



CITY OF CAMPBELL
Community Development Department

March 12, 2021

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 23, 2021**, for a Public Hearing to consider the application of Ted Luthin for a Modification (PLN-2021-45) to a previously approved Master Sign Program (PLN2008-165) to allow a minor revision on property located at **1640-1790 S. Bascom Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_bOwCjo-8TNegPpgzaDdMJg. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, March 19th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, March 12th on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

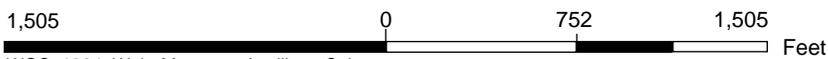
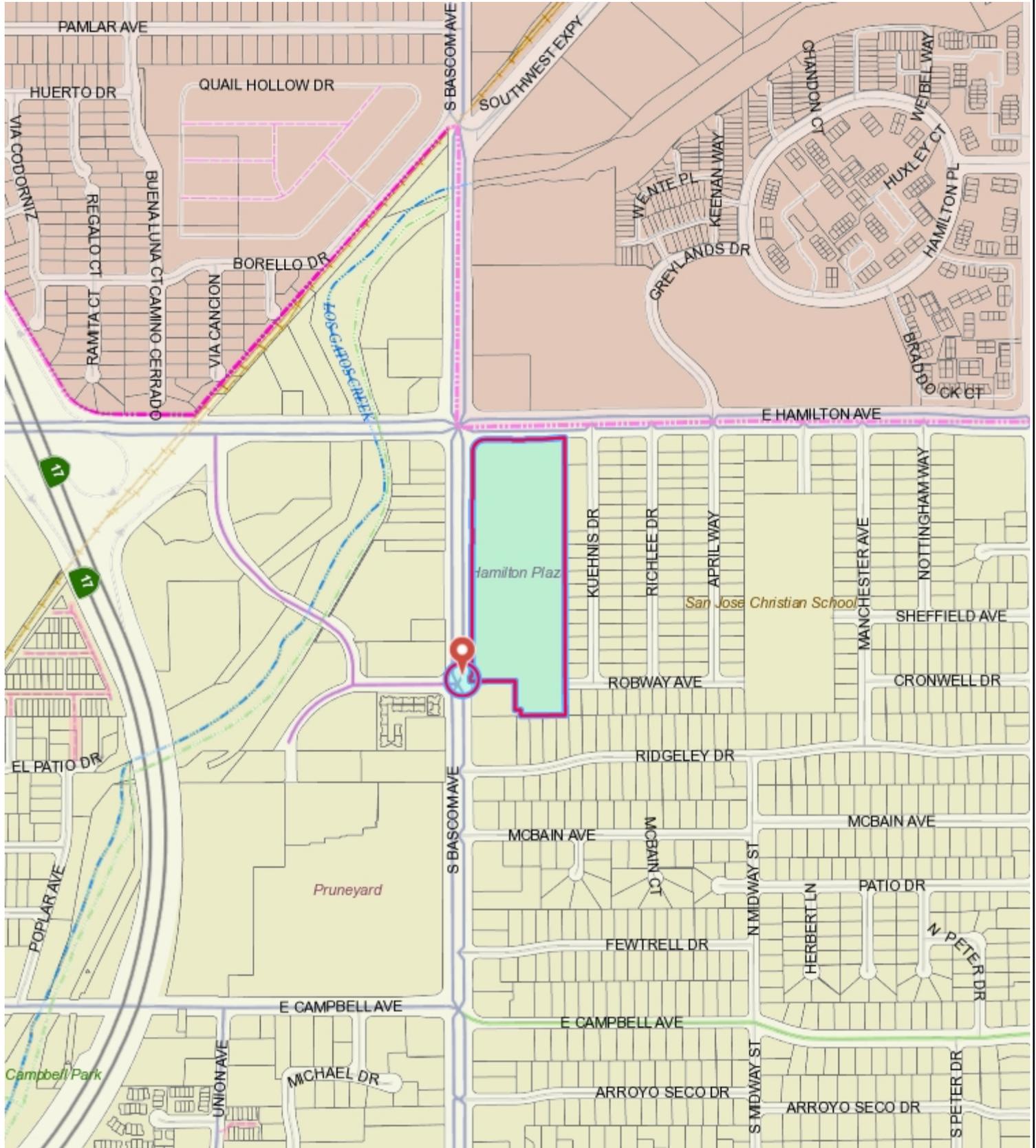
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling on this Notice, refer to **1640-1790 S. Bascom Ave**



Location Map - 1640 - 1790 S. Bascom Ave.



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1: 9,028

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

H A M I L T O N P L A Z A

MASTER SIGN PROGRAM

03.04.21

Prepared for HUNTER PROPERTIES
by: ROSS/LUTHIN CREATIVE

HAMILTON PLAZA

LOGO



C1
Match Bldg.



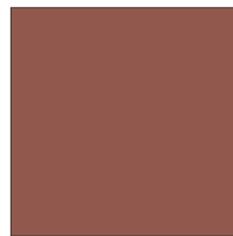
C2
Match Bldg.



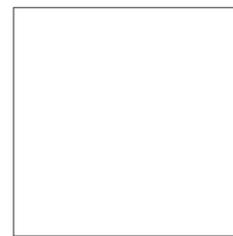
C3
Match Bldg.



