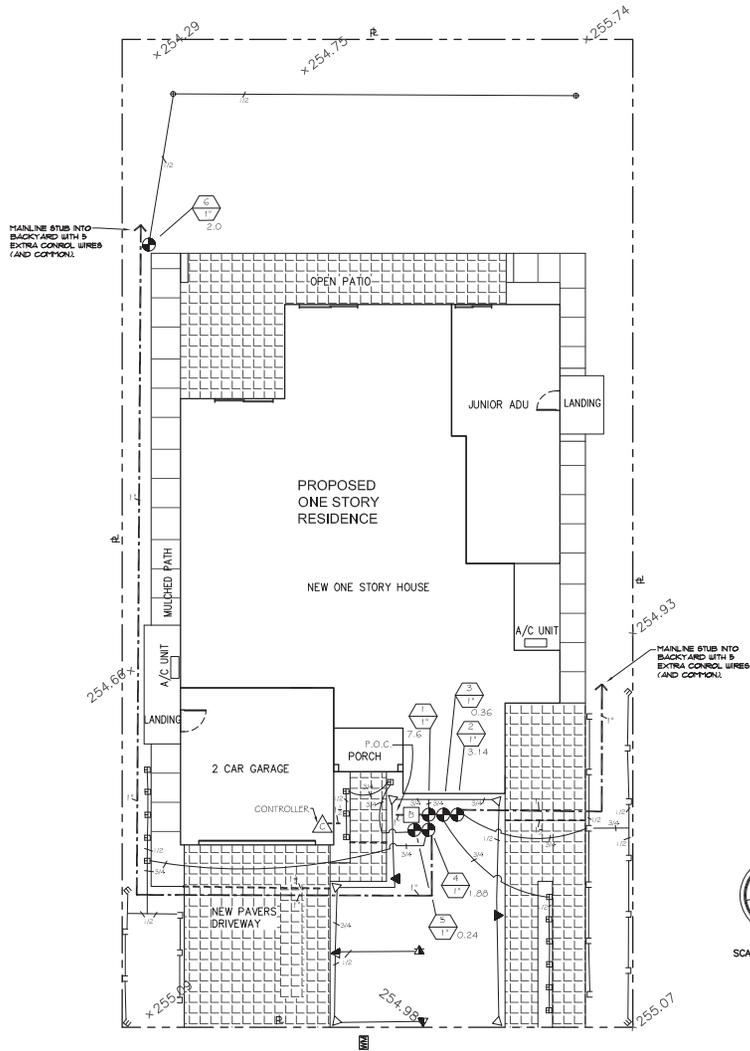
WILSON & ASSOCIATES
LANDSCAPE ARCHITECTURE
815 SAN DIEGO ROAD • BERKELEY, CA 94707
PH: 510-644-8802 • E: cwilson@wla.com

PLANTING PLAN

BY: CW
JOB:
DATE: 09-22-20

L-1
SHEET _____ OF _____
REVISIONS





IRRIGATION LEGEND

SYMBOL	EQUIPMENT DESCRIPTION	GPM	PSI
▲	SHRUB 6" POP-UPS WITH PRECISION SERIES SPRAY NOZZLES		
△	TORO 5702 - 6P - OT - 1.5H, 0.15' SERIES	1.1, 0.53	40
▲	TORO 5702 - 6P - OT - 1.2F, 1.12' SERIES	1.35, 0.7	40
■	TORO 5702 - 6P - OT - 0.8H, 0.8' SERIES	0.26, 0.14	40
■	TORO 5702 - 6P - OT - 2 X 6 95ST SIDE STRIP	.06	40
●	BUBBLER		
●	TORO 5702 - 3P - FB-100-PC FLOOD BUBBLER	1.0	50-60

IRRIGATION LEGEND (CONT'D.)

SYMBOL	MANUFAC.	SYMBOL DESCRIPTION
---	-	NEW PRESSURE MAINLINE PIPING, SCHEDULE 40 PVC, SIZE AS NOTED, 1.8" COVER.
---	-	CLASS 200 PVC LATERAL PIPING, SCHEDULE 40 UNDER PAVING, SIZE AS NOTED, 1.2" COVER.
---	-	SCHEDULE 40 PVC SLEEVE FOR CONTROL WIRING, SIZE AS NOTED.
■	-	FEBCO 825YA-BV-1 - REDUCED PRESSURE BACKFLOW PREVENTER.
■	-	EXISTING 5/8" DOMESTIC WATER METER, CONFIRM LOCATION.
▲	TORO	CONTROLLER MODEL TMC-424E-1D INDOOR MOUNT CONTROLLER WITH A MODEL TWR5 WIRELESS RAIN SENSOR, TSM EXPANSION MODULES AS REQD. FOR 1 & 5 STATIONS WALL MOUNT AS DIRECTED BY OWNER.
P.O.C.	-	POINT OF CONNECTION AT DOMESTIC WATER LINE INTO HOUSE, CONFIRM LOCATION, 40 P.S.I. MINIMUM REQUIRED AT P.O.C. - CONFIRM PRIOR TO INSTALLATION.
●	-	IRRICTRL 700 SERIES REMOTE CONTROL VALVE, SIZE AS NOTED.

KEY: VALVE NO. VALVE SIZE

IRRIGATION NOTES:

1. I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION AND LANDSCAPE DESIGN PLANS.

2. IRRIGATION IS LIMITED TO BETWEEN 8:00 PM AND 10:00 AM.

IRRIGATION WATER BUDGET CALCULATIONS:

The following is an outline of the Irrigation water requirements we anticipate for the new residence project at 1495 Theresa Ave. These calculations are provided as requested under the "Water Efficiency Landscape Ordinance" requirements for this project.

This project consists of new landscape and irrigation in conjunction with the demolition of an existing residence and the construction of a new residence in its place.

