



CITY OF CAMPBELL
Community Development Department

March 5, 2021

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

Project Address: 1060 S. San Tomas Aquino Rd.

Zoning/Area Plan: R-1-8 / San Tomas Area Neighborhood Plan

File No.: PLN-2021-19

APN: 406-15-037

Applicant: Rick Zea

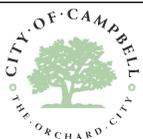
Property Owner: Chelsea N & Kjartan E Armann

Application Type: Admin Site & Architectural Review Permit

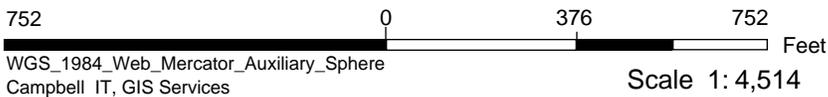
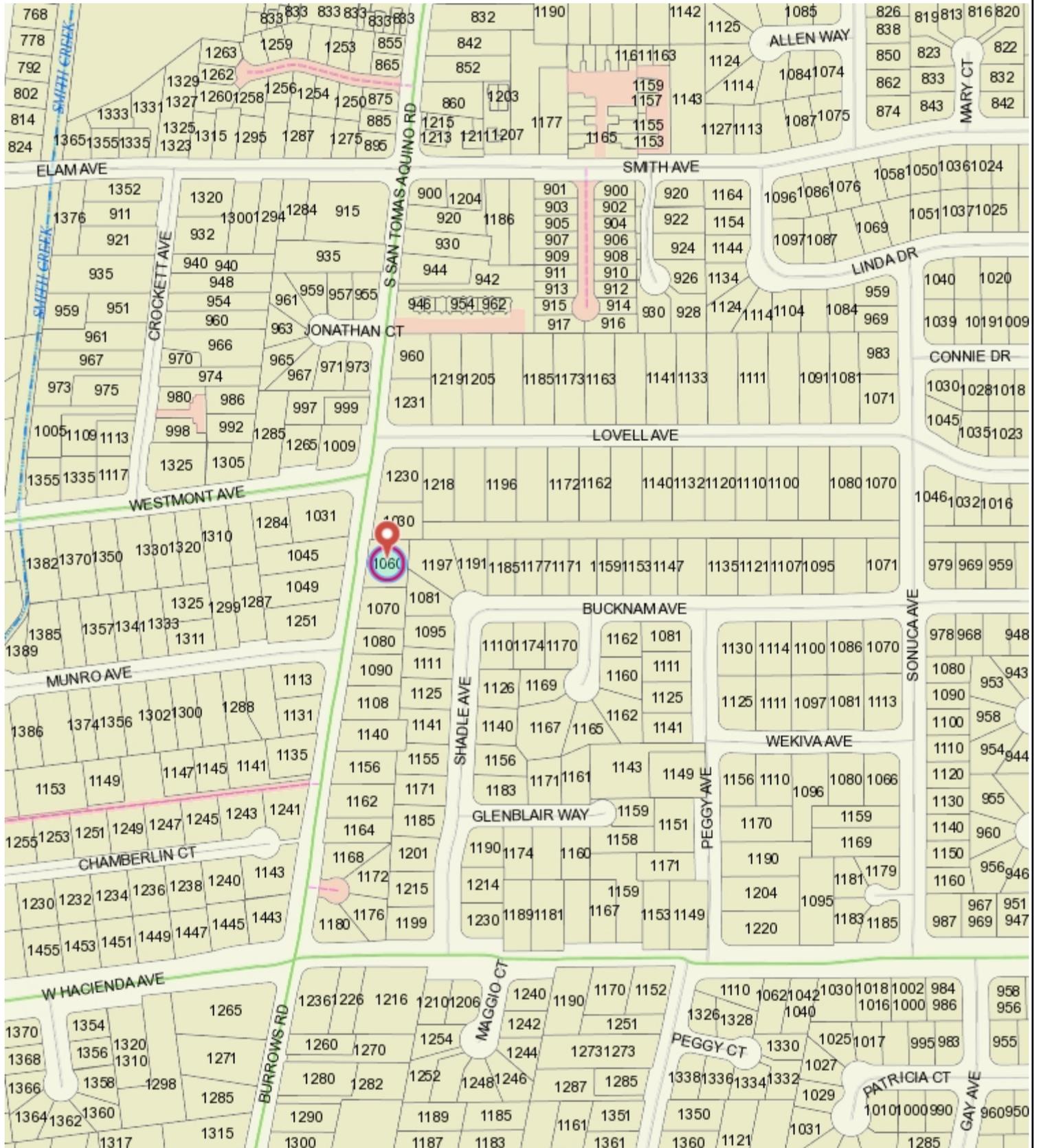
Project Description: Approximately 350 square-foot addition to the front of an existing single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 6, 2021 and ends on March 16, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 16, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.



Location Map - 1060 S. San Tomas Aquino Rd.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

GENERAL NOTES

- CODES AND REGULATIONS** ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2019 CALIFORNIA BUILDING CODE (C.B.C.) 2019 CALIFORNIA RESIDENTIAL CODE (C.R.C.) 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.) 2019 CALIFORNIA PLUMBING CODE (C.P.C.) 2019 CALIFORNIA MECHANICAL CODE (C.M.C.) 2019 CALIFORNIA FIRE CODE (C.F.C.) 2019 CALIFORNIA ENERGY CODE (C.E.C.) 2019 CALIFORNIA GREEN CODE (C.G.C.) NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.
- SITE VERIFICATION** GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.
- MEASUREMENTS** CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS; FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.
- DIMENSIONS** DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
- DISCREPANCIES** MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- MANUFACTURER'S SPECIFICATIONS** CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS, TYPICAL. ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURERS FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.
- WINDOWS AND DOORS** CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF DOORS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- CALGREEN STANDARDS** ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR, PER CGBSC SEC. 4.504.2.4

PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER) PROJECTS MUST BE PROVIDED TO BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

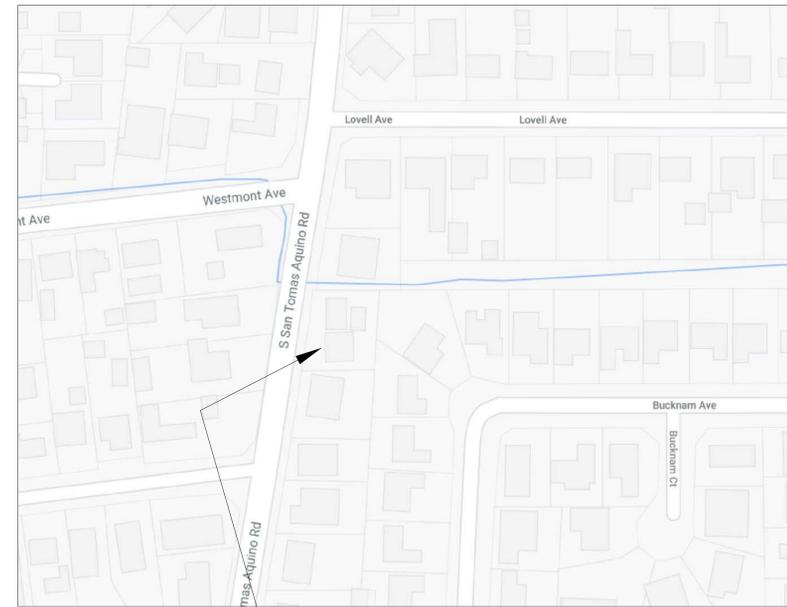
Zea Residence

349 Sq.Ft. One Story Addition

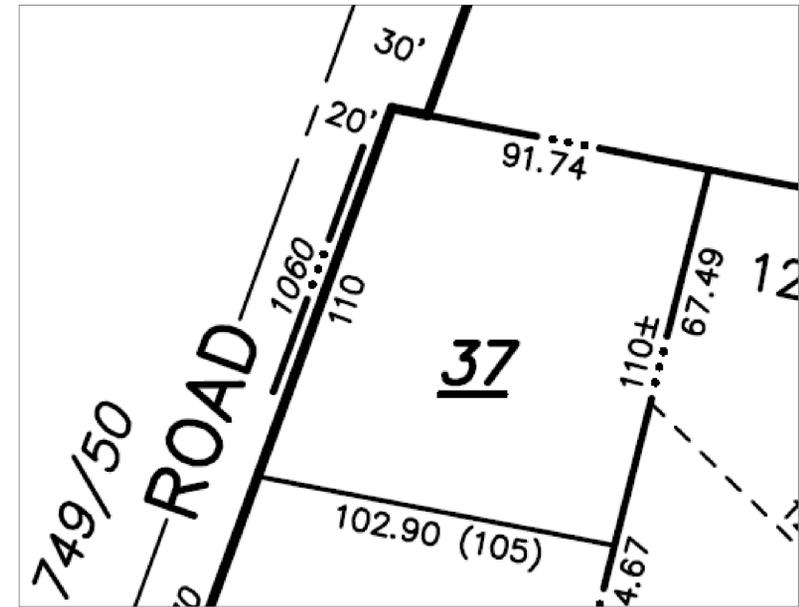
1060 S San Tomas Aquino Rd. Campbell, CA 95008

APN : 406-15-037

REVISIONS		
No	DATE	NOTES
1	03/01/2021	Planning: Daniel Forno



VICINITY MAP



PARCEL MAP

CODES AND EDITIONS

THE UPDATED CODES ADOPTED BY THE CITY OF CAMPBELL ARE:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA HISTORICAL BUILDING CODE
2019 CALIFORNIA EXISTING BUILDING CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS

DRAWINGS INDEX

- DRAWINGS INDEX :
- A.1 COVER SHEET GENERAL INFORMATION.
 - A.2 PROPOSED SITE PLANS.
 - A.3 EXISTING PROPOSED FLOOR PLAN.
 - A.4 PROPOSED EXTERIOR ELEVATIONS.
 - A.5 ROOF PLAN, FLOOR AREA DIAGRAM.

PROJECT DATA

PROJECT DATA:

OWNER'S NAME: ZEA
PROJECT ADDRESS: 1060 S SAN TOMAS AQUINO RD. CAMPBELL, CA 95008

A P N: 406-15-037

ZONING: R-1-B

TYPE CONSTRUCTION: V-B

OCCUPANCY : R-3/U

FIRE SPRINKLERS: NO

FLOORS: 1
BEDROOMS: 3
BATHROOMS: 2
PARKING SPACES: 3 COVERED PARKING

DEVELOPMENT STANDARDS

EXISTING LOT COVERAGE 35% MAX.		EXISTING FLOOR AREA RATIO 45% MAX.	
LOT SIZE	10,482 Sq.Ft.	LOT SIZE	10,482 Sq.Ft.
10,482 x 0.35 = 3,668 Sq.Ft. max.		10,482 x 0.45 = 4,716 Sq.Ft. max.	
EXISTING HOUSE	1,482 Sq.Ft.	EXISTING HOUSE	1,482 Sq.Ft.
NEW ADDITION	349 Sq.Ft.	NEW ADDITION	349 Sq.Ft.
NEW TOTAL LIVABLE	1,831 Sq.Ft.	NEW TOTAL LIVABLE	1,831 Sq.Ft.
EXISTING GARAGE	854 Sq.Ft.	EXISTING GARAGE	854 Sq.Ft.
EXISTING ADU	650 Sq.Ft.	TOTAL	2,685 Sq.Ft.
TOTAL	3,335 Sq.Ft.	2,685 / 10,482 = 25.6%	
3,335 / 10,482 = 31.8%			

PROJECT DESCRIPTION

THE PROJECT CONTEMPLATES:
NEW 349 Sq.Ft. ONE STORY ADDITION.
AT FRONT AREA OF THE EXISTING HOUSE.
-NO TREES TO REMOVE.