C4
PMS 5405 C



C5
PMS 7523 C

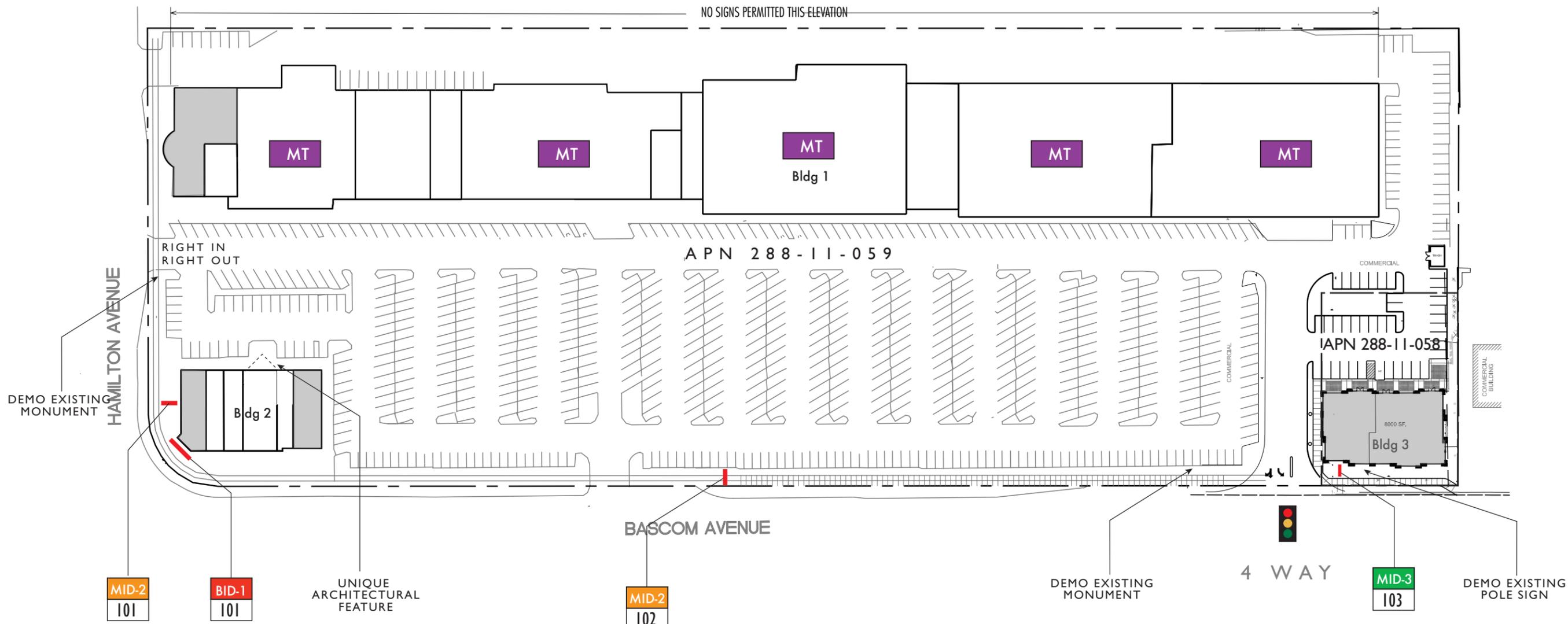


C6
White

COLORS

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- BID-1 Project Identity Building Sign, Page 4.0
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- MID-3 Entry Monument 2 Page 3.0

Description

Freestanding signage for the purpose of retail tenant identification oriented toward the vehicular traffic on Bascom Ave.

Quantity

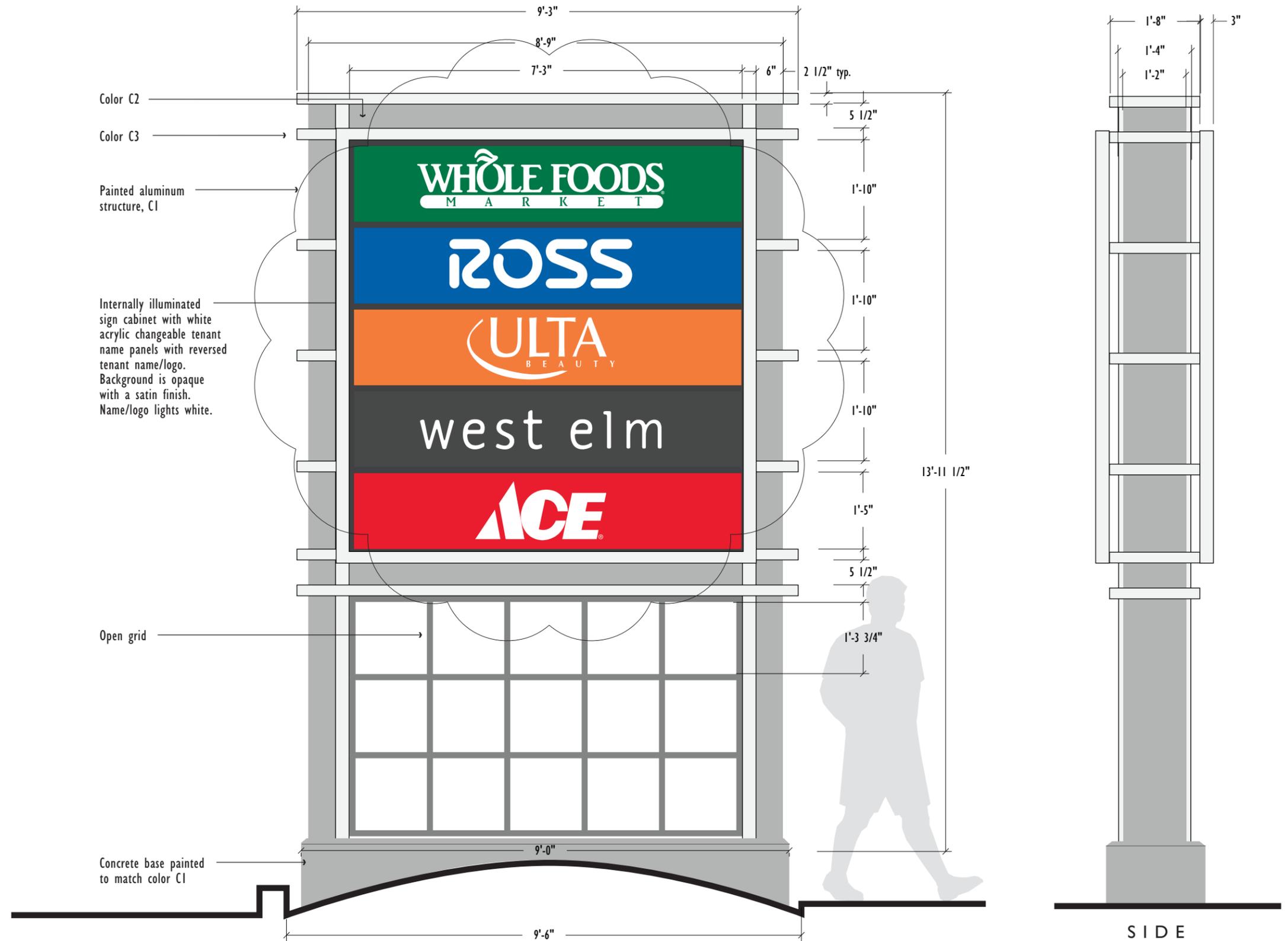
One double sided sign; Five tenant name panels maximum.