Landscape and Irrigation Design Statement:

The landscaping for this project is planned for a site that already had some existing landscaping and irrigation, all of which is being removed and replaced with new. The site is level. The site has over 2,500 sq. ft. of total landscape area.

The new planning and irrigation system has been designed to current water conserving standards including:

- 1) Primarily drought resistant plantings grouped by hydrozone.
- 2) Soil mulching for water retention and weed control.
- 3) Irrigation zoning.
- 4) Microprocessor style controller with repeat cycles and water budgeting features.
- 5) Low volume precision type irrigation spray heads.

As such, we feel that the actual water use for the landscape irrigation on this site can stay within the Maximum Applied Water Allowance.

IRRIGATION SCHEDULE:

The following is a base-line irrigation schedule for a maximum-use week (mid-July). It is to be evaluated and adjusted seasonally and empirically as needed to insure plant health and to minimize water waste. The irrigation schedule takes into consideration:

- Evapotranspiration rates
- Hydrozone water requirements
- Depth of root zone
- Soil water holding capacity
- Allowable soil water depletion amount
- Soil infiltration rate
- Irrigation precipitation rate

Valve Stations / Hydrozones 1, 2, 3 and 4 - Mixed landscape trees, shrubs, and groundcover areas in Sun.

Three starts per day, 8 minutes per start (24 minutes/day), one day per week.

Valve Station / Hydrozone 5 - Perennials in Shade.

One start per day, 4 minutes per start (4 minutes total), one day per week.

Maximum Applied Water Allowance:

We have calculated below what would be the Maximum Applied Water Allowance (MAWA) for the landscaping on this site based on criteria developed by the State for the "Water Conservation in Landscaping Act".

Assume:

- Annual Evapotranspiration (ETo) = 6.3 Inches (based on data from CIMIS, Zone 3).
- Conversion Factor from inches per square foot per year to gallons = 0.22.
- Landscape Area (LA) in square feet = 1,345 (Front yard only)
- 0.7 Reference Evapotranspiration Adjustment Factor for new landscape, Special Landscape Area (SLA) in square feet = 0

MAWA = (ETo)(0.62)(LA) + (0.3)(SLA)
 MAWA = (46.3)(0.62)(1,345) + (0.3)(0)
 MAWA = 27,027 gallons per year.

Estimated Total Water Use (ETWU):

Assume - as above plus:

- PF Plant Factors: 0.45 for new low and medium water use tree, shrub, groundcover areas in full sun, Zones 1, 2, 3 and 4, 0.55 for new medium water use perennials in shade, Zones 5.
- HA Hydrozone areas: 1.31 sq. ft. for new low and medium water use tree, shrub, groundcover areas, Hydrozone areas 1, 2, 3, and 4, 35 sq. ft. for medium water use perennials, Hydrozone area 5.

-E Irrigation Efficiency of 0.7 for high-efficiency precision spray heads.

ETWU = (ETo)(0.62)(PF)(HA)(E)
 Tree, Shrub, Groundcover Area, ETWU = (46.3)(0.62)(0.45)(1,310)(0.7)
 ETWU = 24,175 gallons per year.

Perennial Area, ETWU = (46.3)(0.62)(0.45)(35)(0.7)
 ETWU = 46 gallons per year.

The above yields an Estimated Total Water Use (ETWU) of 24,821 gallons per year. This is less than the Maximum Applied Water Allowance of 27,027 gallons per year.



TERESA AVE

NO.	DATE	BY	DESCRIPTION
1			ISSUED FOR PERMITS
2			REVISED PER COMMENTS
3			REVISED PER COMMENTS
4			REVISED PER COMMENTS
5			REVISED PER COMMENTS
6			REVISED PER COMMENTS
7			REVISED PER COMMENTS
8			REVISED PER COMMENTS
9			REVISED PER COMMENTS
10			REVISED PER COMMENTS

NEW SINGLE FAMILY RESIDENCE
 1495 THERESA AVE.
 CAMPBELL, CA 95008

WILSON & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 815 SAN DIEGO ROAD • BERKELEY, CA 94707
 PH: 510-544-8802 • E: cwilson15@gmail.com

IRRIGATION PLAN

BY: CW
 JOB:
 DATE:



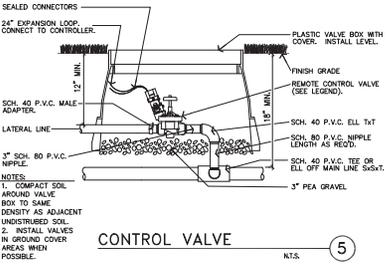
L-2
 SHEET OF 1
 REVISIONS

PLANTING NOTES

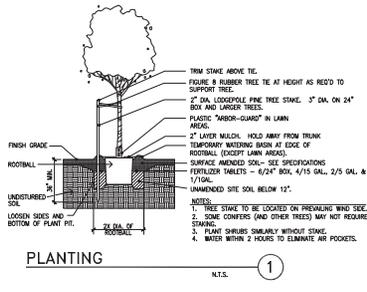
- The work as indicated on this plan includes all labor, materials, tools, equipment, and services required to complete the landscape planting as shown.
- This project consists of new landscape planting and irrigation associated with the construction of a new house. There was an existing house and landscaping on this site which is all to be removed with the exception of one tree as shown on the plan.
- It is the Contractor's responsibility to insure that the latest revised set of Plans is being utilized at the time of the landscape installation. Contact the Landscape Architect for confirmation of current revision number and date. After the installation, any changes necessary to conform to the current Plans may be the responsibility of the Contractor.
- Clear all new planting areas of rock, clods, and debris greater than 1" in diameter, and debris to smooth to drain. Unless noted otherwise, provide 2% minimum precast surface drainage in all areas. Do not drain towards buildings. No low spots holding standing water will be accepted unless noted otherwise.
- Five grade soil to 1" below top of curbs and walk at planting areas.
- This drawing is based on a Site Plan provided by AHS Building Design in September 2000.
- Plants shall be as specified in the plant list on the plan, true to species and variety, and shall be healthy, vigorous root stock, free of insects and disease. All plant stock shall be procured from a state certified nursery. Any plant delivered to the job site which is found to be not true to name or in unsuitable condition shall be removed from the job site and replaced with suitable stock.
- Quantities noted in the Plant Legend are for convenience only. Verify the quantities as per plan.
- Prior to starting construction, the Contractor shall inspect the site. Report any discrepancies between this scaled drawing and the actual site conditions to the Landscape Architect for a design decision. Coordinate tree planting with underground utility locations to avoid conflict. Report any building or freestanding signs, or overhead utilities not shown on these Plans that may conflict with the tree or shrub locations shown on these Plans, or their future growth. There are other underground utility vaults, above grade utility boxes, fire risers, backflow preventers, light poles, fire hydrants, fencing, concrete footings, field changes to the site or buildings, or other items not shown on these Plans that may conflict with the planting as shown. Some field adjustment of plant material may be necessary and is allowed, but the final location of all plant material is at the discretion of the Landscape Architect.
- The Contractor shall be responsible for any damage resulting from his operations and shall replace or repair such damaged work at his own expense. Coordinate all work with other trades working on the site to avoid conflict.
- There are currently no existing trees on this site.
- The trees and shrubs shall be planted at the location matching the center point as marked, or the center of the circle, as graphically drawn on these plans. Trees shall normally be planted opposite parking lot striping as shown. Pay close attention to coordination of exact plant material placement at architectural or site features such as windows and walkways.
- Use all means necessary to protect plant materials before, during, and after installation and to protect the installed work and materials at all other trades. When it is not feasible to install plant materials immediately, they shall be protected and maintained in good condition. Nursery stock in containers shall be watered regularly and placed in a cool area protected from excess sun and wind.
- Prior to planting, a systemic herbicide shall be applied to all weeds. After cultivation, all shrub and ground cover areas shall be treated with a pre-emergent herbicide as recommended by a licensed Pest Control Advisor and applied per the manufacturer's published instructions.
- All areas to be planted shall have nitrogen stabilized soil amendment (6 cu. yds. per 1000 sq. ft.) and the following fertilizers spread and raked into the top 6 inches of soil:
 Soil Sulfur at 10 lbs. per 1000 sq. ft.
 16-8-8 at 15 lbs. per 1000 sq. ft.
 Approximately 20 spots after planting, Ammonium Sulfate (21-0-0) shall be uniformly broadcast over the soil surface at the rate of 5 lbs. per 1,000 sq. ft. when the landscape is dry and watered-in promptly with a thorough irrigation. Repeat again in 45 to 60 days. The above amendment recommendations are not based on a horticultural soils analysis. If an analysis of the final landscape soils is performed prior to the landscape installation, review any amendment recommendations that differ from the above with the Landscape Architect for possible modifications to this regime.
- All shrub and ground cover areas shall be covered with a 3 inch layer of medium grain "walk-on" bark mulch. Submit a sample for approval by the Landscape Architect prior to spreading on site.
- Plant all ground covers within 1 foot of shrubs and 18 inches of all trees. Unless noted otherwise, ground cover is to be planted in all shrub planting areas even if there is no ground cover call-out symbol.
- After planting operations have been completed, the contractor shall remove all trash, excess soil, empty plant containers, and other debris from the work site. All scars, ruts, and other marks in the area caused by the planting operations shall be repaired and the entire site left in a neat and orderly condition.
- There shall be inspections during the progress of the work as required, an inspection to begin the maintenance period, and a final inspection. Upon completion of the landscape installation, and upon approval of the Landscape Architect or Owner, the Contractor shall request a final review and acceptance of the work by the Landscape Architect or Owner. There are also special inspection requirements required by the City. See separate notes.

IRRIGATION NOTES

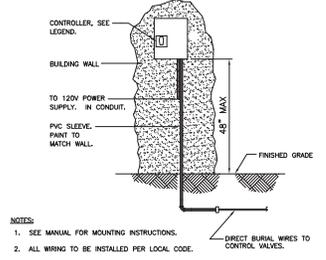
- The work as indicated on this plan includes all labor, materials, tools, equipment, and services required to complete the landscape irrigation as shown. The irrigation system shall be installed by a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.
- This system is partially diagrammatic and does not necessarily indicate all offsets or fittings required for a complete system.
- Adjust all heads to provide proper coverage and to eliminate excessive overspray. The Contractor shall be responsible for complete and uniform coverage.
- This system is designed to operate on an existing static water pressure of at least 30 p.s.i., and an available water supply of 8 g.p.m.; verify prior to construction and notify the Landscape Architect if less.
- All irrigation equipment shall be adjusted to avoid conflict with utility boxes, electricals, fire hydrants, etc. See separate drawings for further information.
- Exercise extreme care when trenching near existing trees to prevent root damage. Hand trench if necessary.
- Prior to starting construction, the Contractor shall inspect the site. Report any discrepancies between this scaled drawing and the actual site conditions to the Landscape Architect for a design decision.
- All work is to conform to state and local codes.
- The Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. Repairs shall be made at no cost to the Owner.
- All pipe shall have a rock free uniform bed the entire length of each line; otherwise bed in sand or other fine rock free material. Snake all pipe in trenches at the time of installation. Lines under paving shall be installed at a 24 inch minimum depth with a 95% minimum compaction sand bedding.
- Solvent weld all plastic pipe as per manufacturer's published instructions. Use primer during irrigation supply line installation. Use double tapered friction tape on all threaded connections.
- All valves and as much piping as possible shall be installed in planting areas. Common trench where possible with a minimum horizontal distance of 4 inches between lines and with no line above another. Flush all lines prior to installing heads.
- Pressure check the main pressure supply line with valves installed prior to backfilling and repair as required.
- The Contractor shall conduct an irrigation system coverage test prior to planting. There will be a final irrigation inspection conducted by the Landscape Architect prior to the beginning of the maintenance period.
- If any irrigation heads suffer from low head drainage, install PVC in-line check valves equal to "King Bros." below each head as necessary to eliminate drainage; or install sprayer head bodies with built-in check valves.
- Control wires shall be UL approved direct burial wire of #14 size minimum. Leave 24 inch excess coils at all valves, turns, and at 200 foot intervals. Gather wires into bundles and tape at 20 foot intervals. Lay wire next to the piping when possible.
- Install the controller as located on the drawing. The Owner shall provide 110 voltage service to the controller. The Irrigation Contractor shall make the final hook-up to the controller.
- Attach a typewritten legend inside the controller door stating the areas covered by each remote control valve.
- When the construction work has been completed, the entire work site shall be cleaned of all debris and rubbish resulting from the operations, and left in a neat and orderly condition.
- The Contractor shall provide the Owner with a clean set of marked prints as "as-built" drawings. Also supply the Owner with a manual showing all manufacturer's names, catalog numbers, catalog cuts, and technical data for all equipment.
- After the system has been completed, inspected and approved, instruct the Owner's maintenance personnel in the operation and maintenance of the irrigation system.
- The Contractor shall guarantee the entire irrigation system for one year from defective materials and workmanship. Repair the system and any damage to the site at no cost to the Owner.