Zea Residence
1060 S San Tomas Aquino Rd.
Campbell, CA 95008
Phone: 408 205 8050

-COVER SHEET
-GENERAL INFORMATION
-VICINITY MAP

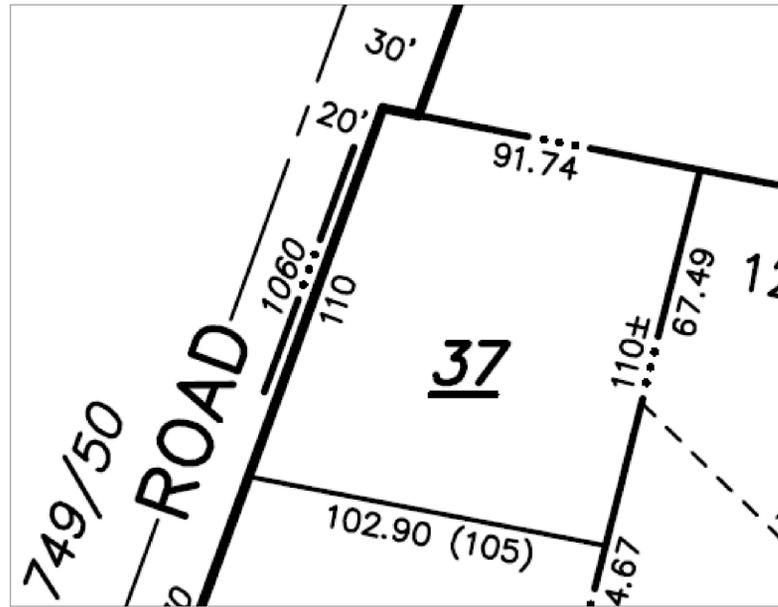
DATE: 02 01 2021

SCALE: AS NOTED

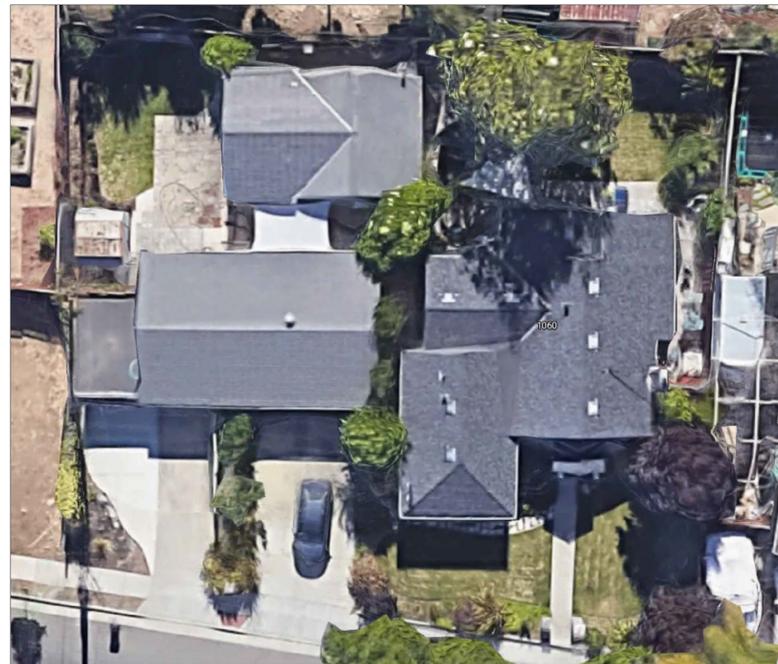
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REVISIONS		
No	DATE	NOTES
1	03/01/2021	Planning: Daniel Fama



PARCEL MAP



AERIAL VIEW



EXISTING LOT COVERAGE 35% MAX.	
LOT SIZE	10,482 Sq.Ft.
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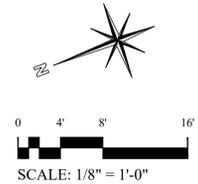
EXISTING FLOOR AREA RATIO 45% MAX.	
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1060 S SAN TOMAS AQUINO RD.
APN : 40G-15-037

- (E1) (E) ELECTRIC METER
- (E2) (E) GAS METER

2 PROPOSED SITE PLAN
1/8" = 1'-0"

NOTE:
-THIS IS NOT A BOUNDARY SURVEY, PROPERTY LINES ARE SHOWN FOR ORIENTATION ONLY, AND ARE BASED ON PARCEL MAP FROM THE ASSESSOR OFFICE OF SANTA CLARA COUNTY.
-SINCE SITE IS PRACTICALLY FLAT, NO GRADES ARE SHOWN.