Tenant I.D. Guidelines

1. Tenants may use corporate logos, colors and layouts.
2. Lettering must be light colored on a dark background.
3. Tag lines are not permitted.
4. Signage shall be internally illuminated.
5. Monument signs shall maintain a minimum of three sign panels.

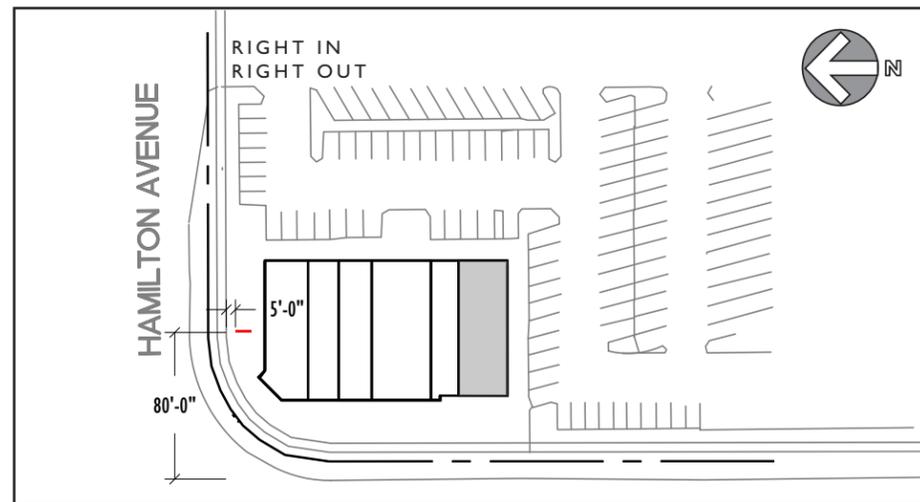
Sign Area

50 s.f. max total tenant sign area, single face only.
 Tenant name panels size may vary, no sign panel shall be greater than 20 square feet in area.

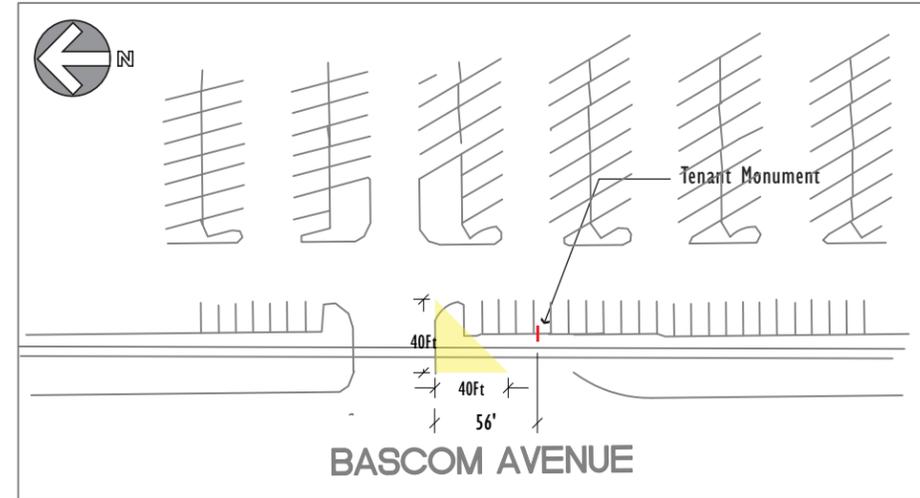




SIGN LOCATION ILLUSTRATION
MID-2/101



SIGN LOCATION DETAIL
MID-2/101



SIGN LOCATION DETAIL
MID-2/102



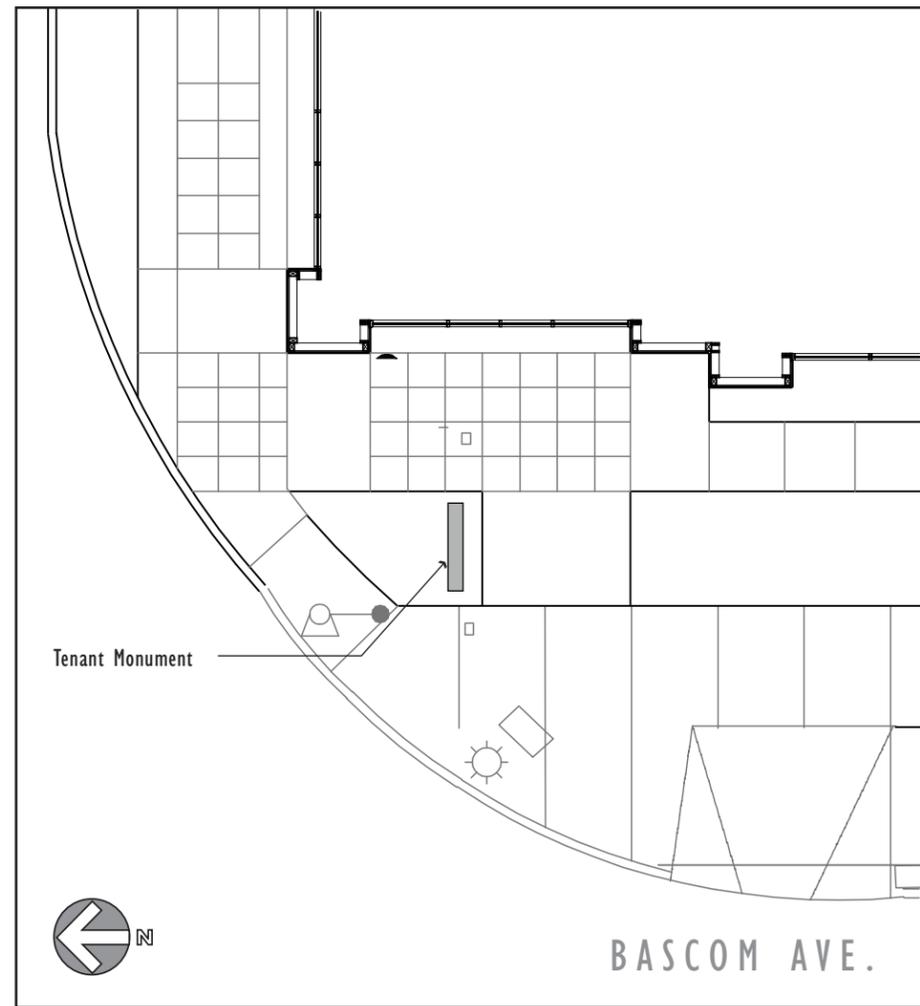
SIGN LOCATION ILLUSTRATION
MID-2/102

Description
 Freestanding signage for the purpose of retail tenant identification oriented toward the vehicular traffic on Bascom Ave.

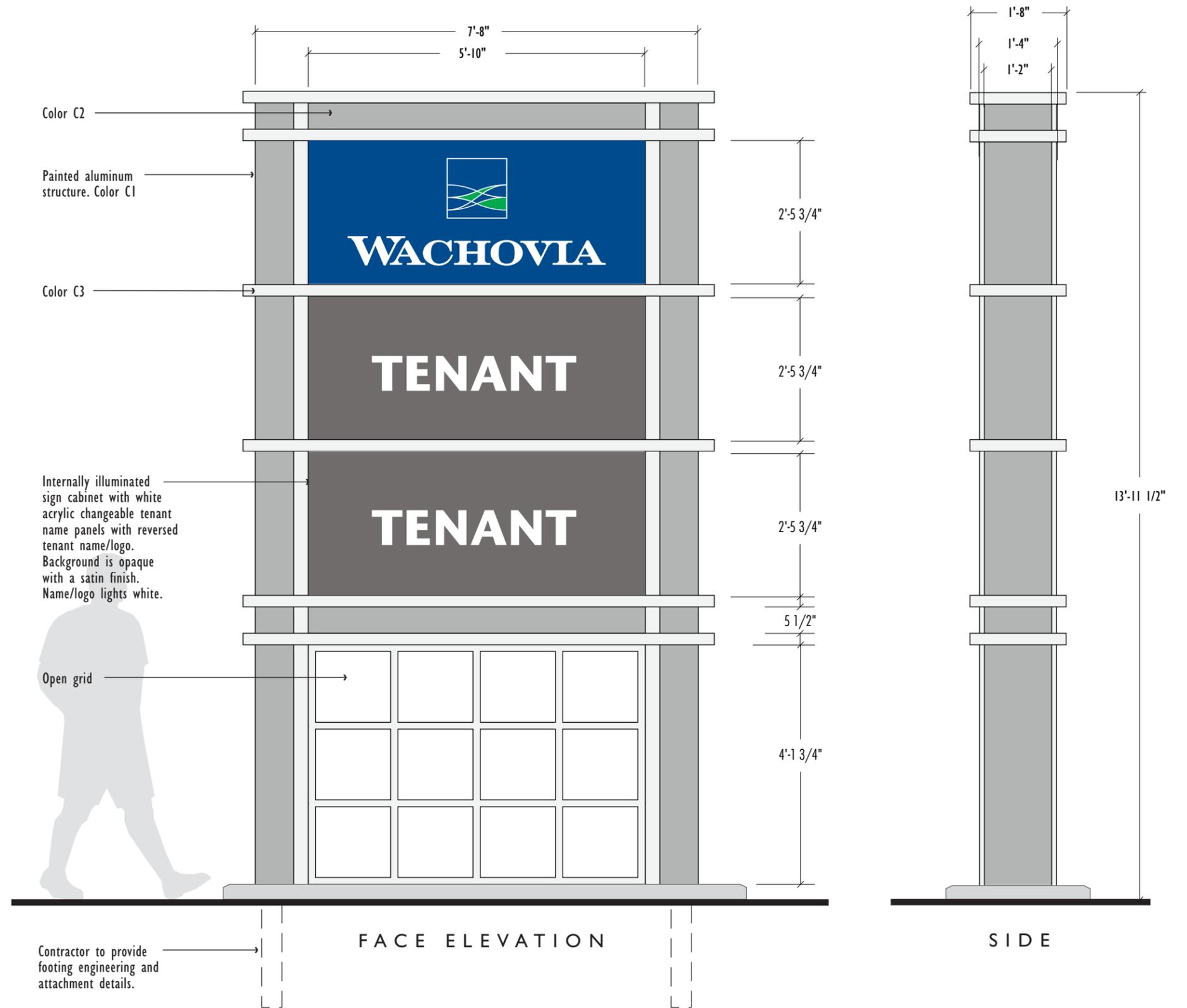
Quantity
 One double sided sign; Four tenant name panels maximum.

- Tenant I.D. Guidelines**
1. Tenants may use corporate logos, colors and layouts.
 2. Lettering must be light colored on a dark background.
 3. Tag lines are not permitted.
 4. Signage shall be internally illuminated.
 5. Monument signs shall maintain a minimum of three sign panels.

Sign Area
 50 s.f. max total tenant sign area, single face only.
 Tenant name panels size may vary, but no single panel may exceed 20 s.f.



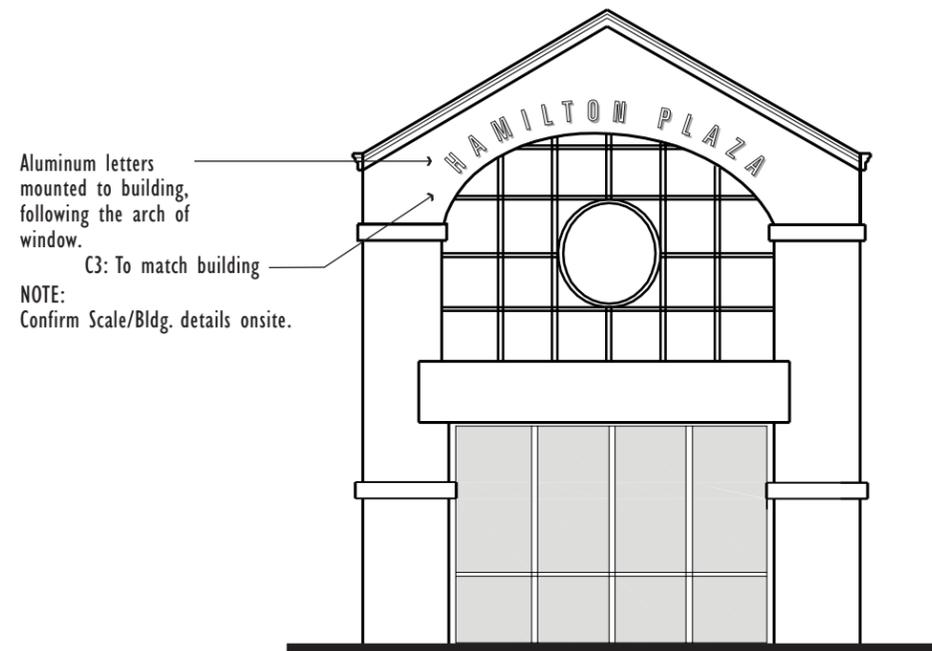
SIGN LOCATION
 1/16" = 1'-0"





TYPICAL ILLUMINATION QUALITY

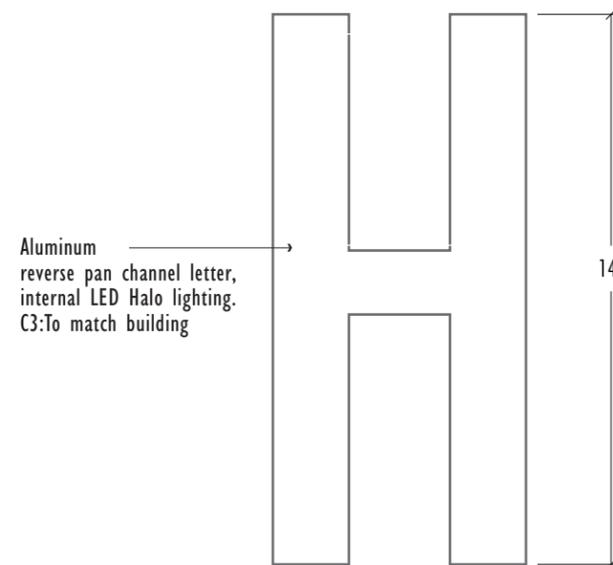
LED HALO CHANNEL LETTER
PHOTO EXAMPLE



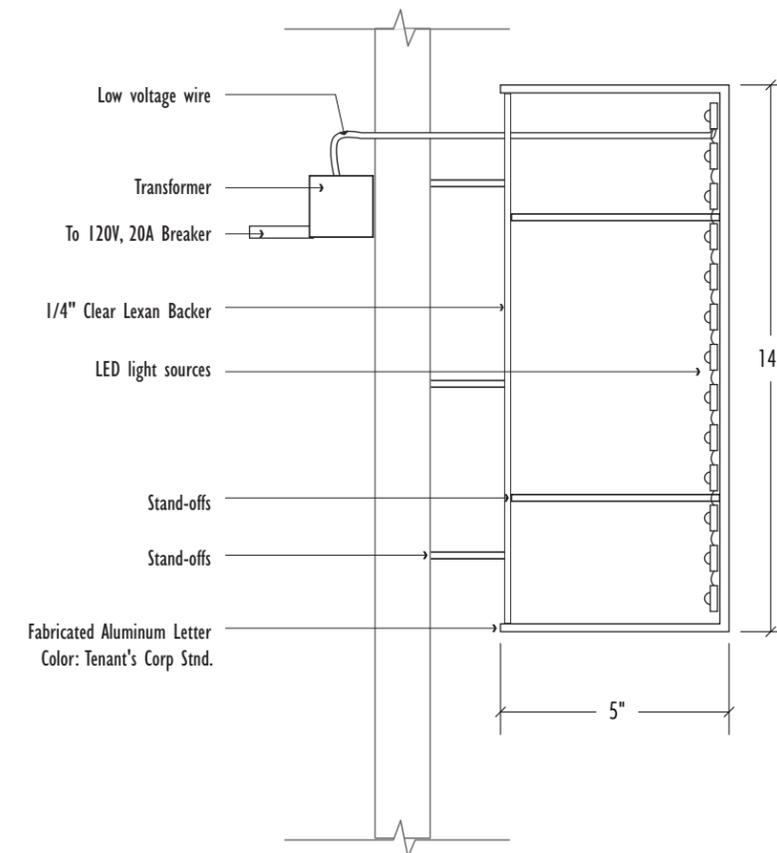
FRONT ELEVATION

±1/8"=1'-0"

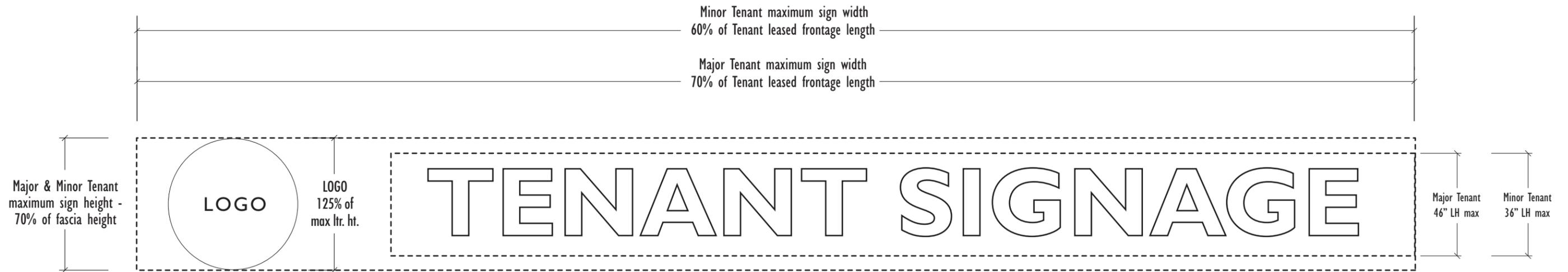
15 SF
TOTAL SIGN AREA



LETTER DETAIL

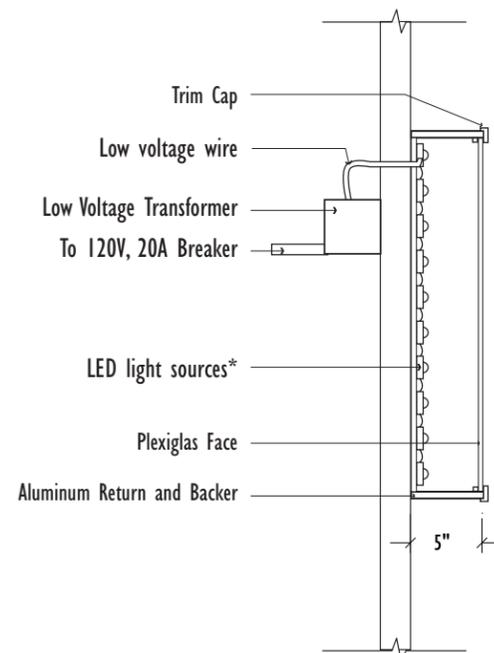


LED HALO LETTER SECTION



MAJOR & MINOR TENANT SIGNS

NTS



LED CHANNEL LETTER SECTION *
NTS

* Channel letters with a neon light source will be allowed, however, utilizing LED lighting is encouraged for environmental and building preservation purposes.

DESCRIPTION

Signage for the purpose of primary retail tenant identification facing the street and/or parking area.

GENERAL GUIDELINES

1. Signage shall be internally illuminated fabricated channel letters and shapes.
2. Tenants may use their corporate logos, colors and layouts.
3. Letter/logo return (edge) color must match building canopy color.
4. Two lines of text may be used but the total height shall not exceed maximum letter height set forth in the following sections.
5. Logos may be used and
6. All signs shall be U.L. approved. All wiring, conduits and raceways are to be concealed.
7. No signage shall be located on the rear of the buildings except for service, receiving and exit door identification signage including receiving hours permitted.

NUMBER OF SIGNS, LETTER SIZES & AREAS

MAJOR TENANTS (over 4,000 s.f. leased space)

SIGN AREA: One square foot of signage per lineal foot of frontage not to exceed one hundred fifty (150) square feet. Additional square footage to be requested as a Sign Exception.

LETTER HEIGHT: 46" Maximum

SIGN SIZE: Tenant name shall not exceed 70% of fascia height or 70% leased business frontage length.

NUMBER OF SIGNS: One (1) wall sign per frontage. End Cap tenants not identified on monument signs and/or tenants with unique architectural features at their storefront that present more than one frontage, may have one (1) additional wall sign, for a total of three (3) signs.

Signage for Major Tenants may include a maximum of two secondary message signs such as tag lines and services provided. The area of secondary messages is to be counted as part the tenant's allowable sign area. Secondary messages shall not exceed 25% of the overall allowable sign area.

MINOR TENANT (under 4,000 s.f.)

SIGN AREA: One square foot of signage per lineal foot of frontage not to exceed a maximum of fifty (50) square feet for each tenant building frontage.

LETTER HEIGHT: 36" Maximum

SIGN SIZE: Tenant name shall not exceed 70% of fascia height or 60% leased business frontage length.

NUMBER OF SIGNS: One (1) wall sign per frontage. End Cap tenants not identified on monument signs and/or tenants with unique architectural features at their storefront that present more than one frontage, may have one (1) additional wall sign, for a total of three (3) signs.

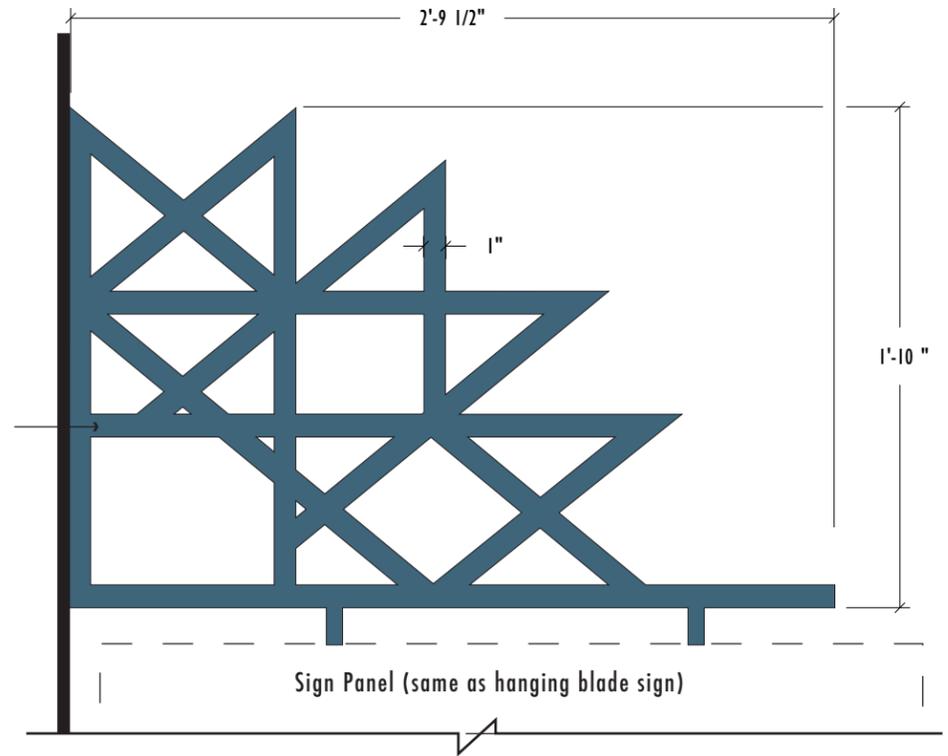


Hanging Blade Sign

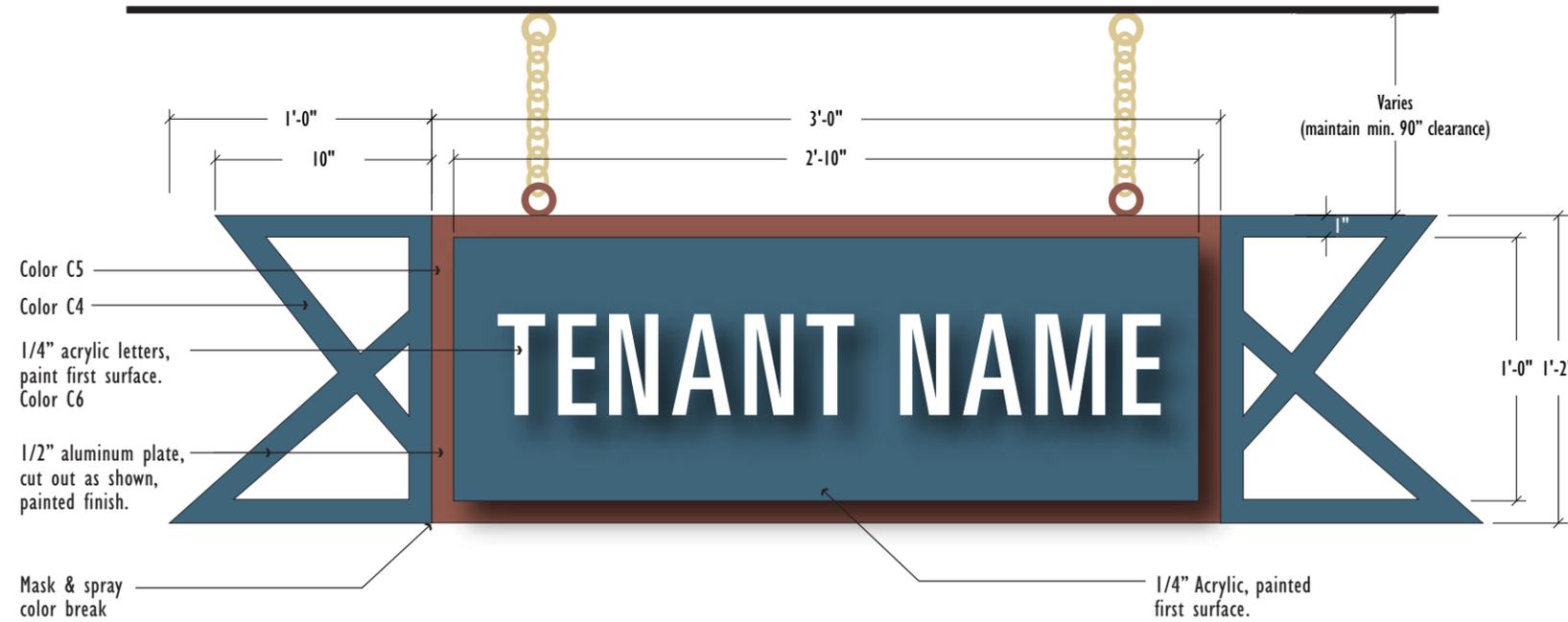


Projecting Blade Sign

EXISTING BLADE SIGN
PHOTO EXAMPLES

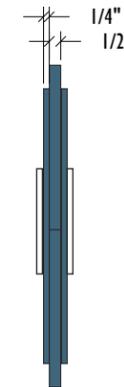


PROJECTING BLADE SIGN BRACKET



FRONT

HANGING BLADE SIGN



SIDE

DESCRIPTION

Signage for the purpose of secondary retail tenant identification facing the pedestrian walkway areas.

GENERAL GUIDELINES

1. Signage shall be non-illuminated fabricated panels with cutout letters mounted to face.
2. Tenants may use their corporate logos and layouts.
3. Sign panel, bracket and lettering must be standard colors as indicated in the sign specifications.
4. Sign panel and bracket must be standard sizes as indicated in the sign specifications.
5. Sign shall not extend beyond the building fascia plane.
6. Sign lettering appears on two sides of panel.

QUANTITY: One sign per tenant storefront.

SIGN AREA : 6 S.F. Max

TENANT SIGNAGE GUIDELINES

1.0 INTENT

These Tenant Signage Guidelines are established for the purpose of assuring a successful retail center, for the mutual benefit of all tenants and in consideration of the residential community with which it coexists. Tenants are encouraged to contact the Landlord to discuss specific design intentions or questions before commencing the design drawings.

As administrators of the sign criteria, the Landlord is the final arbitrator of criteria compliance. Special circumstances may require interpretation of these criteria, and the Landlord will remain flexible in the review process, however, these Guidelines are approved by the City of Campbell and all signage must receive appropriate City of Campbell signage permits before being installed.

2.0 DEFINITIONS

| | |
|-----------------------|--|
| Building Elevation | Vertical wall surface of a building |
| Building Frontage | Exterior wall abutting a tenant's space |
| End-Cap Tenant | Tenant located at the end of a building so that their space has three building frontages. See page SL.1 for end cap locations. |
| Landlord | Owner, developer or manager of the project. |
| Primary Identity | Tenant's main identification sign. |
| Sign Area | The square footage of signage determined by measuring the area of a sign panel or, for individual letters, by enclosing the Tenant Identity in a polygon of no more than eight continuous line segments. |
| Tenant Identity | The graphic that composes the tenant's name and/or logo in their unique logotype. Tag lines and product names are not considered part of Tenant Identity. |
| Tenant Space Frontage | Length of exterior wall between interior tenant demising walls. |

3.0 SIGNAGE REVIEW, APPROVALS, PERMITS & INSTALLATION

3.1 LANDLORD APPROVAL

All construction documents for signage, permanent or temporary, must be reviewed and approved by an authorized agent of Hamilton Plaza prior to submittal to local governing agencies for review and permitting. The use of professional environmental graphic designers and signage fabrication companies is highly encouraged.

Tenant shall submit three (3) sets of drawings to Landlord for review. Landlord will either approve designs, approve drawings with stated conditions or return drawings with requirements for resubmittal.

3.2 CITY OF CAMPBELL APPROVAL & PERMITS

Once Landlord has approved signage drawings, Tenant shall submit to the City of Campbell for permit processing per the City's requirements. All City permit and design review fees shall be the responsibility of the Tenant.

4.0 CONSTRUCTION, INSTALLATION & MAINTENANCE

- All signage shall be constructed and installed at Tenant's expense.
- The content of exterior signage shall be limited to tenant's trade name and/or logo. In no case shall the wording of sign describe the products sold, prices, advertising slogans, except as part of the occupant's trade name or logo.
- Signage must be constructed and installed to meet all applicable codes and ordinances.
- Electrical signs shall bear the UL label and their installation must comply with all local building and electrical codes. No exposed conduit or raceways will be permitted. All conductors, transformers, and other related equipment shall be concealed.
- Exterior signs shall be constructed of weather resistant materials with high quality exterior grade finishes.
- All sign fastenings, bolts, and clips shall be non-corrosive; galvanized iron, stainless steel, aluminum, brass, or bronze.
- Location of all openings for conduit and sleeves in sign panels of building shall be indicated on drawings.
- No signmaker's labels or other identification will be permitted on the exposed surface of signs, except those required by ordinance, which shall be located in an inconspicuous location.
- Signs for a business which becomes vacant or unoccupied for three months or more, or any sign for an occupant or business unrelated to the present occupant or business shall be deemed to have been abandoned. An abandoned sign is prohibited and shall be promptly removed by the owner of the sign or owner/tenant of the premises.
- All signs shall be maintained in a safe, presentable and good condition, including the replacement of defective parts, painting, repainting, cleaning, and other acts required for the maintenance of such sign.

5.1 SIGN TYPES FOR ALL TENANTS

5.1.1 WINDOW GRAPHICS

DESCRIPTION: Signage applied to tenant's entry door or entry sidelight glass for the purpose of retail tenant identification, hours of operation and courtesy displays (credit cards accepted etc.)

QUANTITY: One sign per tenant entry.

TENANT I.D. GUIDELINES: Tenants may use their corporate logos and layouts, but all graphics shall be white. Tag lines and additional content is not permitted without Landlord and City approval.

SIGN AREA : 5 S.F. max

5.1.2 TEMPORARY WINDOW GRAPHICS

DESCRIPTION: Temporary window graphics for retail events and seasonal promotions. Signs may be displayed for no more than fifteen (15) days with a waiting period of sixty (60) days between display periods. Signs must be placed in tenant's windows and be compatible with other tenant signage designs.

QUANTITY: One sign per tenant frontage.

CONTENT: Promotional messages permitted pending review and approval by the Landlord and City.

SIGN AREA : Not to exceed 25% of the window in which signage is displayed.

5.1.3 SUITE NUMBERS

DESCRIPTION: Tenants shall display adhesive vinyl suite numbers on glass above entry doors and on rear service entry door.

QUANTITY: One sign per tenant entry.

SIZE & FONT: Numbers must be 3" min. height. Font shall be Futura Book.