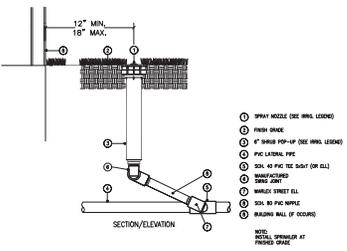
CONTROL VALVE N.T.S. ⑤



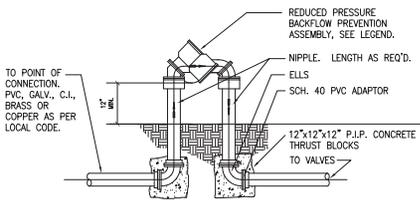
PLANTING N.T.S. ①



IRRIGATION CONTROLLER N.T.S. ⑥



SHRUB 6" POP-UP N.T.S. ③



- NOTES:
- CONCEAL UNIT BEHIND SHRUBBERY IF POSSIBLE.
 - SIZE OF NIPPLES AND FITTINGS SHALL EQUAL SIZE OF BACKFLOW PREVENTER
 - ALL WORK AND EQUIPMENT TO CONFORM TO LOCAL CODES.

BACKFLOW PREVENTER N.T.S. ⑧

NO.	DATE	REVISIONS

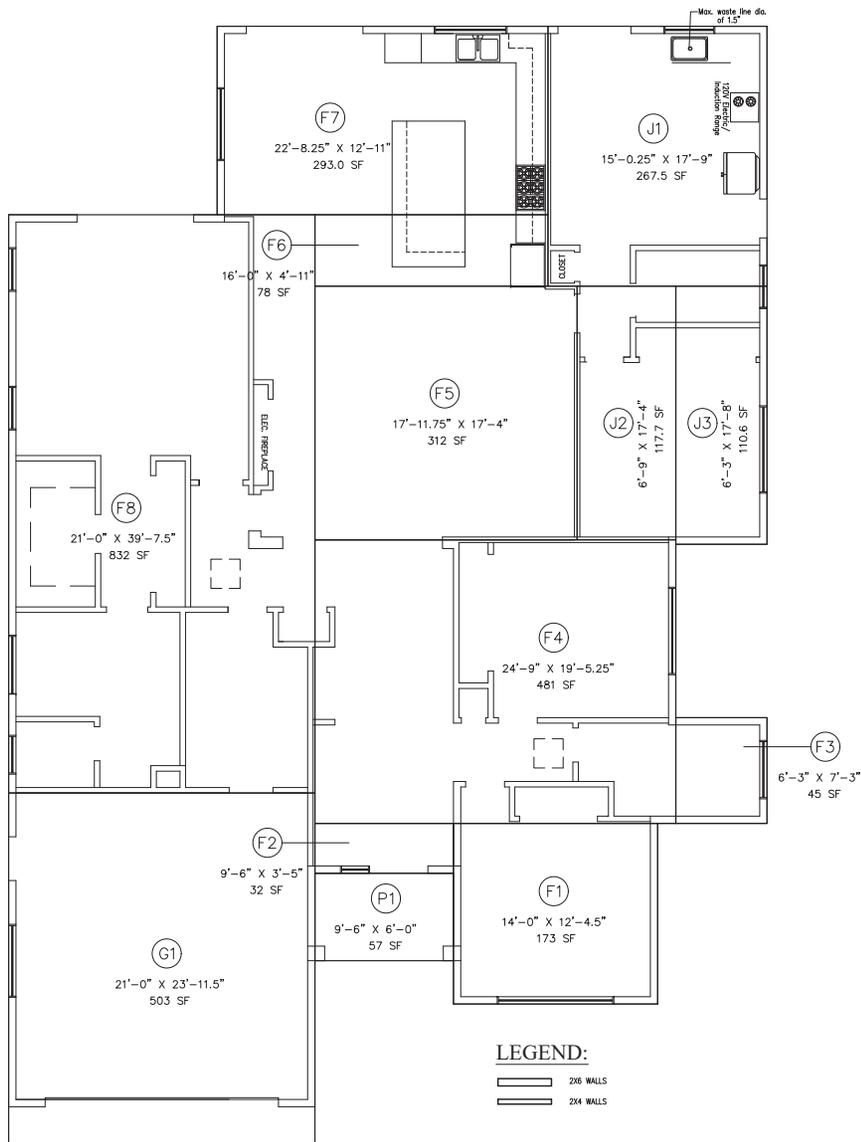
NEW SINGLE FAMILY RESIDENCE
 1495 THERESA AVE.
 CAMPBELL, CA 95008

WILSON & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 815 SAN DIEGO ROAD • BERKELEY, CA 94707
 PH: 510-844-8800 • E: cwilson@15a.com