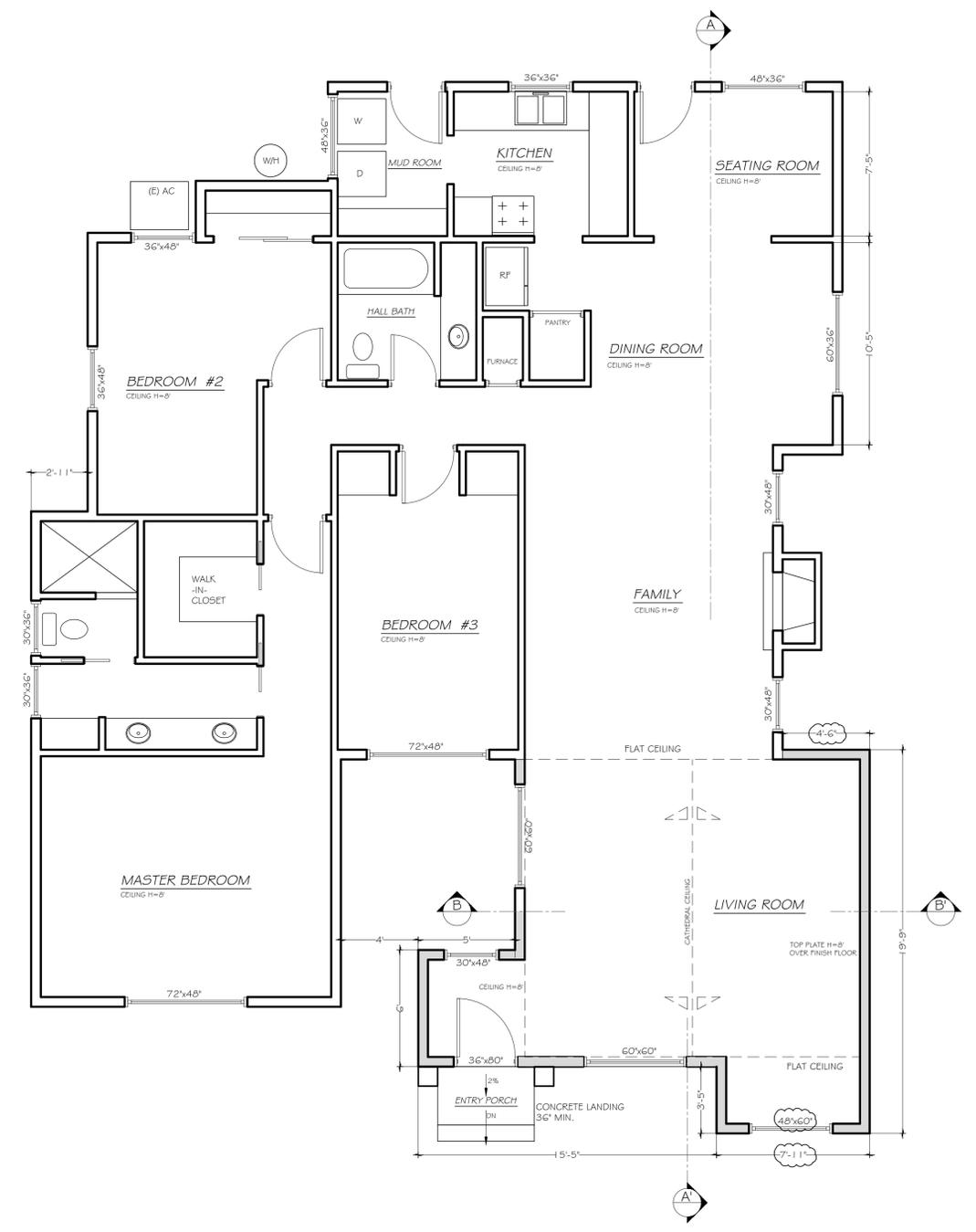
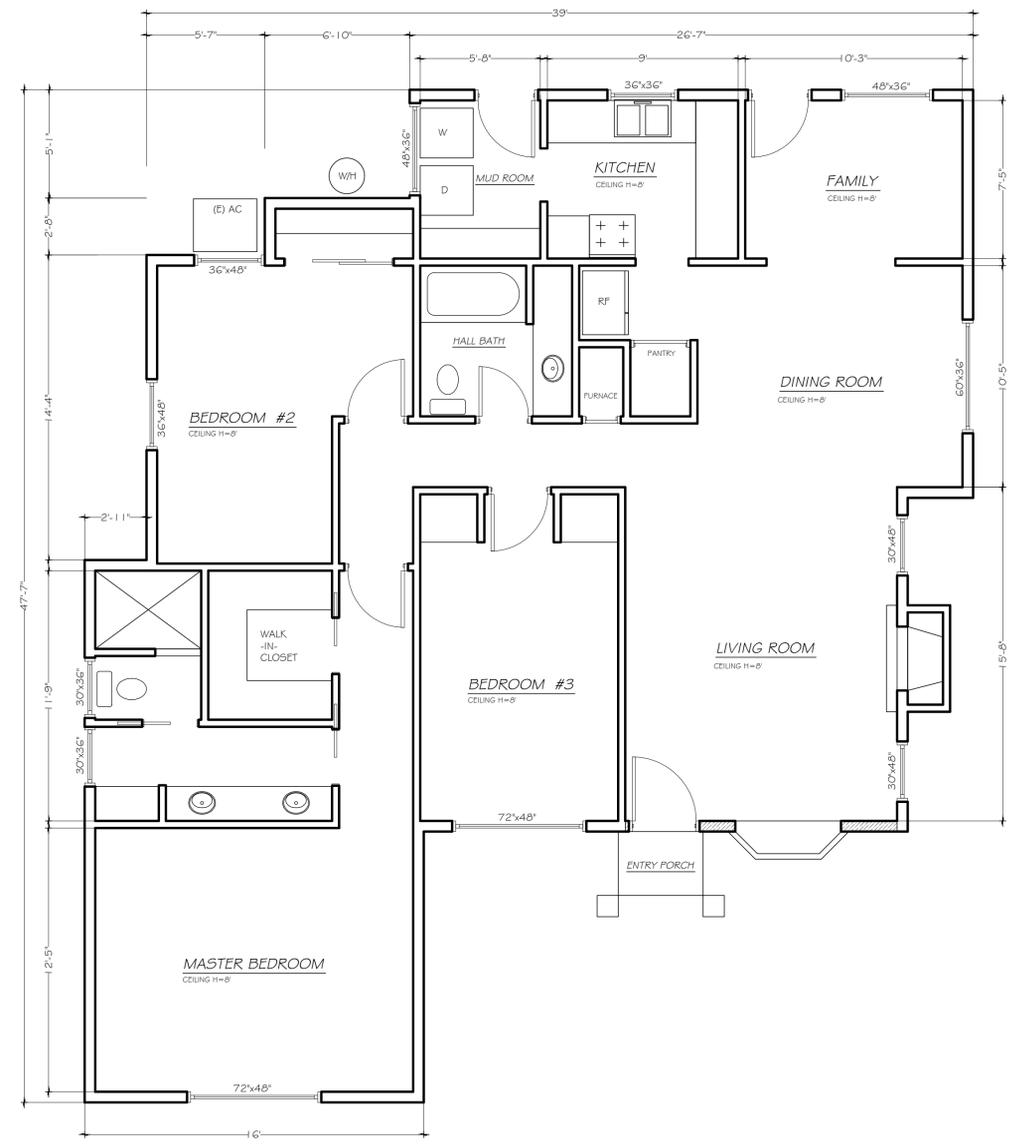
Zea Residence
1060 S San Tomas Aquino Rd.
Campbell, CA 95008
Phone: 408 205 8050

-EXISTING SITE PLAN
-PROPOSED SITE PLAN

DATE: 02 01 2021
SCALE: AS NOTED
DRAWN: W V

A.2

REVISIONS		
No	DATE	NOTES
1	03/01/2021	Planning: Daniel Fama



ALL NEW WORK MUST COMPLY WITH THE:
2019 CA RESIDENTIAL CODE (CRC)
2019 CA ELECTRICAL CODE (CEC)
2019 CA PLUMBING CODE (CPC)
2019 CA MECHANICAL CODE (CMC)
2019 CA ENERGY CODE
2019 CA CALGREEN CODE
AS APPLICABLE AND AMENDED BY THE CITY OF SAN JOSE

WALLS LEGEND

EXISTING WALLS	
WALLS TO BE REMOVED	

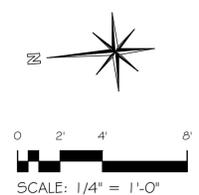
EXISTING FLOOR PLAN
1/4" = 1'-0"
ALL DIMENSIONS ARE TO FINISHED SURFACES UNLESS NOTED OTHERWISE

DEMOLITION PLAN

WALLS LEGEND

EXISTING WALLS	
NEW WALLS	

2 PROPOSED FLOOR PLAN
ALL DIMENSIONS ARE TO FINISHED SURFACES UNLESS NOTED OTHERWISE
IMPORTANT NOTE:
IT IS RESPONSIBILITY OF THE CONTRACTORS BEFORE START THE WORK TO VERIFY ALL DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER.



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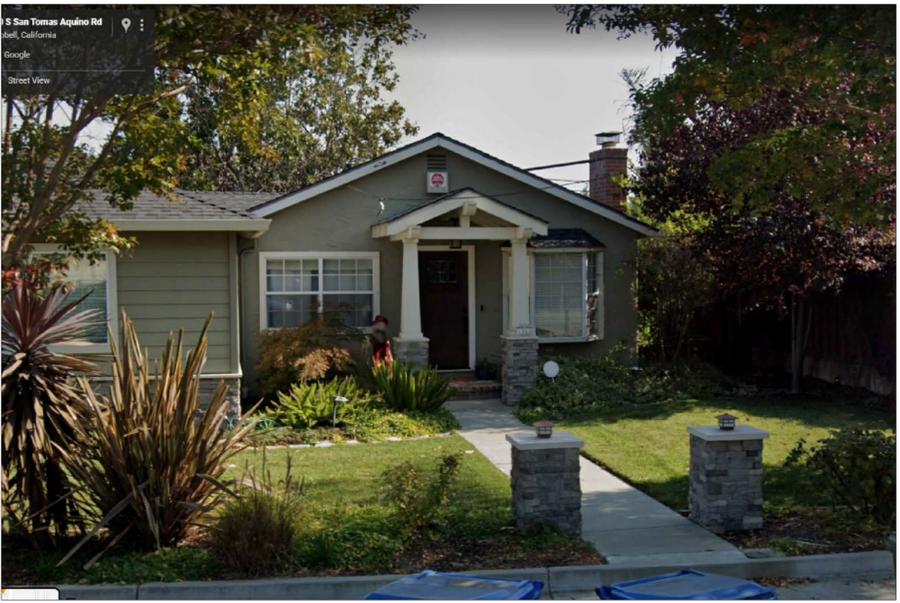
-EXISTING FLOOR PLAN
-PROPOSED FLOOR PLAN