NOTES AND DETAILS

BY: CW
 JOB:
 DATE: 09-22-20
L-3
 SHEET OF
 REVISIONS





GARAGE AREA		
G1	21'-0" X 23'-11.5"	503 SF
TOTAL GARAGE AREA		503 SF

FIRST FLOOR LIVING AREA		
P1	14'-0" X 12'-4.5"	173 SF
P2	9'-6" X 3'-5"	32 SF
P3	6'-3" X 7'-3"	45 SF
P4	24'-9" X 19'-5.25"	481 SF
P5	17'-11.75" X 17'-4"	312 SF
P6	16'-0" X 4'-11"	78 SF
P7	22'-8.25" X 12'-11"	293.0 SF
P8	21'-0" X 39'-7.5"	832 SF
TOTAL 1ST FLR. LIVING AREA		2,246 SF

JUNIOR ADU		
J1	15'-0.25" X 17'-9"	267.5 SF
J2	6'-9" X 17'-4"	117.7 SF
J3	6'-3" X 17'-8"	110.6 SF
TOTAL JUNIOR ADU AREA		495.8 SF

FRONT PORCH (P1): 57 SF

TOTAL BUILT AREA:	3,301.8 SF
--------------------------	-------------------

Designer: *A. Dula*
aks BLDG DESIGN
 AKS BUILDING DESIGN
 AMAN DULAY
 (Principal Designer)
 Tel: 408.375.8351
 Fax: 650.941.8755
 aksdesign@gmail.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Plans, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with AKS BUILDING DESIGN without prejudice. Read contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Project:
 NEW Single Family Residence
 1495 THERESA AVE.
 CAMPBELL, CA 95008
 APN: 406-23-031

Owners:
 MS. LANH HOYLE
 1495 THERESA AVE.
 CAMPBELL, CA 95008

No.	Submittals	Date
1	PLANNING	10/1/2020
2	PLANNING	11/30/2020
3	PLANNING	1/22/2021

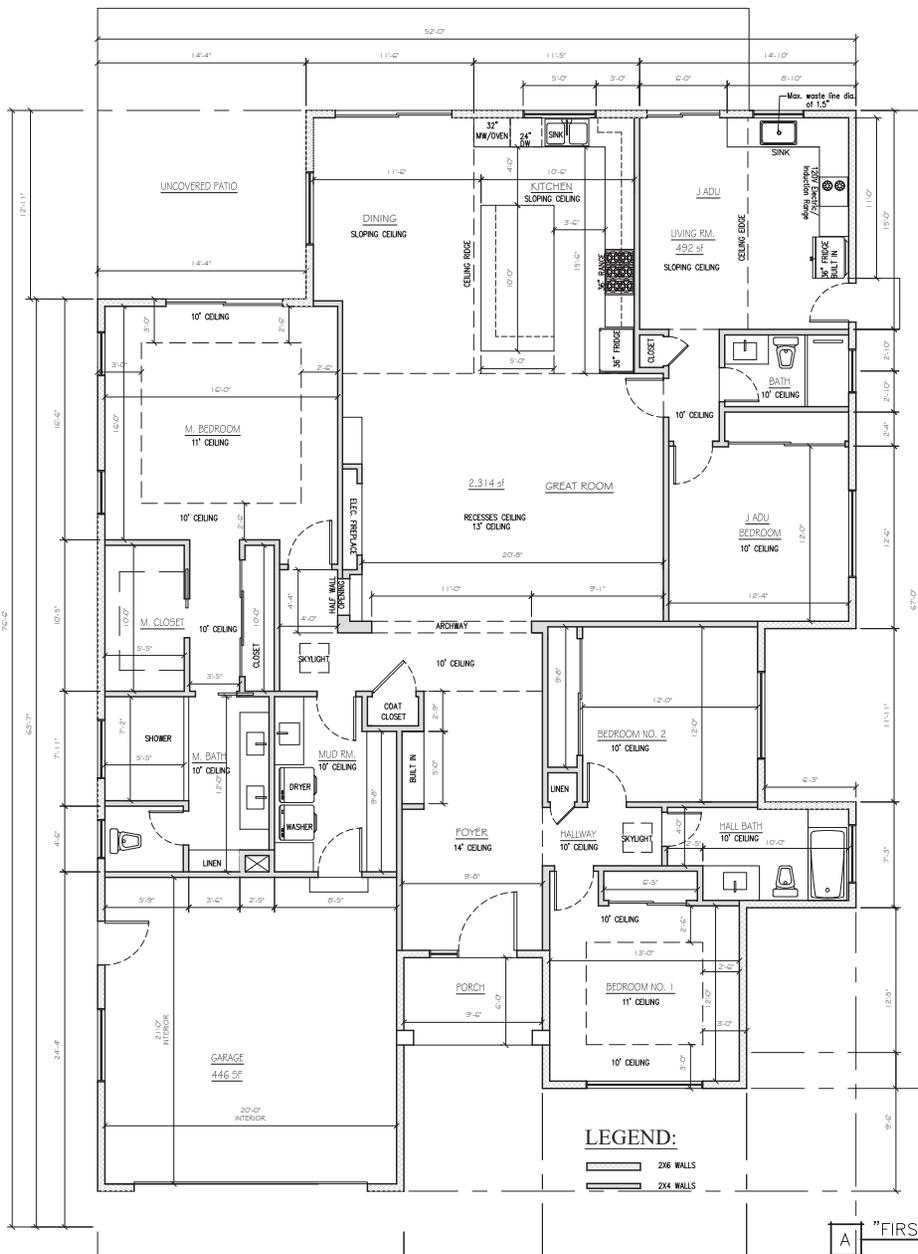
No.	Revision/Issue	Date

Project: THERESA
 Scale: As Shown
 Date: 1/22/2021
 Sheet Title:

"AREA CALCULATIONS"

Sheet No:

A-2.0



FLOOR PLAN

1. 36" GAS RANGE/OVEN PER OWNER, EXHAUST FAN OVER
2. 48" REFRIGERATOR- PLUMB FOR ICE MAKER
3. 24" DISHWASHER PER OWNER
4. 32" SINK W/ FOOD DISPOSER
5. 24" UNDER COUNTER WINE COOLER
6. 24" X 48" ATTIC ACCESS
7. 18" X 24" CRAWL SPACE ACCESS
8. 4" CROWN MOLDING REVIEW WITH OWNER
9. 4" BASE PER OWNER, THROUGHOUT THE ADDITION/ REMODEL
10. WATER CLOSET- 1.28 GAL PER FLUSH (30" MIN. CLEAR WIDTH) VENT THROUGH THE ROOF (TYP.)
11. TEMP. GLASS @ SHOWER/ TUB
12. 8" HIGH TILE AT SHOWER/ TUB WALL
13. BLOCKING FOR TOWEL BAR/ TP HOLDER (LOC. PER OWNER)
14. VANITY PER OWNER W/ SINK @ 1.2 gpm @ 60 psi
15. EGRESS WINDOWS NOTES:
 - a) MINIMUM NET CLEAR OPERABLE DIMENSION OF 24 INCHES IN HEIGHT (R310.1.2.)
 - b) MINIMUM NET CLEAR OPERABLE DIMENSION OF 20 INCHES IN WIDTH (R310.1.1.)
 - c) MINIMUM NET CLEAR OPERABLE DIMENSION OF 5.7 SQFT IN AREA. GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQFT (R310.1.1.)
 - d) THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES MEASURE FROM THE FLOOR. (R310.1.)
16. ELECTRICAL BOXES OF ANY MATERIALS LOCATED THROUGH RATED WALL LOADED BETWEEN GARAGE & DWELLING SHALL BE LISTED AND TESTED FOR USE IN FIRE-RESISTANCE RATED ASSEMBLIES AND INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTED PER EBC- 712-3.2.
17. WASHER/DRYER - VENT TO OUTSIDE (METAL DRYER VENT BOX BOX 1000M)
18. SHEET METAL PAN W/ DRAIN
19. 1 3/4" SOLID CORE ENTRY DOOR UNIT PER OWNER OR BUILDER
20. SELF-CLOSING, SELF-LATCHING, TIGHT-FITTING, SOLID WOOD 1 3/8 INCH THICK DOOR OR 20 MINUTE RATED DOOR W/ SELF CLOSURE.
21. 1/2" TYPE "X" GYP. BD. FROM GARAGE FLOOR TO GARAGE CEILING.
22. 1/2" TYPE "X" GYP. BD. @ BOTH SIDE OF WALLS ADJACENT TO LIVING AREA FROM FOUNDATION/ SLAB TO ROOF SHEATHING.

WATER EFFICIENCY AND CONSERVATION:

BATHROOM FAUCETS: MAX. 1.2 GPM AT 60 PSI (MIN. SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI)

SHOWHEADS: 1.8 GPM @ 80 PSI

KITCHEN FAUCETS: 1.8 GPM @ 60 PSI (OPTION FOR TWO STAGE FLOW)

TOILETS: 1.28 GPF

FOUNDATION VENTILATION:

UNDERFLOOR AREAS SHALL BE VENTED BY OPENINGS IN THE EXTERIOR FOUNDATION WALLS SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN ONE SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER FLOOR AREA. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH OPENING OF 1/4" DIMENSIONS.

ADDITION UNDERFLOOR AREA = $\frac{2742}{150 \text{ SQ. FT.}} = 18.28$ (REQUIRED NET AREA)

REQUIRED NET AREA = 18.28 32 VENTS NEEDED

NET OPEN AREA PER VENT = 0.58

VENT SIZE PROVIDED SHALL BE 6"x14" (VENTS 6'-0" ON CENTER AROUND THE PERIMETER OF THE RESIDENCE).

Designer: *A. Dulay*
aks AKS BUILDING DESIGN
 AMAN DULAY (Principal Designer)
 Tel: 408.375.8351
 Fax: 650.941.8755
 akdesign@gmail.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Tie to the plans and specifications remains with AKS BUILDING DESIGN without prejudice. Visit contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Project:
NEW Single Family Residence
 1495 THERESA AVE.
 CAMPBELL, CA 95008
 APN: 406-23-031

Owners:
 MS. LANH HOYLE
 1495 THERESA AVE.
 CAMPBELL, CA 95008

No.	Submittals	Date
1	PLANNING	10/1/2020
2	PLANNING	11/30/2020
3	PLANNING	1/22/2021

No.	Revision/Issue	Date

Project: THERESA
 Scale: As Shown
 Date: 1/22/2021

Sheet Title:
 "FLOOR PLAN"

Sheet No:

Designer: *A. Dulay*
aks BUILDING DESIGN
 AMAN DULAY
 (Principal Designer)
 Tel: 408.375.8351
 Fax: 650.941.8755
 akdesign@gmail.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Plans, reproduction or publication by any method, in whole or in part, is prohibited. Tie to the plans and specifications renders with "AKS BUILDING DESIGN" without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