DATE: 02 01 2021
SCALE: AS NOTED
DRAWN: W V

REVISIONS		
No	DATE	NOTES
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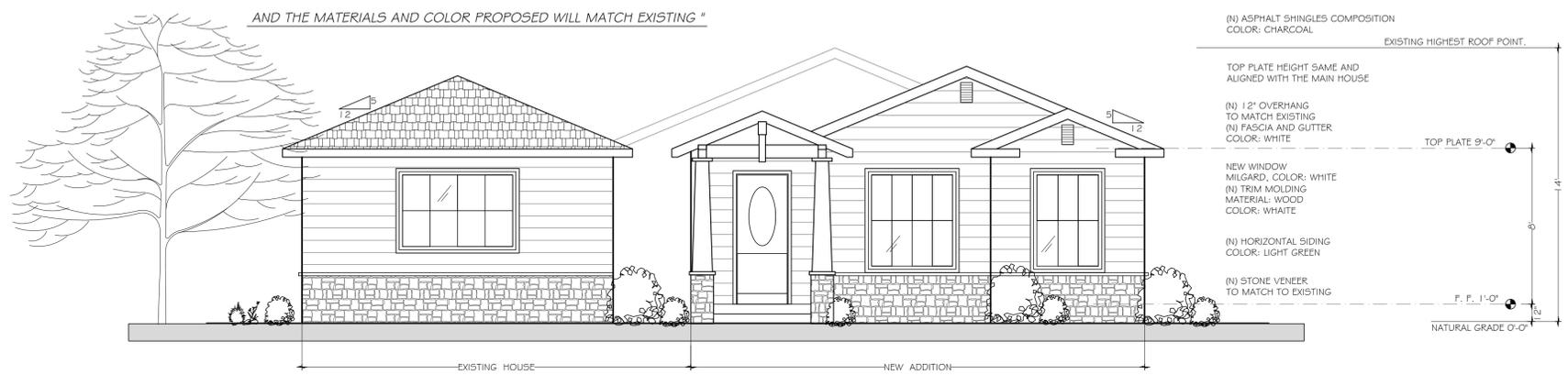


EXISTING FRONT VIEW



EXISTING FRONT VIEW

" THIS PROJECT INVOLVES AN ADDITION TO AN EXISTING STRUCTURE
AND THE MATERIALS AND COLOR PROPOSED WILL MATCH EXISTING "



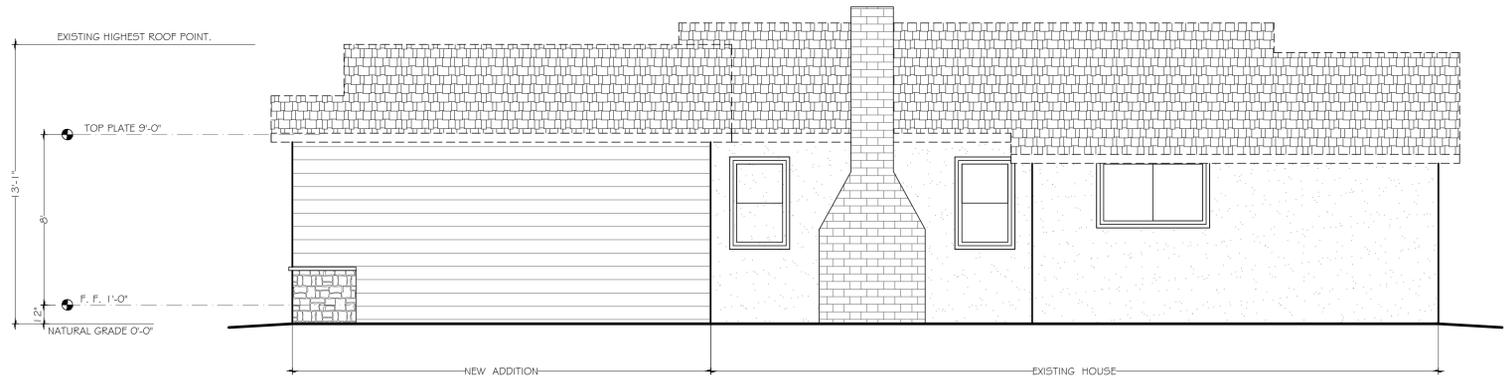
1 PROPOSED FRONT ELEVATION
1/4"=1'-0"

ALL ADDITIONS TO EXISTING SINGLE-FAMILY RESIDENCES SHALL BE ARCHITECTURALLY CONSISTENT WITH THE EXISTING RESIDENCE WITH RESPECT TO ROOF PITCH AND TIE-IN, EXTERIOR MATERIALS AND COLORS. THE ADDITION SHALL BE DESIGNED SO THAT IT APPEARS TO BE PART OF THE ORIGINAL STRUCTURE.

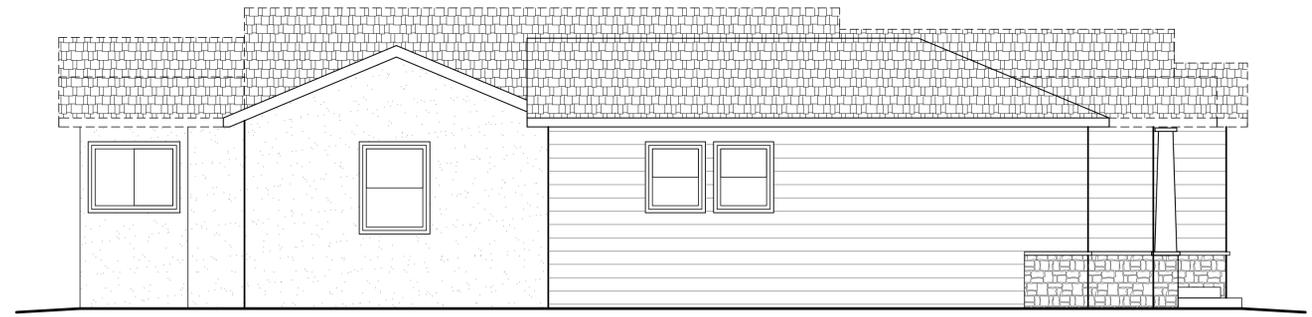
ROOM ADDITIONS SHALL DUPLICATE AND/OR COMPLEMENT THE ARCHITECTURAL STYLE, PROPORTIONS, SCALE, FORM, COLORS AND MATERIALS OF THE EXISTING HOUSE.

THE ROOFING MATERIAL AND COLOR FOR THE ENTIRE DEVELOPMENT MUST BE APPROVED BY THE PLANNING COMMISSION.

ALL VENTS, GUTTERS, DOWNSPOUTS, FLASHINGS, ELECTRICAL CONDUITS, METAL SURFACES ETC., SHALL BE PAINTED TO MATCH THE COLOR OF ADJACENT SURFACES.



2 PROPOSED RIGHT ELEVATION
1/4"=1'-0"



3 PROPOSED LEFT ELEVATION
1/4"=1'-0"

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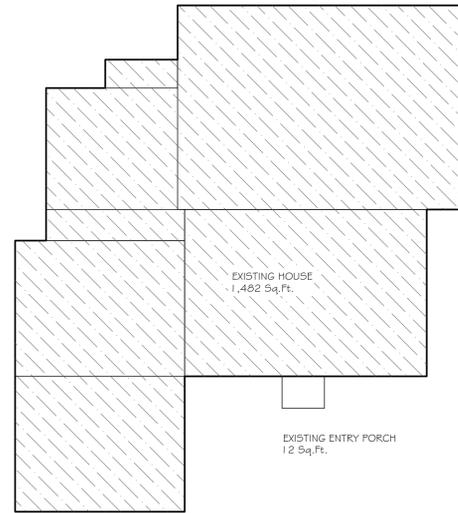
PROPOSED EXTERIOR
ELEVATIONS

DATE: 02 01 2021

SCALE: AS NOTED

DRAWN: W V

REVISIONS		
No	DATE	NOTES
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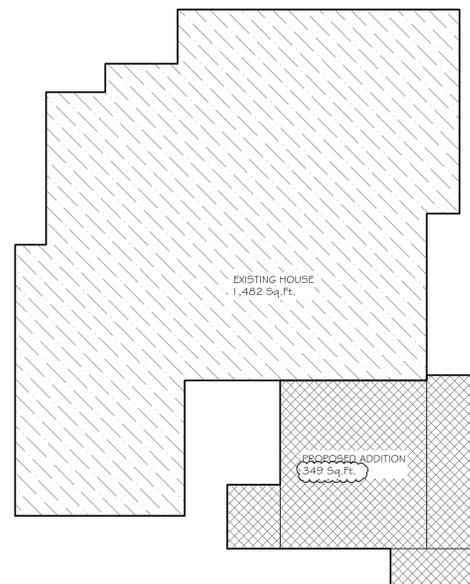


EXISTING AREAS DIAGRAM

1/8" = 1'-00"

EXISTING LOT COVERAGE 35% MAX.	
LOT SIZE	10,482 Sq.Ft.
10,482 x 0.35 = 3,668 Sq.Ft. max.	
EXISTING HOUSE	1,482 Sq.Ft.
EXISTING GARAGE	854 Sq.Ft.
EXISTING ADU	650 Sq.Ft.
EXISTING PORCH	12 Sq.Ft.
TOTAL	2,998 Sq.Ft.
2,998 / 10,482 = 28.6%	

EXISTING FLOOR AREA RATIO 45% MAX.	
LOT SIZE	10,482 Sq.Ft.
10,482 x 0.45 = 4,716 Sq.Ft. max.	
EXISTING HOUSE	1,482 Sq.Ft.
EXISTING GARAGE	854 Sq.Ft.
TOTAL	2,336 Sq.Ft.
2,336 / 10,482 = 22.2%	

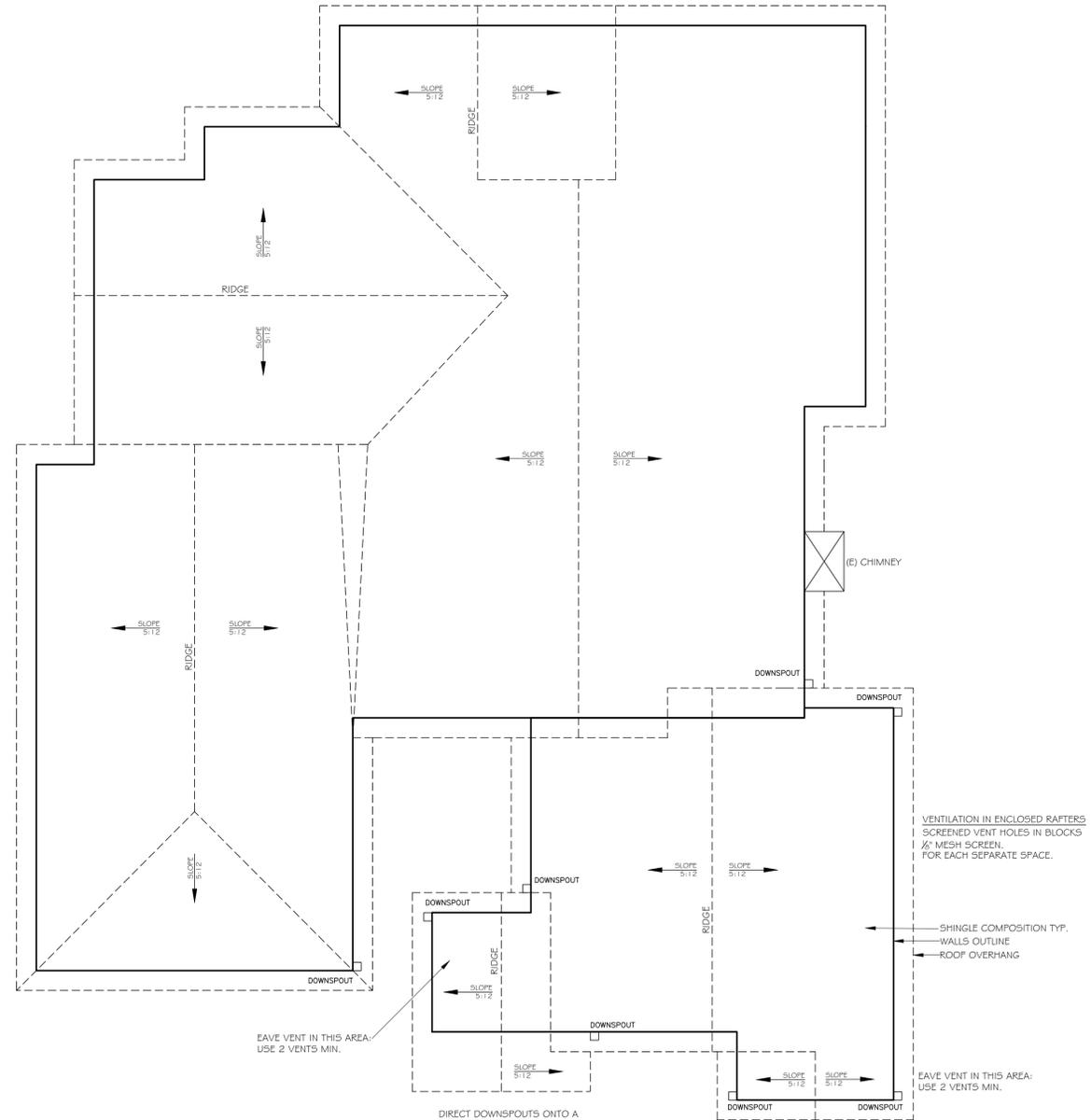


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2,685 / 10,482 = 25.6%	



PROPOSED ROOF PLAN

1/4" = 1'-00"

DOWNSPOUTS NOTE:

-DOWNSPOUTS SHOULD BE DIRECTED TO SPLASH BLOCKS (MINIMUM 2 FEET LONG RECOMMENDED) THAT DEFLECT THE WATER AWAY FROM THE BUILDING.

DIRECT DOWNSPOUTS ONTO A LAWN OR VEGETATED AREA.

DRIP EDGE IS REQUIRED AT EAVES AND GABLE EDGES. THE DRIP EDGE SHALL EXTEND 1/4 INCH BELOW THE SHEATHING AND EXTEND BACK ON THE ROOF FOR A MINIMUM OF TWO INCHES. TYP.

1/2" ROOF RADIANT BARRIER PLYWOOD OR OSB SHEATHING, SEE SHEATHING SCHEDULE

PROVIDE CROSS VENTILATION DORMERS VENTS AT CALIFORNIA FRAMED PORTION

PROVIDE DORMERS LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT.

General Information:

The following items will be checked at the final:
Spark arrester is installed
Overflow drains are cleaned
Skiylights are secured
All flues are to be extended and secured
Any roof equipment and/or piping is secured
All exposed nails are protected and caulked with silicon
All exposed wood, roof jacks, and metal flashing or edging are painted
Installed gutters are provided with means to prevent accumulation of leaves or debris.

Flashing (CBC 1507 and CRC R905.2.8 - R905.2.8.4)

Provide roof flashing at all wall and roof intersections, gutters, and where there is a change in the roof slope or direction around roof openings. Flashing shall be a minimum 26 gauge corrosion-resistant galvanized metal.

Drip Edge (CBC 1507.2.9.3 and CRC R905.2.8.5)

Provide a drip edge at eaves and gables of asphalt shingle roofs. Adjacent pieces of the drip edge shall be overlapped a minimum of 2 inches. The drip edge shall extend 1/4 inch below the roof sheathing and a minimum of 2 inches up the roof deck. The drip edge shall be mechanically fastened to the roof deck at a maximum of 12 inches with approved fasteners. The underlayment shall be installed over the drip edge along the eaves, and under the drip edge at gables (rake edges). Shingles can be flush with the drip edge if allowed by the manufacturer.

Attic Ventilation (CBC 1203.2 and CRC R806.2)

Provide cross ventilation at all attic and enclosed rafter spaces. The net free ventilation shall be a minimum ratio of 1:150 of the area or space ventilated (e.g. 1 square foot of ventilation for each 150 square feet of attic space). This can be reduced to 1:300 when 40% to 50% of the vents are located not more than 3 feet below the ridge or highest point and the remaining vents are eave or cornice vents.

Underlayment Materials for Low Sloped Roofs (CBC 1507 and CRC R905.1.1)

For roof slopes between 2:12 and 4:12, two layers of underlayment material shall be applied. A minimum of 19 inch wide strip of underlayment felt shall be applied parallel with and starting at the eaves, fastened sufficiently to hold in place. Starting at the eave, 36 inch wide sheets of underlayment shall be applied overlapping successive sheets 19 inches, fastened sufficiently to hold in place.

VENTILATION IN ENCLOSED RAFTERS
SCREENED VENT HOLES IN BLOCKS
1/2" MESH SCREEN
FOR EACH SEPARATE SPACE.

SHINGLE COMPOSITION TYP.
WALLS OUTLINE
ROOF OVERHANG

EAVE VENT IN THIS AREA:
USE 2 VENTS MIN.

ROOF COVERING MATERIAL:
FIRE TREATED, PROVIDE A MINIMUM
OF CLASS B, OVER TWO LAYERS FELT.
ROOF FIRE TREATED, CLASS B MIN.

PROVIDE 2 DORMERS VENTS
LOCATED NOT MORE THAN 3
FEET BELOW THE RIDGE OR
HIGHEST POINT.

DRIP EDGE IS REQUIRED AT EAVES AND GABLE EDGES.
THE DRIP EDGE SHALL EXTEND 1/4 INCH BELOW THE
SHEATHING AND EXTEND BACK ON THE ROOF FOR A
MINIMUM OF TWO INCHES. TYP.

Zea Residence
1060 S San Tomas Aquino Rd.
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Phone: 408 205 8050

-PROPOSED ROOF PLAN

-FLOOR AREAS DIAGRAM

DATE: 02 01 2021

SCALE: AS NOTED

DRAWN: W V

A.5