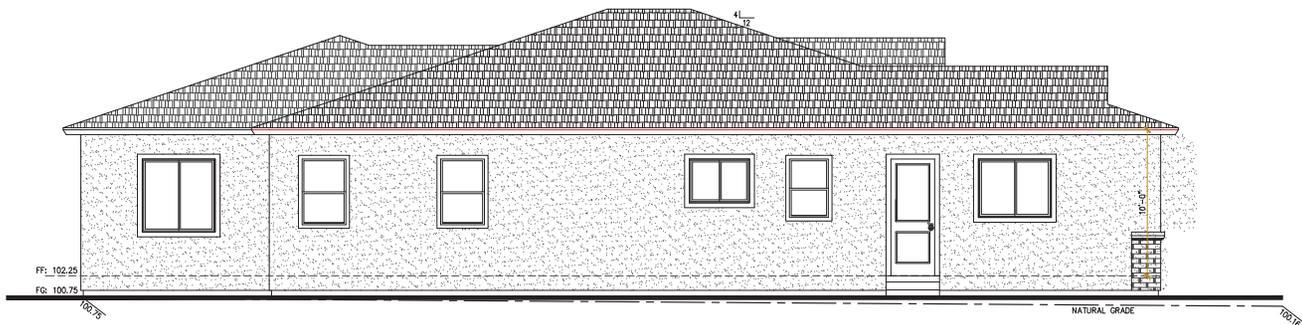
Project:
 NEW Single Family Residence
 1495 THERESA AVE.
 CAMPBELL, CA 95008
 APN: 406-23-031

Owners:
 MS. LANH HOYLE
 1495 THERESA AVE.
 CAMPBELL, CA 95008

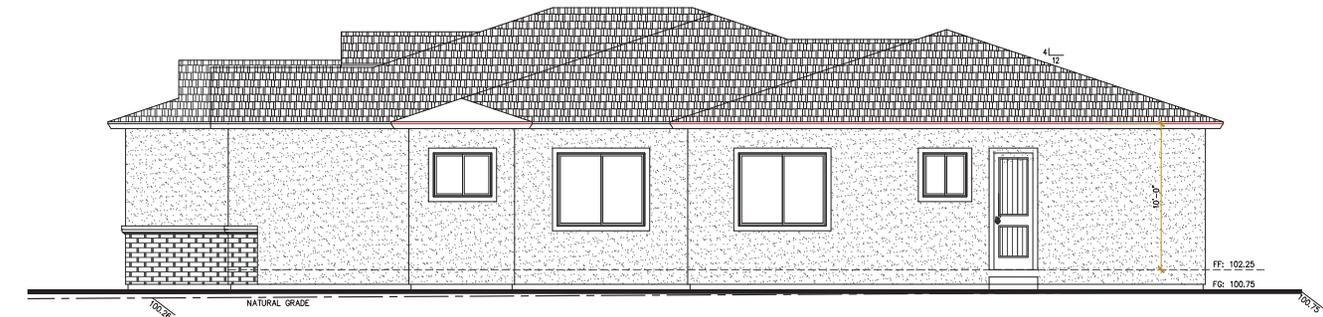


A "REAR ELEVATION" 1/4"=1'-0"

B "FRONT ELEVATION" 1/4"=1'-0"



C "LEFT SIDE ELEVATION" 1/4"=1'-0"



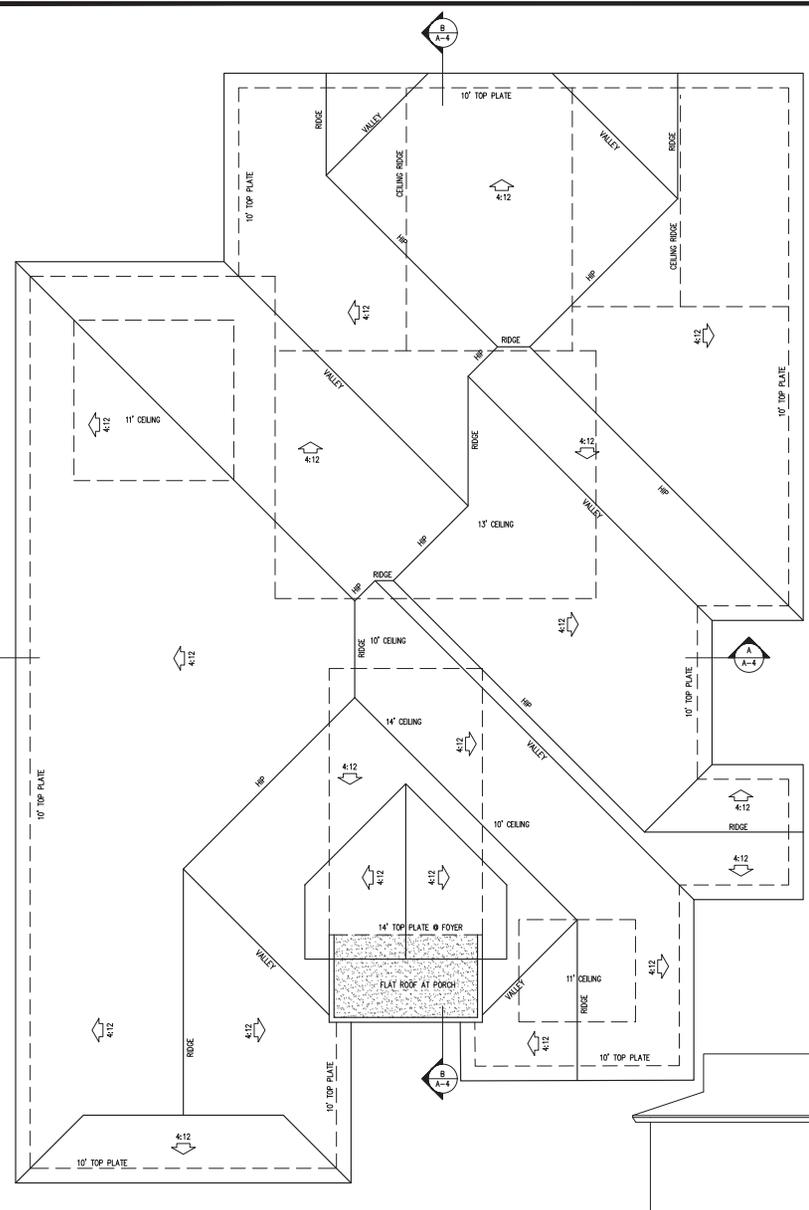
D "RIGHT SIDE ELEVATION" 1/4"=1'-0"

BUILDING COMPONENTS	
1	ROOF: COMPOSITION SHINGLES CLASS "A" MANUF: EAGLE ROOFING
2a	WALL: 7/8" 3 COAT SMOOTH STUCCO OVER 2 LAYERS OF GRADE 10 PAPER BACKED METAL MESH. U.B.C. 2508 COLOR: KELLY MOORE-SPANISH SAND-LRV 47
2b	WALL: PINEHURST LEDESTONE
3	WINDOW TRIMS: FAUX STONE AROUND WINDOWS COLOR: KELLY MOORE-SWISS COFFEE-23
4	GUTTER: METAL GUTTER & LEADER FINISH: TRIM COLOR
5	LIGHTS: ALL LIGHTING SHALL BE SHIELDED TO DIRECT LIGHT TOWARDS THE GROUND

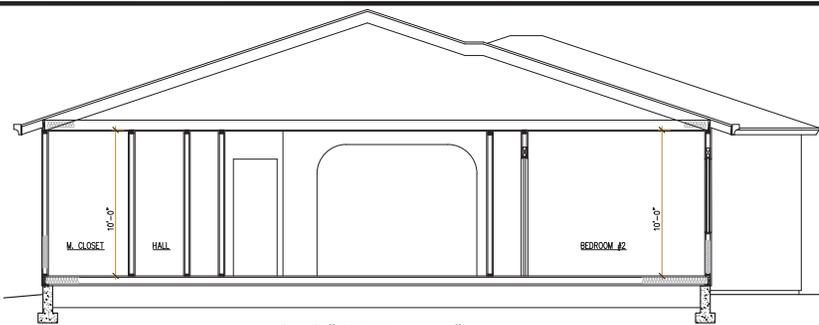
No.	Submittals	Date
1	PLANNING	10/1/2020
2	PLANNING	11/30/2020
3	PLANNING	1/22/2021

No.	Revision/Issue	Date

Project: THERESA
 Scale: As Shown
 Date: 1/22/2021
 Sheet Title:
 "EXTERIOR ELEVATIONS"
 Sheet No:



C "ROOF PLAN"
1/4"=1'-0" NORTH



A "SECTION A-A"
1/4"=1'-0"



FRONT DOOR D
CHERRY GRAY FIBERGLASS

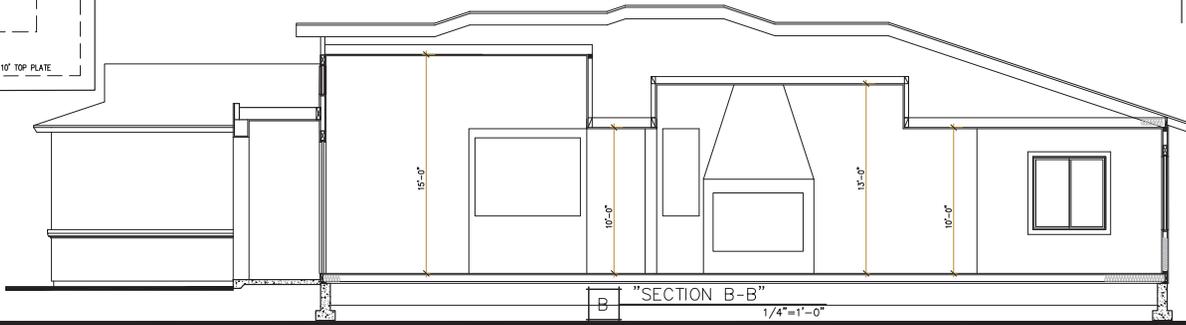
Cultured Pearl SW 6028

A PAINTED STUCCO
SW 0005 DEEPEST MAUVE

B TRIM FOR WINDOWS/ DOOR
SW 6028 CULTURED PEARL

E COMPOSITION SHINGLES ROOF
COBBLESTONE GRAY

EQUITONE-FIBER CEMENT
Watersportbaan



B "SECTION B-B"
1/4"=1'-0"

Designer: *A. Dulay*
aks BUILDING DESIGN
 AKS BUILDING DESIGN
 AMAN DULAY
 (Principal Designer)
 Tel: 408.375.8351
 Fax: 650.941.8755
 aksdesign@gmail.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Plans, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with AKS BUILDING DESIGN without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Project:
 NEW Single Family Residence
 1495 THERESA AVE.
 CAMPBELL, CA 95008
 APN: 406-23-031

Owners:
 MS. LANH HOYLE
 1495 THERESA AVE.
 CAMPBELL, CA 95008

No.	Submittals	Date
1	PLANNING	10/1/2020
2	PLANNING	11/30/2020
3	PLANNING	1/22/2021

No.	Revision/Issue	Date

Project: THERESA
 Scale: As Shown
 Date: 1/22/2021

Sheet Title:
 "ROOF PLAN/ SECTIONS"

Sheet No: