



**CITY OF CAMPBELL**  
Community Development Department

March 19, 2021

**NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

**Project Address:** 1451 Elwood Dr.

**Zoning/Area Plan:** R-1-6 / San Tomas Area Neighborhood Plan

**File No.:** PLN-2021-28

**APN:** 403-46-030

**Applicant:** MDA Design

**Property Owner:** Timothy J & Nicole J Stone

**Application Type:** Admin Site & Architectural Review Permit

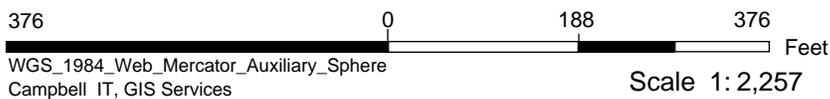
**Project Description:** Approximately 150 square-foot addition to the rear of an existing single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 19, 2021 and ends on March 29, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 29, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at [danielf@campbellca.gov](mailto:danielf@campbellca.gov).



# Location Map - 1451 Elwood Dr.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

# STONE RESIDENCE

## TWO STORY RESIDENTIAL ADDITION AND REMODELING

### 1451 ELWOOD DR, CAMPBELL, CA 95008

#### OCCUPANCY AND BUILDING SUMMARY:

OWNER'S NAMES: TIM SONE	OCCUPANCY GROUP	R3-U
ZONING: R1-6 SINGLE FAMILY RESIDENTIAL	TYPE OF CONSTRUCTION:	VB
LOT AREA: 7128.0 SF	FIRE SPRINKLERS:	NOT REQUIRED

#### CODE COMPLIANCE

CITY OF CAMPBELL MUNICIPAL CODE  
 2019 CA. BUILDING CODE  
 2019 CA ELECTRICAL CODE  
 2019 CA PLUMBING CODE  
 2019 CA MECHANICAL CODE  
 2019 CA FIRE CODE  
 2019 CA ENERGY CODE  
 2019 CA GREEN BUILDING CODE

	ALLOWABLE	EXISTING	PROPOSED
LOT AREA: 7,128.0 SF			
MAXIMUM LOT COVERAGE	40% OF LOT AREA 2,851.20 SF	GARAGE 438.82 FIRST FL COND. SPACE 1064.75 SHED 103.41 CHIMNEY 5.27 COVERED PORCH 71.77 COVERED WALKWAY 61.13	GARAGE 438.82 FIRST FL COND. SPACE 1064.75 ADDITION 151.66 SHED 103.41 (NEW) CHIMNEY 5.31 COVERED PORCH 71.77 COVERED WALKWAY 61.13
	2,851.20 SF	1,745.15 SF	1,896.85 SF
FLOOR AREA RATIO	45% OF LOT AREA 3,507.60 SF	GARAGE 438.82 FIRST FL COND. SPACE 1064.75 SHED 103.41 CHIMNEY 5.27 SECOND FLOOR 1038.03	GARAGE 438.82 FIRST FL COND. SPACE 1064.75 SHED 103.41 (NEW) CHIMNEY 5.31 ADDITION 151.66 SECOND FLOOR 1038.03
	3,507.60 SF	2,650.28 SF	2,801.98 SF
MINIMUM SETBACKS:	ALLOWABLE	EXISTING	PROPOSED
FRONT SETBACK	20'-0"	30'-2"	NO CHANGE
RIGHT SIDE SETBACK	5'-0" MIN.	7'-0"	NO CHANGE
LEFT SIDE SETBACK	5'-0" MIN.	5'-9"	NO CHANGE
REAR MINIMUM SETBACK	5'-0" MIN. OR 1/2 OF BLDG HT WHICHEVER IS GREATER: 1/2 OF 18'-3" (BLDG HT) = 9'-1 1/2"	37'-3"	27'-11"
MAXIMUM HEIGHT REQUIREMENT:	35'-0"	22'-5"	NO CHANGE
MINIMUM PARKING REQUIREMENT:	2 COVERED	2 COVERED	NO CHANGE

#### GENERAL NOTES:

4.408.1 Construction waste management  
 Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.  
 Exceptions:  
 1. Excavated soil and land-clearing debris.  
 2. Alternate waste reduction methods developed by working with local agencies (diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.  
 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility

4.408.2 Construction waste management plan  
 Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.  
 1. Identify the construction and demolition wastematerials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.  
 2. Specify if construction and demolition wastematerials will be sorted on-site (source-separated) or bulk mixed (single stream).  
 3. Identify diversion facilities where the construction and demolition waste material will be taken.  
 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.  
 5. Specify that the amount of construction and demolition wastematerials diverted shall be calculated by weight or volume, but not by both

4.408.5 Documentation  
 Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.  
 Notes:  
 1. Sample forms found in , A Guide to the California Green Building Standards Code (Residential) , located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.  
 2. Mixed construction and demolition debris ( C&D ) processors can be located at the California Department of Resources Recycling and Recovery ( CalRecycle ) .

4.410.1 Operation and maintenance manual  
 At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:  
 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.  
 2. Operation and maintenance instructions for the following:  
 a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.  
 b. Roof and yard drainage, including gutters and downspouts.  
 c. Space conditioning systems, including condensers and air filters.  
 d. Landscape irrigation systems.  
 e. Water reuse systems.  
 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and localities.  
 4. Public transportation and/or carpool options available in the area.  
 5. Educational material on the positive impacts of an interior relative humidity between 30 - 60 percent and what methods an occupant may use to maintain the relative humidity level in that range.  
 6. Information about water-conserving landscape and irrigation design and controllers which conserve water.  
 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.  
 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.  
 9. Information about state solar energy and incentive programs available.  
 10. A copy of all special inspection verifications required by the enforcing agency or this code.

#### SCOPE OF WORK:

FIRST FLOOR ADDITION:  
 1. REAR ADDITION - EXPANSION OF EXISTING FAMILY ROOM  
 2. GENERAL: NEW ROOF FOR AREA ADDITIONS  
 3. REPLACEMENT OF REAR WINDOWS AND GLASS DOORS @ FIRST AND SECOND FLOOR - LIKE FOR LIKE  
 4. REPLACEMENT OF BOARD AND BATTEN EXT. FINISH AT REAR  
 5. FACADE OF BUILDING @ BOTH FIRST AND SECOND FLOOR  
 6. DEMOLITION OF EXISTING GARDEN SHED AND RELOCATION OF EXISTING HOT TUB.

#### CONSULTANTS:

STRUCTURAL ENGINEER: DB ENGINEERING  
 2021 THE ALAMEDA, SUITE 360  
 SAN JOSE, CA 95126  
 P: 408-621-0114  
 EMAIL: db.dbengineering@gmail.com

T-24 AUTHOR: HUSAIN EKHWAN  
 BALANCE COMFORT  
 5459 W. MISSION AVENUE,  
 FRESNO, CA 93722  
 (559) 421-8814  
 mufeed@balancedcomfort.com

#### CONSTRUCTION HOURS

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 a.m. AND 5:00 p.m.

#### NOTE TO CONTRACTOR:

CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL FIELD VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MDA MUST BE NOTIFIED IMMEDIATELY OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ALL CEILING LOCATED ITEMS MUST BE COORDINATED WITH MDA. LOCATIONS OF LIGHTING EQUIPMENT TAKE PRECEDENCE. ELECTRICAL CONTRACTOR MUST ADHERE TO ALL NATIONAL AND LOCAL CODES. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO NOTIFY MDA IF ANY LOCAL CODE CONFLICTS EXISTS. ANY REVISIONS TO THIS PLAN CAUSED BY MECHANICAL OR STRUCTURAL CONFLICTS MUST BE APPROVED IN WRITING. ANY FIXTURE SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED IN WRITING BY MDA.

#### OPERATION AND MAINTENANCE MANUAL

OPERATION AND MAINTENANCE MANUAL. THE BUILDER SHALL PREPARE AN OPERATION AND MAINTENANCE MANUAL AS OUTLINED IN 2016 CALGREEN SECTION 4.410.1. THE MANUAL SHALL BE GIVEN TO THE OWNER UPON FINAL APPROVAL BY THE BUILDING INSPECTOR. IN SUCH CASE WHERE THE PROPERTY IS BEING SOLD, IT SHOULD BE GIVEN TO THE NEW OWNER AT THE TIME OF SALE. A COPY OF THE MANUAL SHALL BE AVAILABLE FOR THE INSPECTOR PRIOR TO, OR AT THE TIME OF FINAL INSPECTION.

#### SHEET INDEX:

#### ARCHITECTURAL SHEETS:

A-1	PROJECT DATA
A-2	SITE PHOTOS
A-3	SITE PLAN
A-4	EXISTING FIRST FL PLAN EXISTING FIRST FL ROOF PLAN/ SECOND FLOOR PLAN
A-5	EXISTING SECOND FL ROOF PLAN
A-6	PROPOSED FIRST FL PLAN PROPOSED FIRST FL ROOF PLAN/ SECOND FLOOR PLAN
A-7	PROPOSED ROOF PLAN
A-8	FRONT AND RIGHT SIDE ELEVATIONS
A-9	REAR AND LEFT SIDE ELEVATIONS
A-10	BUILDING SECTIONS
A-11	DETAILS
A-12	AREA CALCULATIONS
A-13	GENERAL NOTES

#### ELECTRICAL, PLUMBING, MECH. SHEETS

MEP-1	FIRST FL ELECTRICAL PLAN
MEP-2	FIRST FL MECHANICAL AND PLUMBING PLAN

#### MISCELLANEOUS

GB-1	GREEN BUILDING
BPCB	BLUE PRINT FOR CLEAN BAY

#### STRUCTURAL SHEETS:

S1	GENERAL NOTES AND SCHEDULES
S2	UPPER ROOF FRAMING SECOND FL AND LOWER ROOF FRAMING PLAN
S3	FOUNDATION PLAN AND DETAILS
S4	DETAILS
S5	DETAILS
WSW1	ANCHORAGE DETAILS
WSW2	FRAMING DETAILS

**MDA DESIGN**  
 ARCHITECTURE · INTERIOR DESIGN

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 908 BAINES STREET  
 E. PALO ALTO, CA 94303

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 mda-design.com

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 mdaesign1992@gmail.com

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 650-353-0273

PROPERTY ADDRESS  
 1451 ELWOOD DRIVE  
 CAMPBELL, CA 95008

PROPERTY OWNERS  
 TIM SONE

ASSESSOR PARCEL NO.  
 003-15-043

REVISIONS BY:  
 REVISIONS NO.: BY:

DATE 06-24-20  
 JOB NO. 200130  
 SCALE: AS NOTED  
 DRAWN BY: MC  
 CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW

CONTENT:  
**PROJECT DATA**

SHEET NUMBER  
**A.1**

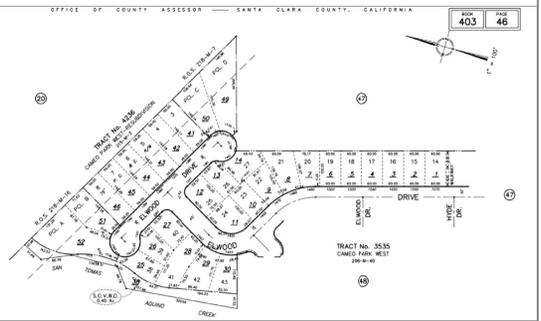
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#### AREA MAP:



#### VICINITY MAP



**CITY OF CAMPBELL**  
 COMMUNITY DEVELOPMENT DEPARTMENT

**Waste Management Standard Notes**

Provide **Waste Management** standard notes demonstrating a 65% reduction in construction waste, including:

- Construction wash-out water from concrete, mortar, tile, taping, and painting shall be done in a containment pool either portable or in a lined evaporative pit. Wash-out shall not enter the storm water system.
- Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain paints, solvents, glues, taping compound, food products, or easily recyclable discards such as bottles, cans, plastics, or paper.
- Remaining trash shall be limited to wood, drywall, roofing, and assorted metals and shall be covered with a waterproof tarp.
- Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site.
- Retain the receipt and keep with the permit documents, proof of recycle and disposal of the job site trash will be checked periodically and prior to final inspection or WVC will deliver a roll-off debris box and sort the trash off site.

70 North First Street • Campbell, CA 95008 • 423-1111 • (408) 866-2130 • E-MAIL: building@cityofcampbell.com

**CITY OF CAMPBELL**  
 COMMUNITY DEVELOPMENT DEPARTMENT

**STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION**

Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:

- Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
  - The fence shall be a minimum of six feet in height and shall be set securely in place.
  - The fence shall be chain link without slats to allow visibility to the trunk for inspections and safety.
  - There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
  - The fence may be adjusted as necessary to accommodate work approved within the dripline provided any excavation is done in accordance with instructions directed by a qualified arborist.
- The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
- Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
- Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
- Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
- Soil compaction of the area under the dripline of the tree shall be avoided during all phases of site clearing and construction.
- No soil sterilants or weed killer that will inhibit or restrict the tree's growth may be applied in the root area.
- No signs, wires or any other object shall be attached to the tree.
- Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
- The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.



PROJECT SITE



MDA DESIGN

ARCHITECTURE · INTERIOR DESIGN

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PROPERTY ADDRESS

1451 ELWOOD DRIVE  
CAMPBELL, CA 95008

PROPERTY OWNERS

TIM STONE

ASSESSOR PARCEL NO.

003-15-043

REVISIONS BY:

REVISIONS NO.: BY:

△ 02-15-2021 MA

DATE 06-24-20

JOB NO. 200130

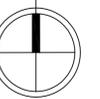
SCALE: AS NOTED

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CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

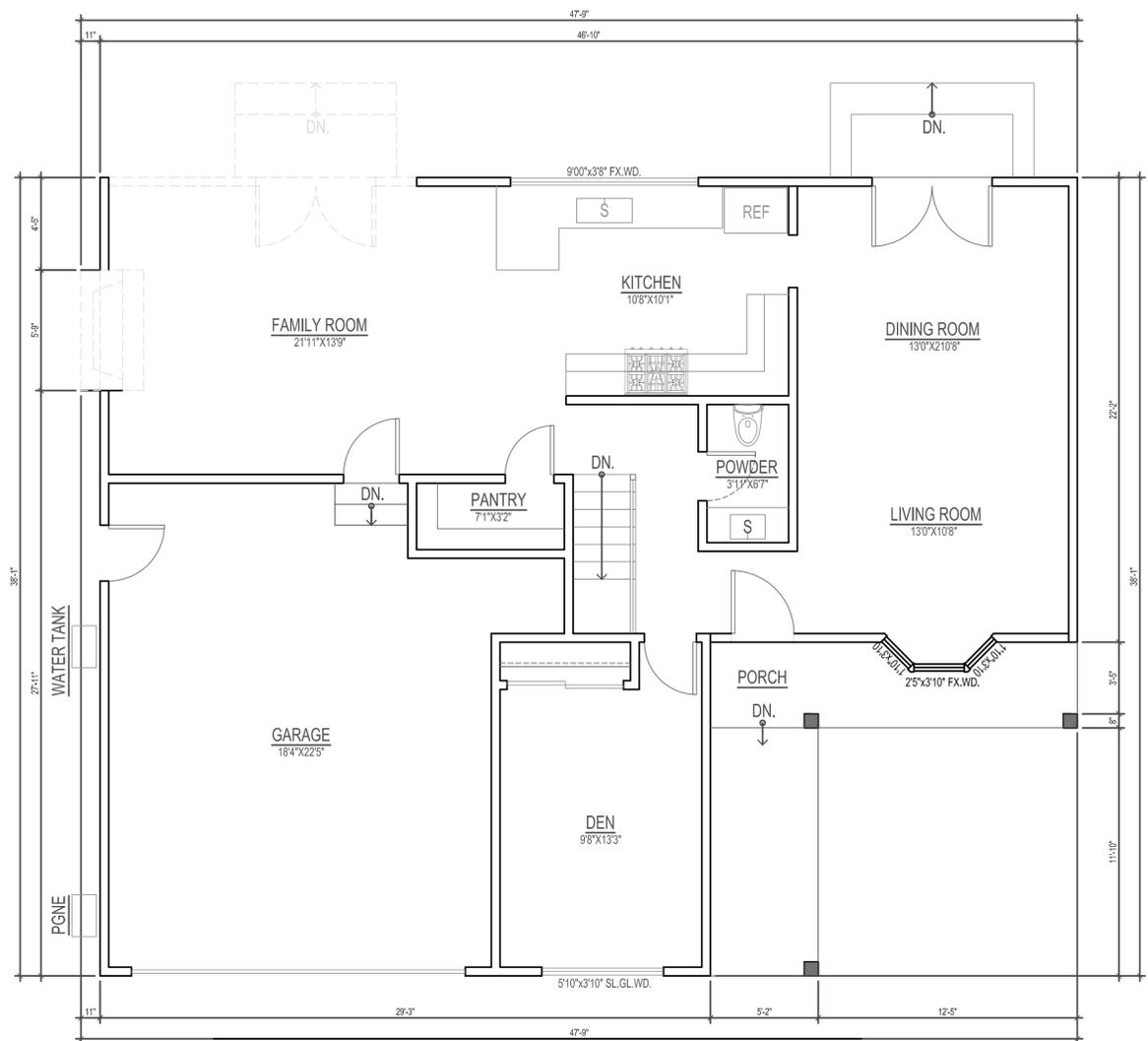
SITE  
PHOTOS

SHEET NUMBER

△ A.2

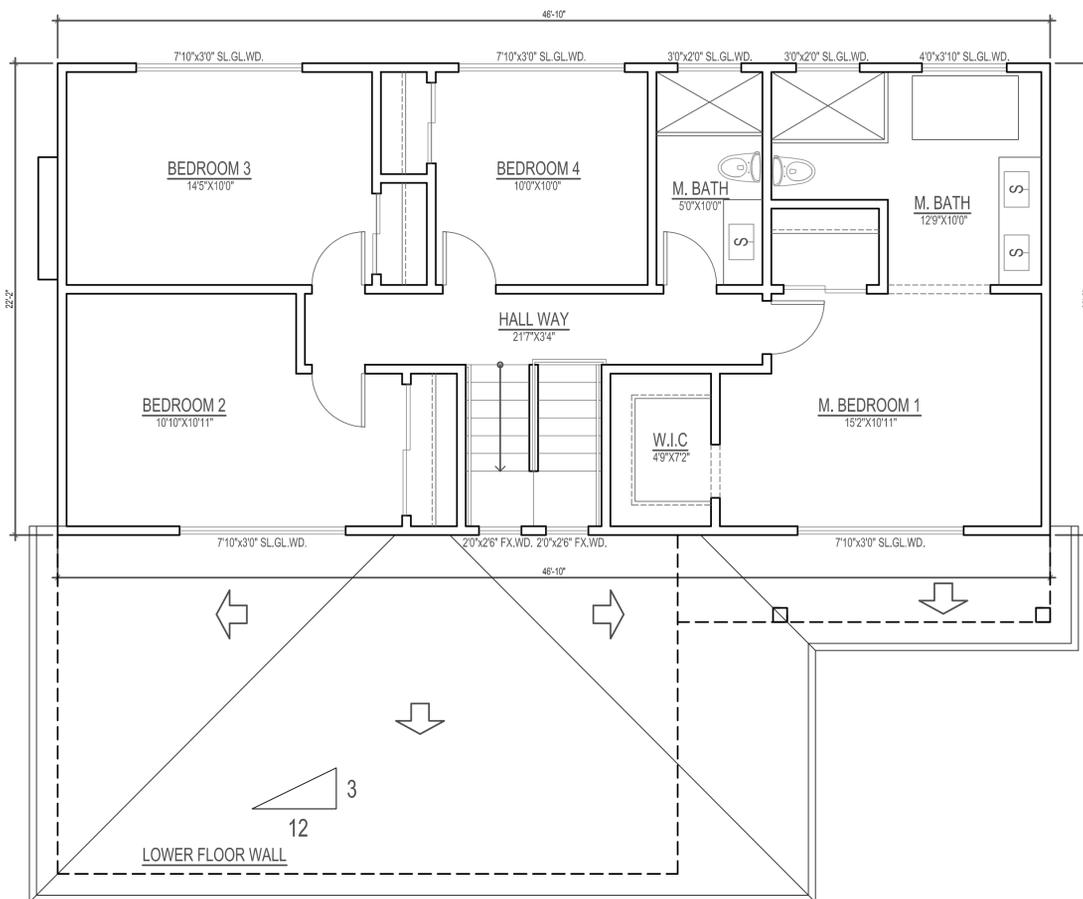
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EXISTING MAIN FLOOR PLAN/ DEMO PLAN

SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN - NO CHANGE

EXISTING SECOND FLOOR PLAN - NO CHANGE SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- PLUMBING:  
CAP OFF, EXTEND OR RELOCATE AFFECTED SUPPLY, DRAIN AND WASTE LINES AS REQUIRED.
- DUCTWORK:  
REPLACE, RELOCATE OR EXTEND AS REQUIRED; ALL (E) DUCTWORK DAMAGE OR REMOVED DURING CONSTRUCTION
- BRACING:  
CONTRACTOR TO PROVIDE BRACING DURING CONSTRUCTION AS REQUIRED FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED.
- DISPOSAL:  
ALL DEBRIS TO BE DISPOSED AT AN APPROVED DUMPING LOCATION.
- HAZARDOUS MATERIALS:  
IF LEAD PAINT, ASBESTOS, ETC... ARE FOUND, STOP WORK AND CONTACT OWNER IMMEDIATELY FOR INSTRUCTIONS.

DEMOLITION NOTES:

- DOORS:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- WINDOWS AND SKYLIGHTS:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- CABINETS:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- FLOOR COVERINGS:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- APPLIANCES:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- LIGHT AND PLUMBING FIXTURES:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- LANDSCAPE MATERIALS:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- FLAT WORK:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS
- VENEER:  
SALVAGE / RELOCATE / PROTECT / DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

LEGEND:

- (E) EXISTING TO REMAIN
- (R) TO BE REMOVED
- (RE) TO BE REPLACED
- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED



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SCALE: AS NOTED  
DRAWN BY: MC  
CHECKED BY: MA

APPLIES TO ALL PLANS



CONTENT:  
**EXISTING  
FL. PLAN/  
DEMO  
PLAN**

SHEET NUMBER

**A.4**

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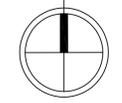
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APPLIES TO ALL PLANS

NORTH ARROW



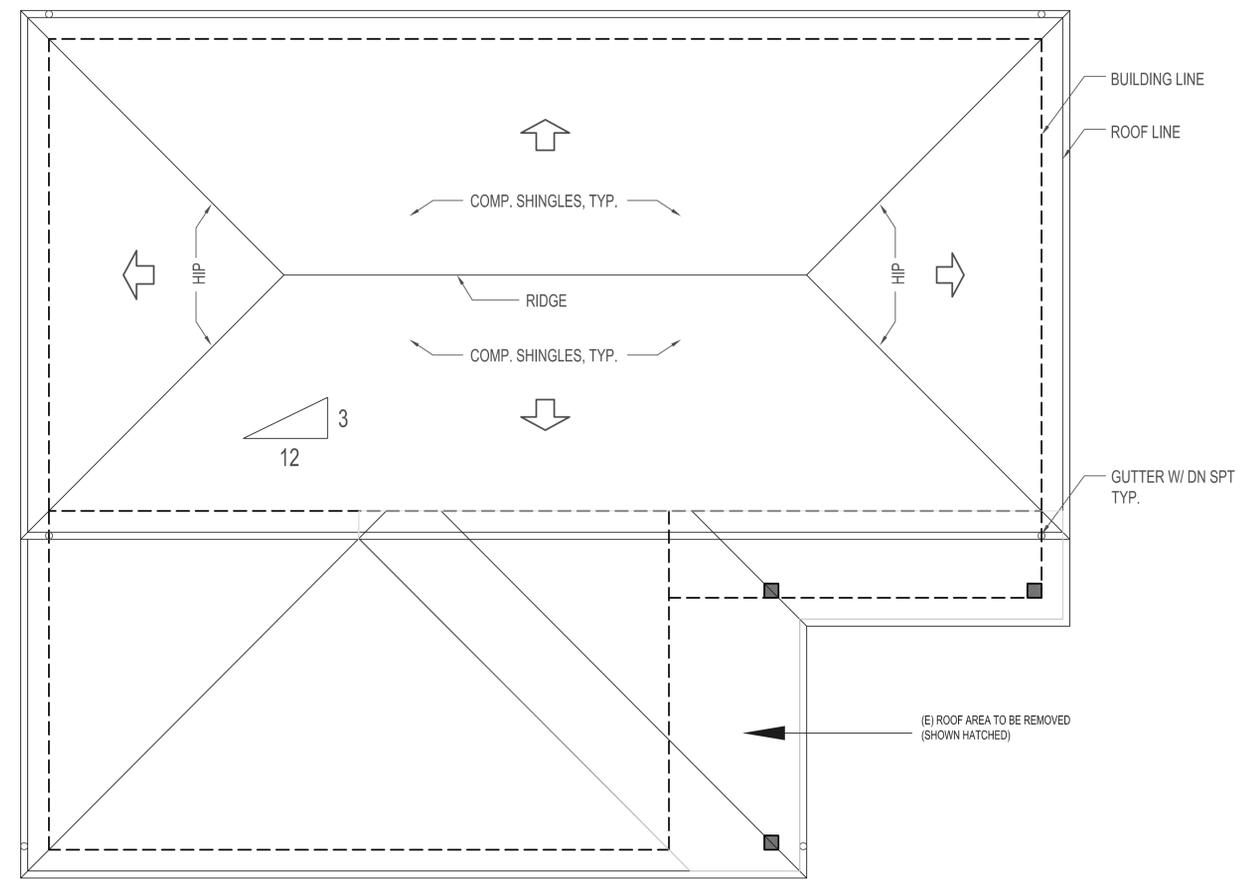
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EXISTING 2ND  
FLOOR ROOF  
PLAN

SHEET NUMBER

A.5

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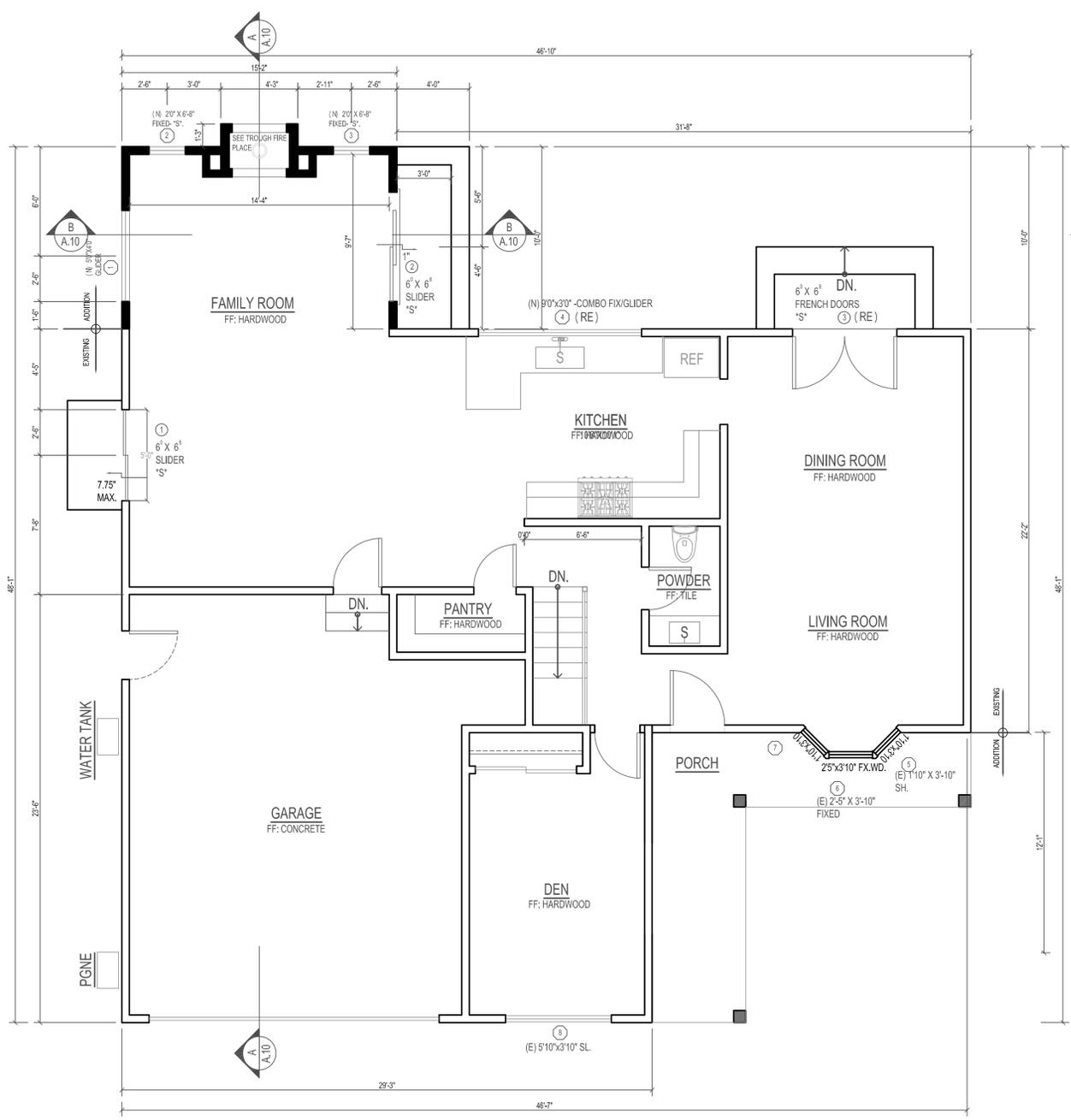
EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



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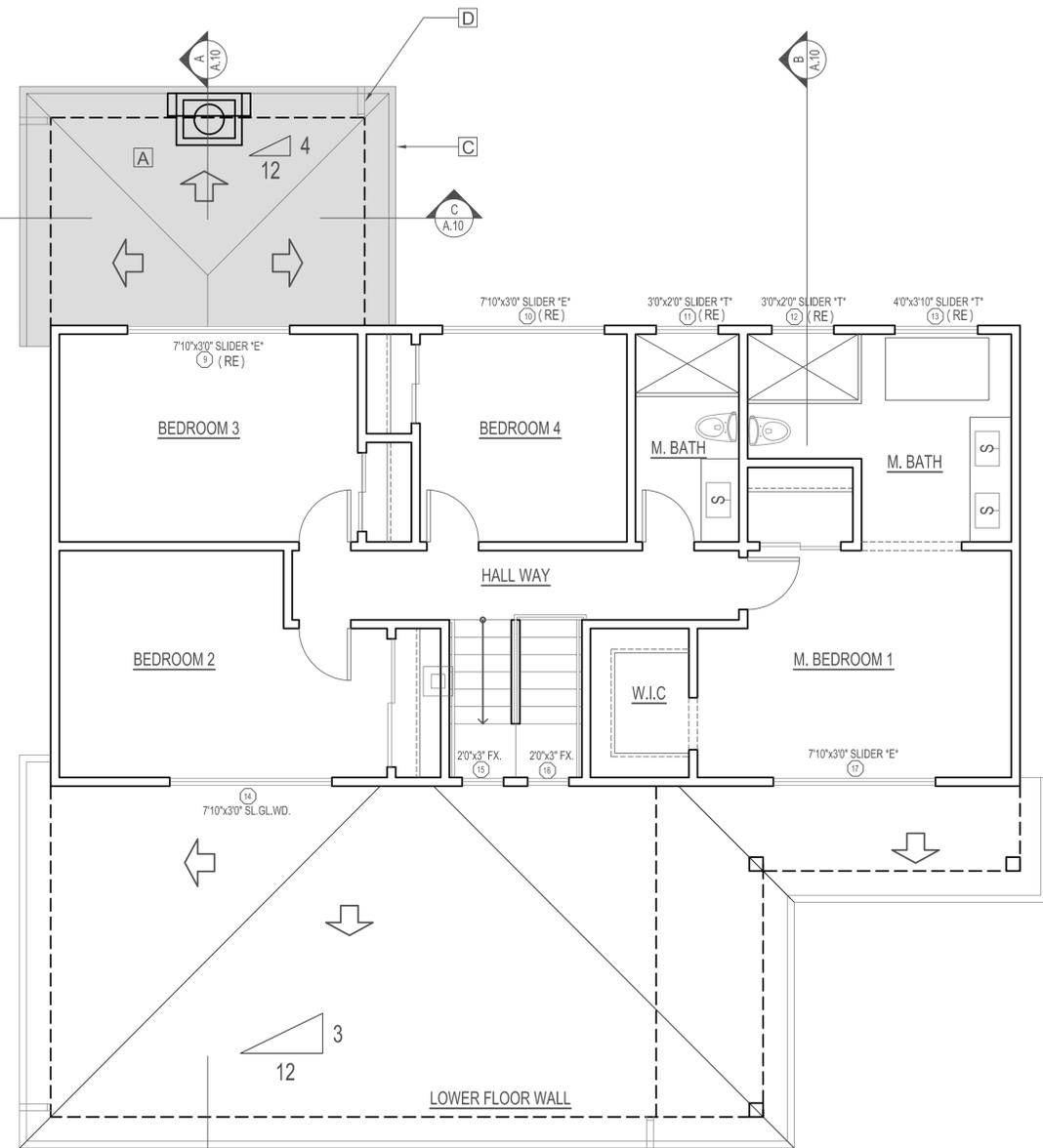


**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**LEGEND:**

(E)	EXISTING TO REMAIN
(N)	NEW
(EXP)	EXPANDED
(RE)	REPLACEMENT
(E) WALL TO REMAIN	
(E) WALL TO BE FILLED	
NEW WALL	



**PROPOSED SECOND FL PLAN - NO CHANGE**

**PROPOSED FIRST FL ROOF PLAN**

SCALE: 1/8" = 1'-0"

MDA DESIGN

ARCHITECTURE . INTERIOR DESIGN

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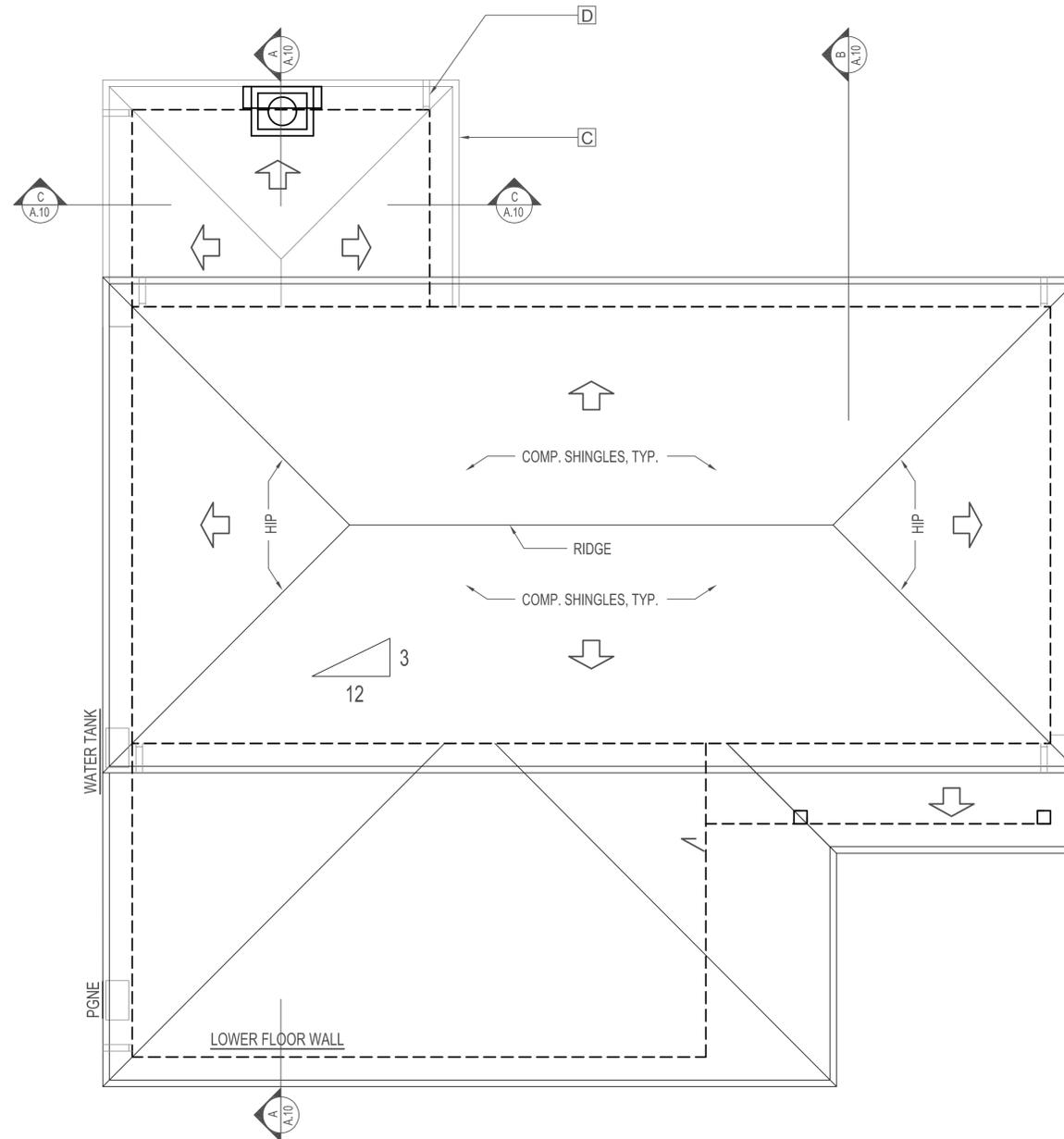
INTERIOR SCHEDULE						
SYMBOL	LOCATION	SIZE		TYPE	GLAZING	REMARKS
		WIDTH	HEIGHT			
1	DEN	5'-0"	6'-8"	PR-SWING	NA	HOLLOW CORE
2	STORAGE	2'-4"	6'-8"	SWING	NA	HOLLOW CORE

EXTERIOR DOOR SCHEDULE						
SYMBOL	LOCATION	SIZE		TYPE	GLAZING	REMARKS
		WIDTH	HEIGHT			
1	FOYER	3'-6"	6'-8"	SWING W/SIDE LITES	SAFETY	SOLID CORE
2	FAMILY ROOM	6'-0"	6'-8"	SWING	SAFETY	
3	DINING ROOM	5'-9"	6'-8"	PAIR D.S	SAFETY	

WINDOW SCHEDULE						
SYMBOL	LOCATION	SIZE		TYPE	GLAZING	REMARKS
		WIDTH	HEIGHT			
1	FAMILY ROOM	5'-0"	4'-0"	GLIDER	DBL PANE	NEW
2	FAMILY ROOM	2'-9"	6'-8"	S.H.	DBL PANE	NEW
3	FAMILY ROOM	2'-0"	6'-8"	S.H.	DBL PANE	NEW
4	KITCHEN	9'-3"	1'-6"	S.H.	DBL PANE	REPLACE
5	LIVING ROOM	1'-10"	3'-10"	S.H.	DBL PANE	EXISTING
6	LIVING ROOM	2'-5"	3'-10"	FIXED	DBL PANE	EXISTING
7	LIVING ROOM	1'-10"	3'-10"	S.H.	DBL PANE	EXISTING
8	DEN	5'-10"	3'-10"	GL.	DBL PANE	EXISTING
9	BEDROOM 3	7'-10"	3'-0"	GL.	DBL PANE	TO BE REPLACED
10	BEDROOM 4	7'-10"	3'-0"	GL.	DBL PANE	TO BE REPLACED
11	BATH	3'-0"	3'-0"	GL.	DBL PANE	TO BE REPLACED
12	M. BATH	3'-0"	3'-0"	GL.	DBL PANE	TO BE REPLACED
13	M. BATH	3'-0"	3'-10"	GL.	DBL PANE	TO BE REPLACED
14	BEDRRROOM 2	7'-10"	3'-0"	GL.	DBL PANE	EXISTING
15	STAIR	2'-0"	3'-0"	GL.	DBL PANE	EXISTING
16	STAIR	2'-0"	3'-0"	FX	DBL PANE	EXISTING
17	M. BEDROOM	7'-10"	3'-0"	GL.	DBL PANE	EXISTING

**ROOF PLAN NOTES:**

- A** ROOF MATERIAL: COMPOSITION SHINGLE TO MATCH EXISTING  
CLASS "A" ROOF MATERIAL PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. TYPICAL 4:12 PITCH UNLESS OTHERWISE NOTED.  
ROOF OVERHAND: 1'-0" TYPICAL, U.N.O.
- B** ROOF VENTILATION: TO MATCH EXISTING  
PROVIDE ROOF/ATTIC VENT 1:150 SQ.FT. OR ROOF AREA AT EAVE AREA (OR 1:300 SQ.FT. AT TOP AND BOTTOM OF ROOF AREA)  
SEE ROOF PLAN FOR ROOF VENT CALCULATION
- C** GUTTER: TO MATCH EXISTING  
5" 26 GA G.I. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.
- D** DOWNSPOUTS: TO MATCH EXISTING  
2X4 RECTANGULAR, PAINTED ALUMINUM



**PROPOSED SECOND FLOOR ROOF PLAN**

CHANGE: REMOVAL OF EXISTING CHIMNEY SCALE: 1/4" = 1'-0"

PROPERTY ADDRESS

1451 ELWOOD DRIVE  
CAMPBELL, CA 95008

PROPERTY OWNERS

TIM STONE

ASSESSOR PARCEL NO.

003-15-043

REVISIONS BY:

REVISIONS NO.: BY:

DATE 06-24-20

JOB NO. 200130

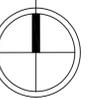
SCALE: AS NOTED

DRAWN BY: MC

CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

**PROPOSED  
ROOF  
PLAN**

SHEET NUMBER

**A.7**

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PROPERTY ADDRESS

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CAMPBELL, CA 95008

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ASSESSOR PARCEL NO.

003-15-043

REVISIONS BY:

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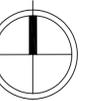
SCALE: AS NOTED

DRAWN BY: MC

CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

FRONT  
AND RIGHT  
SIDE  
ELEVS.

SHEET NUMBER

A.8

APPROVAL STAMP

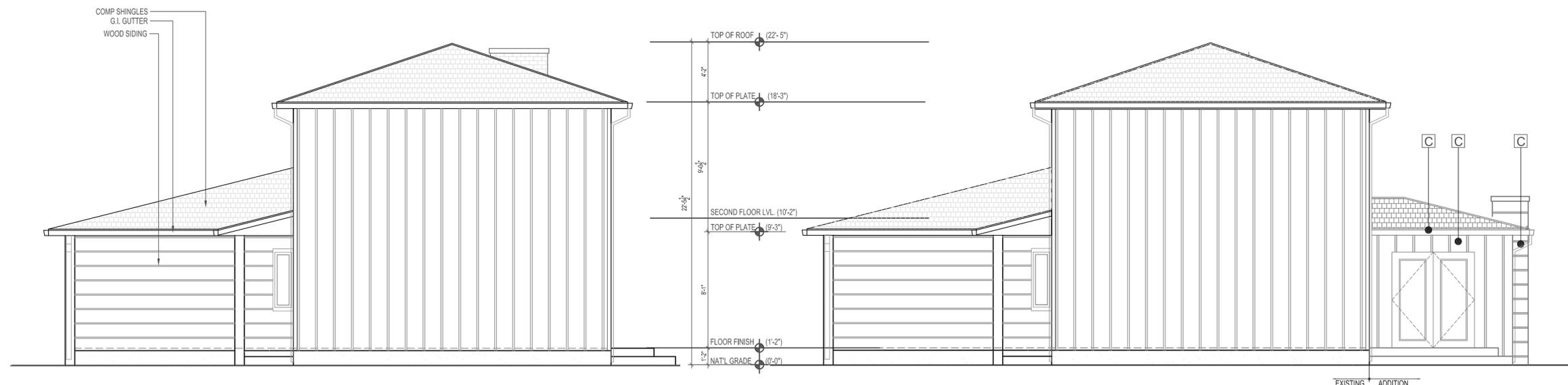


EXISTING FRONT/ EAST ELEVATION - NO CHANGE EXCEPT FOR THE REMOVAL OF FP CHIMNEY

SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- A** ROOF MATERIAL: COMPOSITION SHINGLE TO MATCH EXISTING CLASS "A" ROOF MATERIAL PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. TYPICAL 4:12 PITCH UNLESS OTHERWISE NOTED. ROOF OVERHANG: 1'-6" TYPICAL, U.N.O.
- B** DOWNSPOUTS: TO MATCH EXISTING 2X4 RECTANGULAR, PAINTED ALUMINUM
- C** GUTTER: TO MATCH EXISTING 5" 26 GA. G.I. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.
- D** EXTERIOR WALL - 1: TO MATCH EXISTING HORIZONTAL WOOD SIDING OVER ONE LAYER OF NO.15 ASPHALT FELT UNDER THE WOOD SIDING 0 1/2" CDX PLYWOOD 0 1/2" 2X STUDS AT 16" O.C. STUDS W/ R-15 INSULATION 0 1/2" GYP.BD. CLEARANCE BETWEEN WOOD SIDING AND EARTH SHALL NOT BE LESS THAN 6 INCHES OR 2 INCHES FROM CONC.
- E** EXTERIOR WALL - 2: TO MATCH EXISTING WOOD BOARD AND BATTEN OVER ONE LAYER OF NO.15 ASPHALT FELT UNDER THE WOOD SIDING 0 1/2" CDX PLYWOOD 0 1/2" 2X STUDS AT 16" O.C. STUDS W/ R-15 INSULATION 0 1/2" GYP.BD. CLEARANCE BETWEEN WOOD SIDING AND EARTH SHALL NOT BE LESS THAN 6 INCHES OR 2 INCHES FROM CONC.
- F** WINDOWS: TO MATCH EXISTING DOUBLE PANE, VINYL CLAD BY JELDWEN OR SIM. FRAME COLOR: TBD EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. CBC SECTION 1026 NOTE: OBSCURED GLAZING SHALL BE PERMANENT IN NATURE AND SHALL REMAIN FOR THE LIFE OF THE STRUCTURE. OBSCURE GLAZING IS EITHER DECORATIVE GLAZING THAT DOES NOT ALLOW VIEWS THOUGH PLACED INTO THE WINDOW FRAME OR ACID ETCHED OR SIMILAR PERMANENT ALTERATION OF THE GLASS. FILMS OR LIKE ADDITIONS TO CLEAR GLASS ARE NOT PERMITTED WHERE OBSCURE GLAZING IS SHOWN. OBSCURE GLAZING SHALL NOT BE ALTERED IN THE FUTURE AND SHALL BE REPLACED WITH LIKE MATERIALS IF DAMAGED.
- G** WINDOW AND DOOR TRIM: PAINTED WOOD. COLOR T.B.D.
- H** CRAWL SPACE VENT: 6 X 16 VENT WITH SCREEN VENT CALCULATION: PER 2016 CBC SECTION 1203.32- EXCEPTION 2/ CRC 408.1 AREA TO BE VENTED = 2.15%<sub>30</sub> = 14.33 SQ.FT. = 2064 SQ. INCHES (NFVA) - REQUIRED VENTS PROVIDED: 8X16 METAL VENT (88 SQ.IN NFVA) # OF VENT UNIT = 31 X 68 = 2108 SQ. INCH NFVA NOTE: FOUNDATION VENT SHALL BE FULLY COVERED WITH METAL WIRE MESH OR NONCOMBUSTIBLE MATERIALS WITH MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/8" OPENINGS IN COMPLIANCE WITH CRC R27.6.2



EXISTING RIGHT SIDE / NORTH ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED RIGHT SIDE / NORTH ELEVATION

SCALE: 1/4" = 1'-0"

PROPERTY ADDRESS

1451 ELWOOD DRIVE  
CAMPBELL, CA 95008

PROPERTY OWNERS

TIM STONE

ASSESSOR PARCEL NO.

003-15-043

REVISIONS BY:

REVISIONS NO.: BY:

DATE 06-24-20

JOB NO. 200130

SCALE: AS NOTED

DRAWN BY: MC

CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



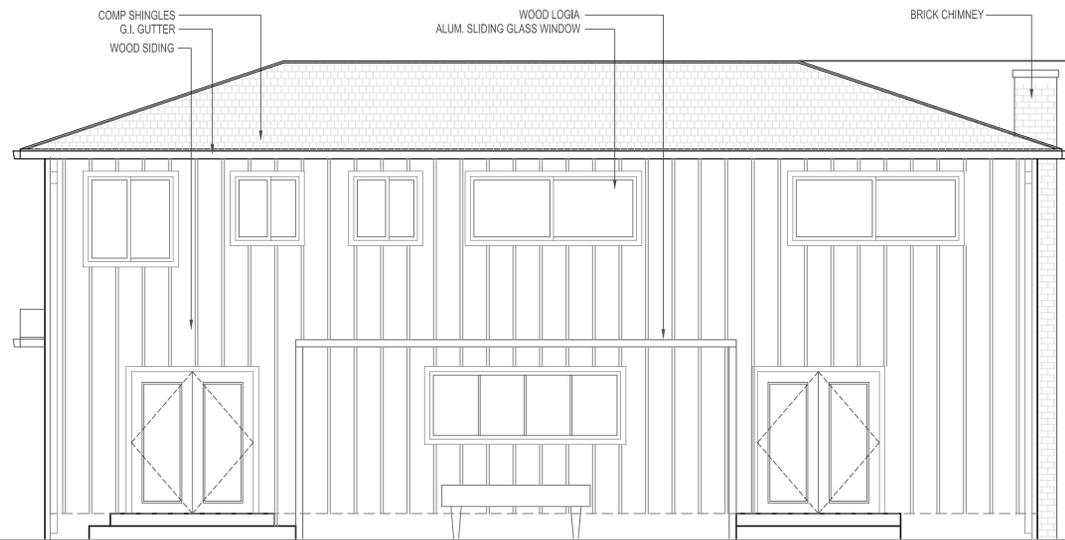
CONTENT:

**REAR AND  
LEFT SIDE  
ELEVS**

SHEET NUMBER

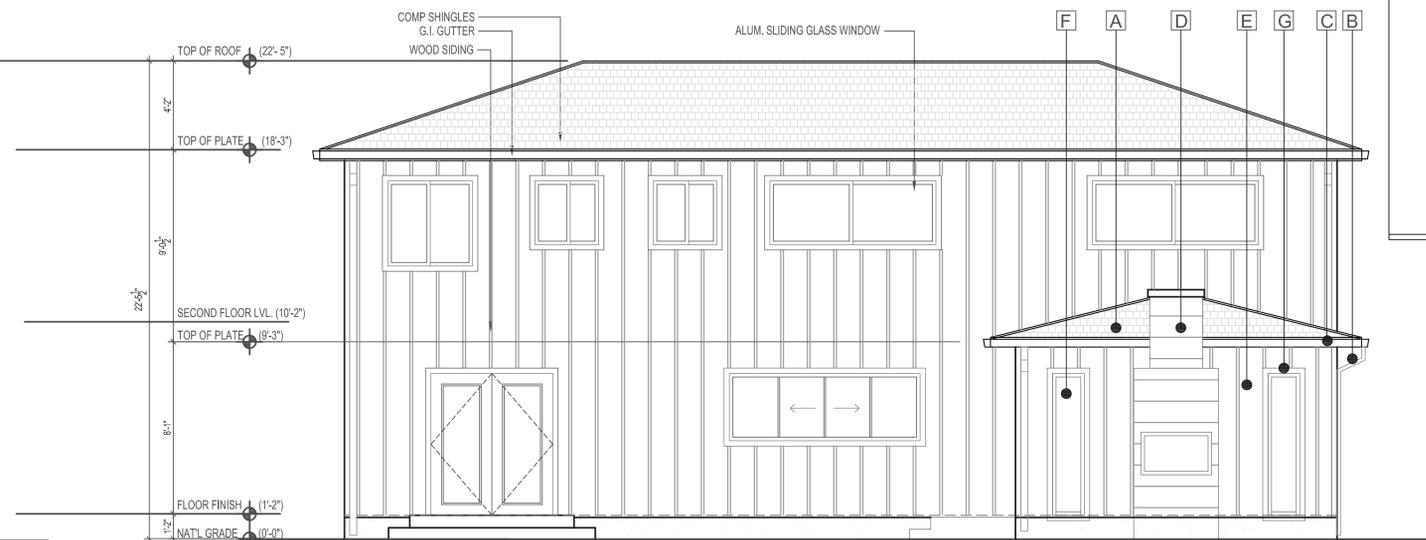
**A.9**

APPROVAL STAMP



EXISTING REAR / WEST ELEVATION

SCALE: 1/4" = 1'-0"



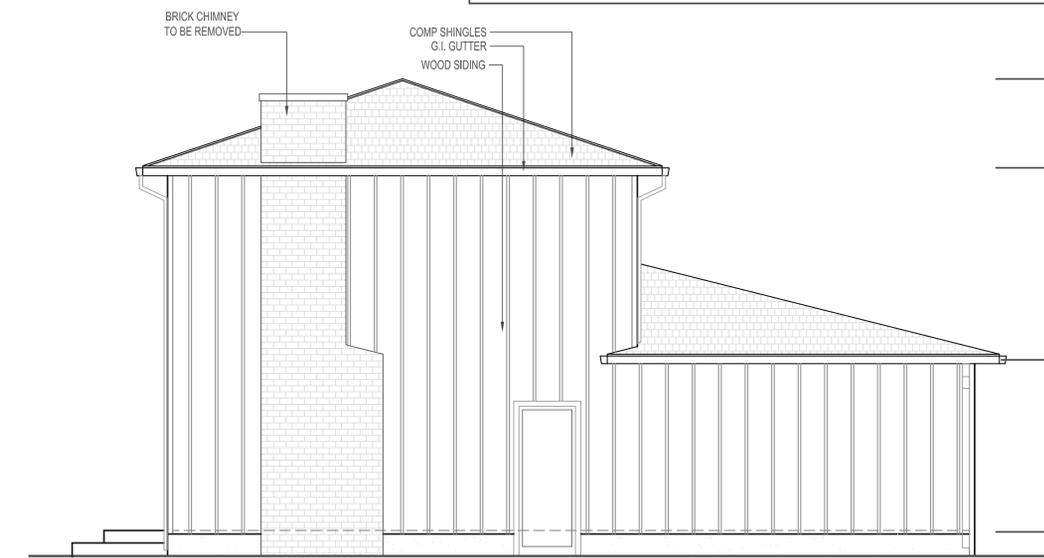
PROPOSED REAR / WEST ELEVATION

REPLACE EXTERIOR WALL FINISH - BOARD AND BATTEN TO MATCH EXISTING

SCALE: 1/4" = 1'-0"

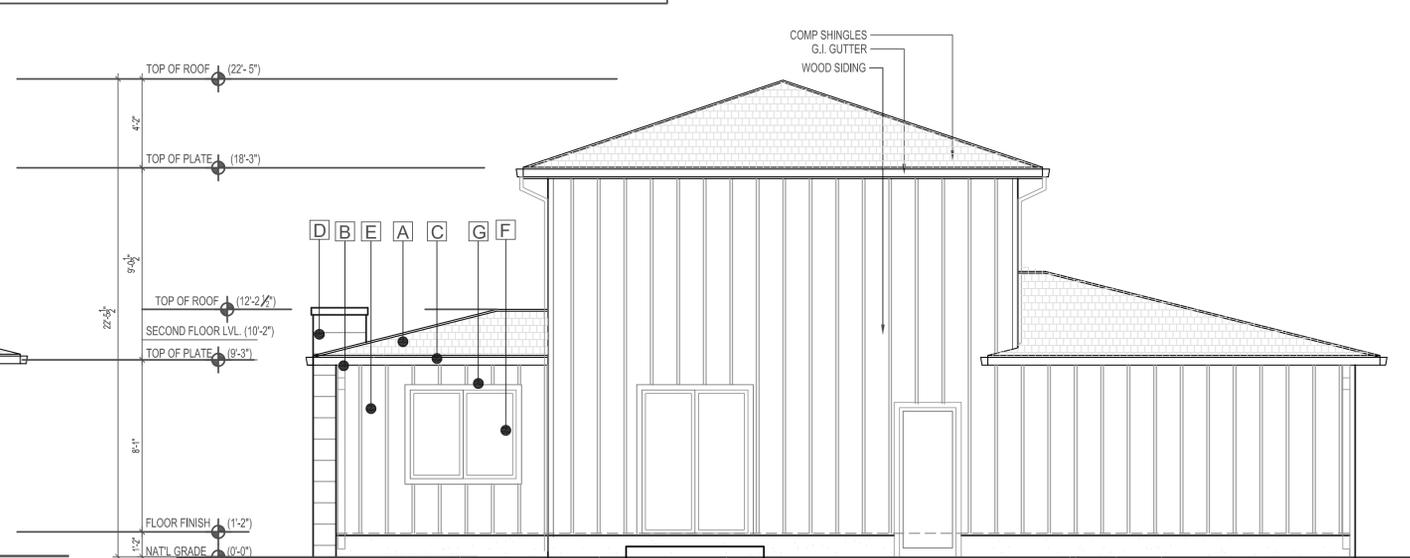
**ELEVATION NOTES:**

- A** ROOF MATERIAL: COMPOSITION SHINGLE TO MATCH EXISTING CLASS "A" ROOF MATERIAL PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. TYPICAL 4:12 PITCH UNLESS OTHERWISE NOTED. ROOF OVERHANG: 1'-6" TYPICAL, U.N.O.
- B** DOWNSPOUTS: TO MATCH EXISTING 2X4 RECTANGULAR, PAINTED ALUMINUM
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- E** EXTERIOR WALL - 2: TO MATCH EXISTING WOOD BOARD AND BATTEN OVER ONE LAYER OF NO.15 ASPHALT FELT UNDER THE WOOD SIDING O/ 1/2" CDX PLYWOOD O/ 2X STUDS AT 16" O.C. STUDS W/ R-15 INSULATION O/ 1/2" GYP.BD. CLEARANCE BETWEEN WOOD SIDING AND EARTH SHALL NOT BE LESS THAN 6 INCHES OR 2 INCHES FROM CONC.
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EXISTING RIGHT SIDE / SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED RIGHT SIDE / SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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ASSESSOR PARCEL NO.

003-15-043

REVISIONS BY:

REVISIONS NO.: BY:

DATE 06-24-20

JOB NO. 200130

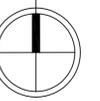
SCALE: AS NOTED

DRAWN BY: MC

CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

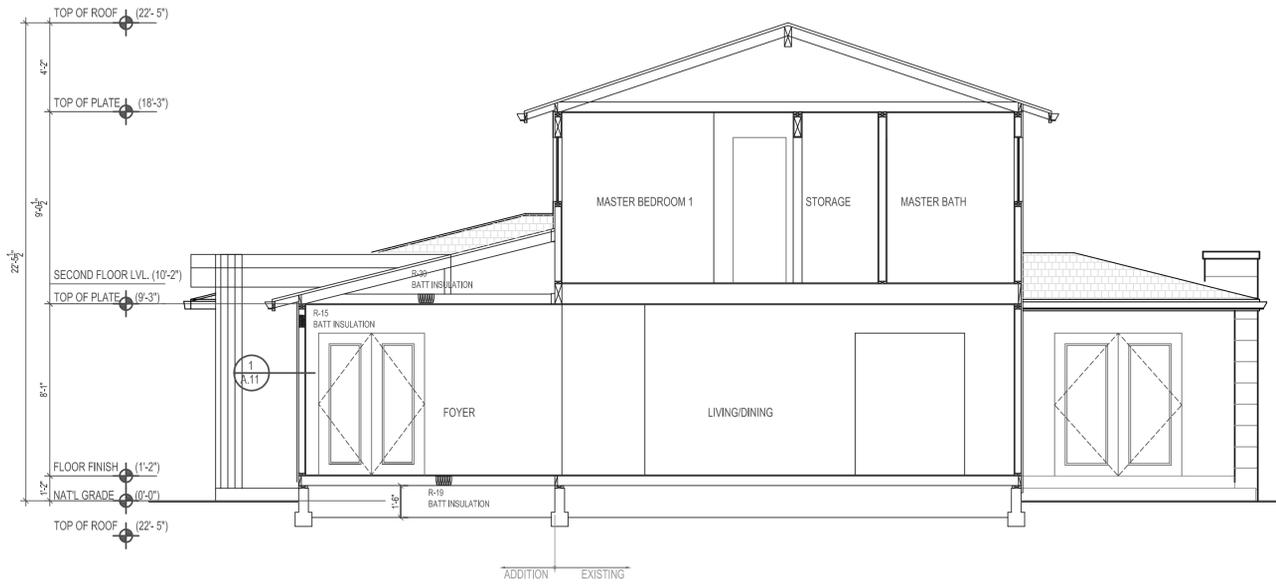
BUILDING SECTIONS

SHEET NUMBER

A.10

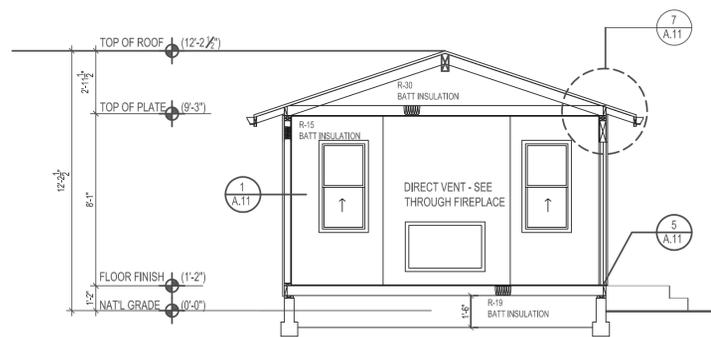
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BUILDING SECTION A-A

SCALE: 1/4" = 1'-0"

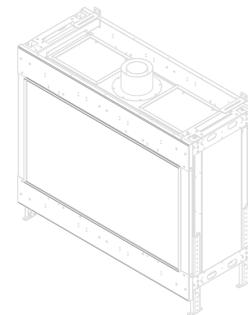


BUILDING SECTION B-B

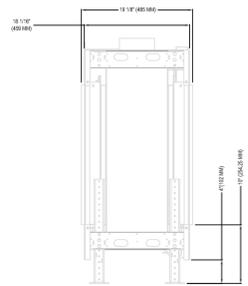
SCALE: 1/4" = 1'-0"



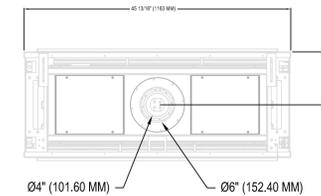
FLARE FIREPLACE  
1406 CAPITAL AVE. SUITE 104  
PLANO, TEXAS 75074  
PHONE: (866) 639-1590  
www.flarefireplaces.com



ISOMETRIC  
TELESCOPIC LEG RANGE  
FROM BOTTOM OF GLASS: 10"-19"

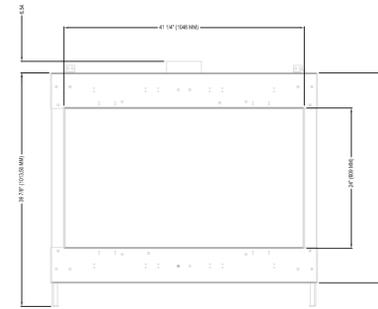


SIDE  
ELEVATION



Ø4" (101.60 MM) Ø6" (152.40 MM)

TOP  
VIEW



FRONT  
ELEVATION

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. ADDITIONAL INFORMATION (MAY NOT BE VISIBLE) AVAILABLE IN MODEL SPACE.
6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER FINAL ELWOOD ARCH DRAWINGS 101320

MODERN LINEAR FIREPLACES  
FLARE MODERN SEE THROUGH: FLARE-ST-45-H

FINAL ELWOOD ARCH DRAWINGS

CADdetailsPLUS™

REVISION DATE 22/01/2021

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SUBJECT	DETAILS		
Gas Type	Natural Gas (NG) or Liquid Propane (LP)		
Safety Standard	CSA File # 263134 - ANSI Z21.88 - CSA 2.33		
Operation	Mertix GNG	Honeywell	SIT
Electrical Requirements	110 Volts, 15 Amps (DEDICATED POWER RECOMMENDED)		
Glass Height	16"		
Optional RGB LED System	Optional Multi-Colored Interior RGB LED Lighting System		
Optional Power Vent System	End-Of-Line Vertical	End-Of-Line Horizontal	Inline
Optional Double Glass	Optional Cooler Touch Double Glass		
Weight	IN CRATE		NO CRATE
	309 (SS) / 337 lbs (DG)		247 (SS) / 271 lbs (DG)
Cool Wall Tech	Allows for TV or art above your Flare		
Burners	Multi-Row Stainless Steel Burner		
Interior Media Options	FIRE GLASS 1/2" & 1/4"	CERAMIC LOSS	EMBERS
	FIRE BEADS	CERAMIC BRANCHES	CERAMIC STONES
	ZIRCON DIAMONDS	CERAMIC BIRCHWOOD	CERAMIC STONE BALLS
<b>Product Specifications</b>			
<ul style="list-style-type: none"> <li>The Flare Fireplace is certified for use with either Natural Gas (NG) or Propane (LP)</li> <li>The Flare Fireplace operates with a direct vent, balanced flue system. A direct vent gas fireplace is room-sealed using ceramic glass.</li> <li>The Flare Fireplace user's double pipe vent flue to pull in fresh air from outside &amp; release exhaust gases to the outside. Clearances to combustible materials MUST be maintained. Refer to Installation Manual for clearance distances.</li> <li>The Flare Fireplace must be properly connected to a venting system.</li> <li>The Flare Fireplace must be installed according to requirements as presented in the Installation Manual, as well as complying with all local codes. If no codes exist, then the current CSA installation code must be followed.</li> </ul>			

Parts Included:

- Flare Fireplace
- Ceramic Glass Panel(s)
- Invisible Mesh Safety Screen
- Option of "Classic" Media
- Complete Electronic Ignition Pilot Assembly
- Spare Parts Kit
- Adjustable Telescopic Legs & Mounting Brackets
- AC Power Supply, Remote Control, & Wall Switch

Optional Features & Accessories:

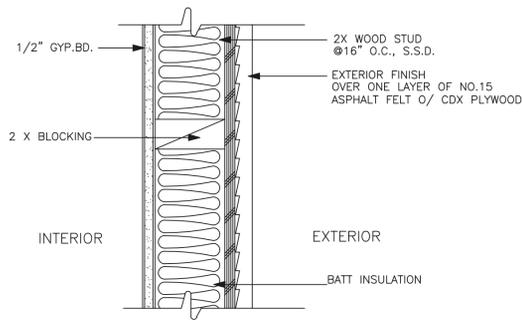
- Reflective Black Ceramic Back
  - Summer Kit Heat Control System
  - Home Automation Integration (New & Existing)
  - Wi-Fi Connectivity (myfire Smart App)
  - Battery Backup (Screen Units Only)
- Approved Venting Specification:**
- DuraVent
  - ICC
  - Natural Draft Pipe Size: 4x6
  - Power Vented Pipe Size: 3x5

Gas Pressure & Power Output

NG EFFICIENCY 83% | LP EFFICIENCY 83%

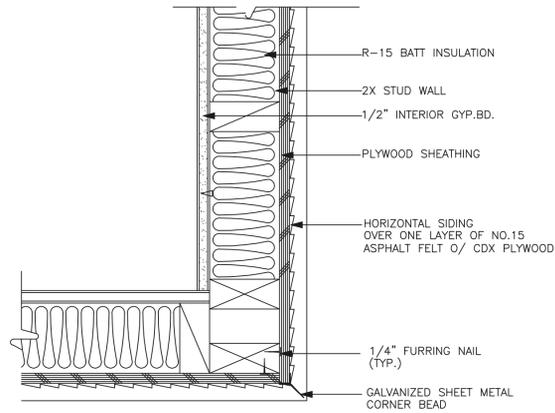
GAS	INLET PRESSURE		MANIFOLD PRESSURE	MAX BTU INPUT	ORIFICE SIZE			BURNER SIZE (inches)		
	MIN.	MAX.			Burner 1	Burner 2	Burner 3	Burner 1	Burner 2	Burner 3
NG	7.0" WC	8.0" WC	4.2	36,800	0	1000	0	31 3/4	0	0
	10.0" WC	11.0" WC	10.44	26,300	0	320	0	0	0	0
	SIT									
LP	7.2" WC	8.2" WC	3.5	36,000	0	1100	0	31 3/4	0	0
	10.0" WC	11.0" WC	9.5	28,000	0	320	0	0	0	0
	HONEYWELL									
GAS	INLET PRESSURE		MANIFOLD PRESSURE	MAX BTU INPUT	ORIFICE SIZE			BURNER SIZE (inches)		
	MIN.	MAX.			Burner 1	Burner 2	Burner 3	Burner 1	Burner 2	Burner 3
NG	7.0" WC	8.0" WC	4.3	36,800	0	1000	0	31 3/4	0	0
	10.0" WC	11.0" WC	7.83	26,300	0	320	0	0	0	0

For more information on Flare or our amazing features please visit: <https://www.flarefireplaces.com>



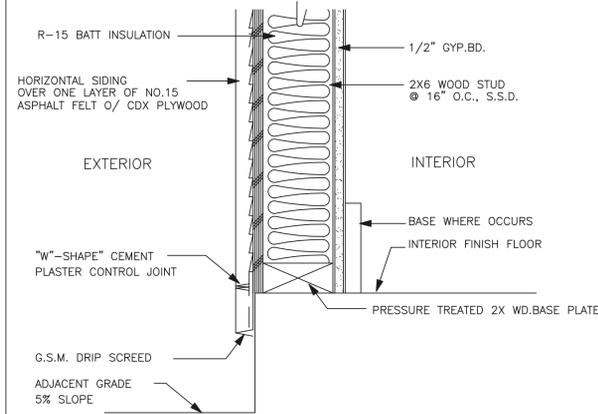
1 TYP. EXTERIOR WALL DETAIL

N.T.S.



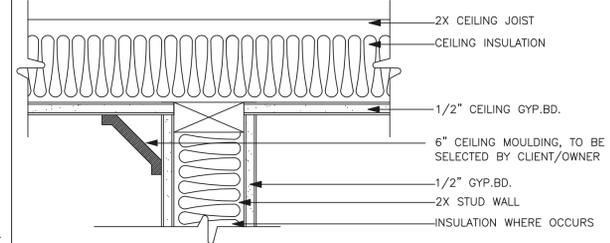
2 TYP. EXTERIOR WALL DETAIL

N.T.S.



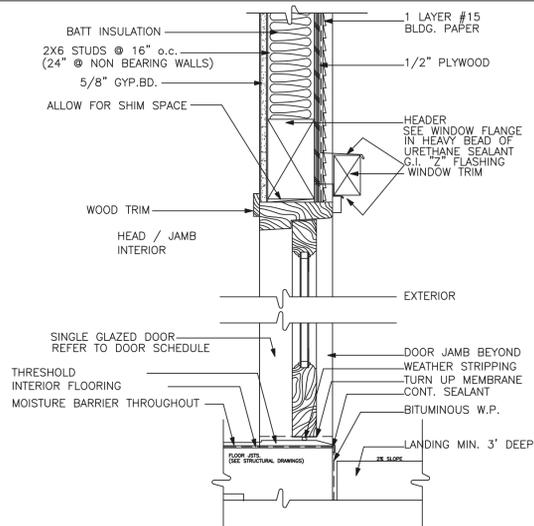
3 TYP. EXTERIOR WALL DETAIL

N.T.S.



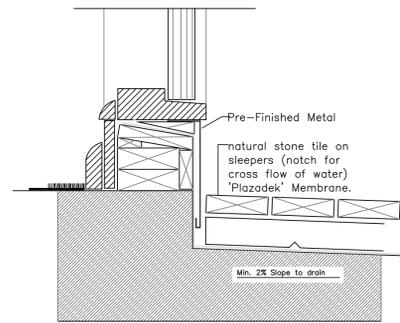
4 TYP. INTERIOR WALL DETAIL

N.T.S.



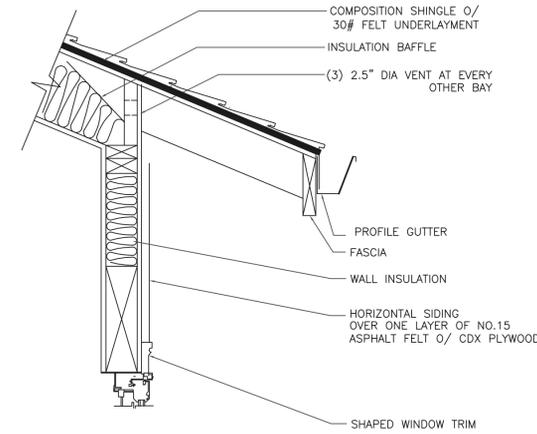
5 EXTERIOR DOOR DETAIL

N.T.S.



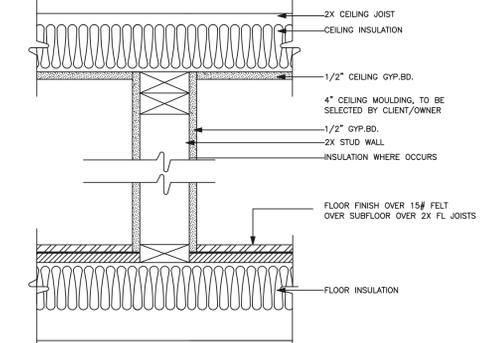
6 TRESHOLD DETAIL

N.T.S.



7 TYP. ROOF EAVE DETAIL

N.T.S.

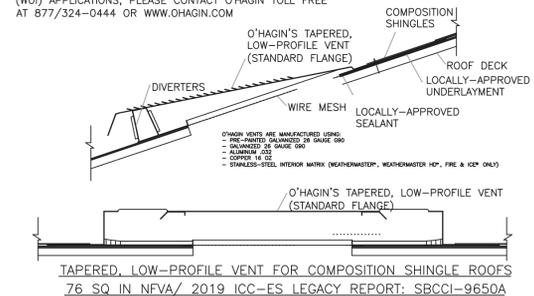


8 TYP. PARTITION WALL DETAIL

N.T.S.

O'HAGIN VENT SECTIONS

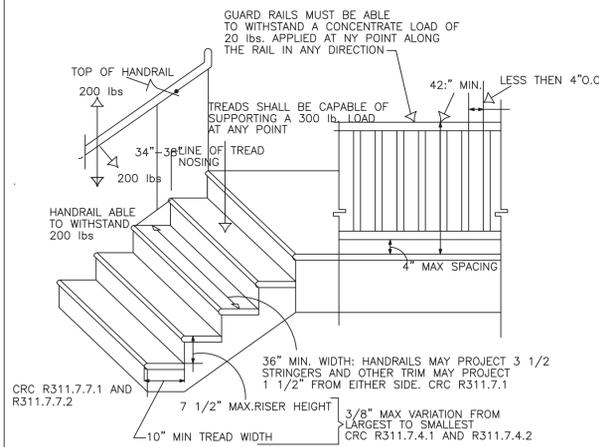
FOR COORDINATING ROOF TILE MANUFACTURERS, INSTALLATION INSTRUCTIONS, TECHNICAL BULLETINS & SPECIFIC INFORMATION REGARDING RAIN, SNOW, HIGH-VELOCITY WIND OR WILDLAND URBAN INTERFACE (WUI) APPLICATIONS, PLEASE CONTACT O'HAGIN TOLL FREE AT 877/324-0444 OR WWW.OHAGIN.COM



9 LOW PROFILE ROOF VENT DETAIL

N.T.S.

THE TOP OF THE HANDRAIL SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOSING OF THE TREAD AND LANDINGS. HANDRAIL SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT AND SHALL BE RETURNED OR HAVE ROUNDED TERMINATION OR BEND.



10 STAIR AND RAILING DETAIL

N.T.S.

MDA DESIGN

ARCHITECTURE - INTERIOR DESIGN

ADDRESS  
908 BAINES STREET  
E. PALO ALTO, CA 94303

WEBSITE  
mda-projects.com  
EMAIL  
mdadesign1992@gmail.com  
MOBILE  
650-353-0273

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SCALE: AS NOTED  
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CHECKED BY: MA

APPLIES TO ALL PLANS

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CONTENT:

DETAILS

SHEET NUMBER

A.11

APPROVAL STAMP



ADDRESS  
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PROPERTY ADDRESS

1451 ELWOOD DRIVE  
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PROPERTY OWNERS

TIM STONE

ASSESSOR PARCEL NO.

003-15-043

REVISIONS BY:  
REVISIONS NO.: BY:

DATE 06-24-20  
JOB NO. 200130  
SCALE: AS NOTED  
DRAWN BY: MC  
CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

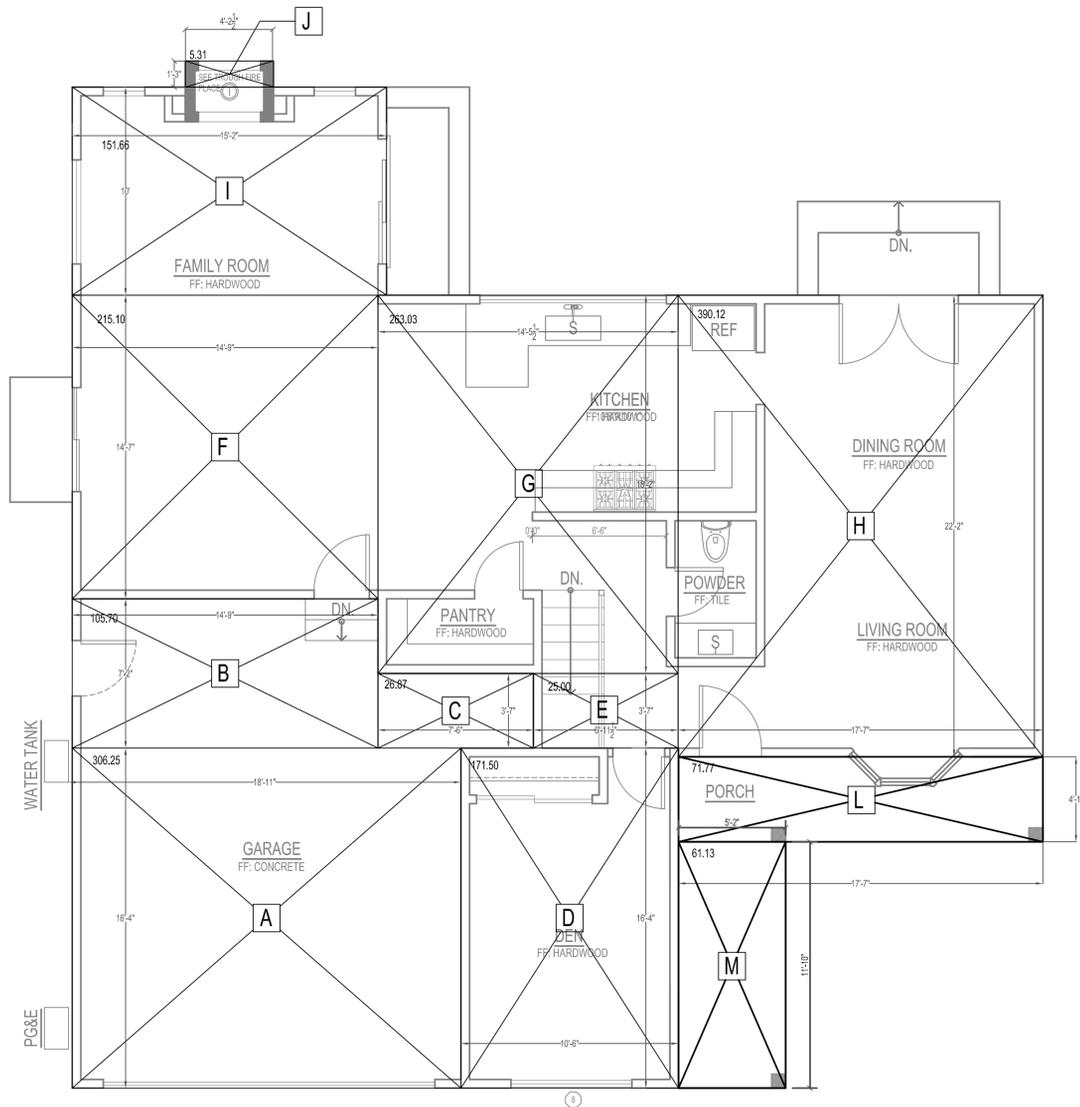
AREA  
CALCS

SHEET NUMBER

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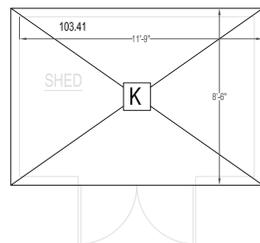
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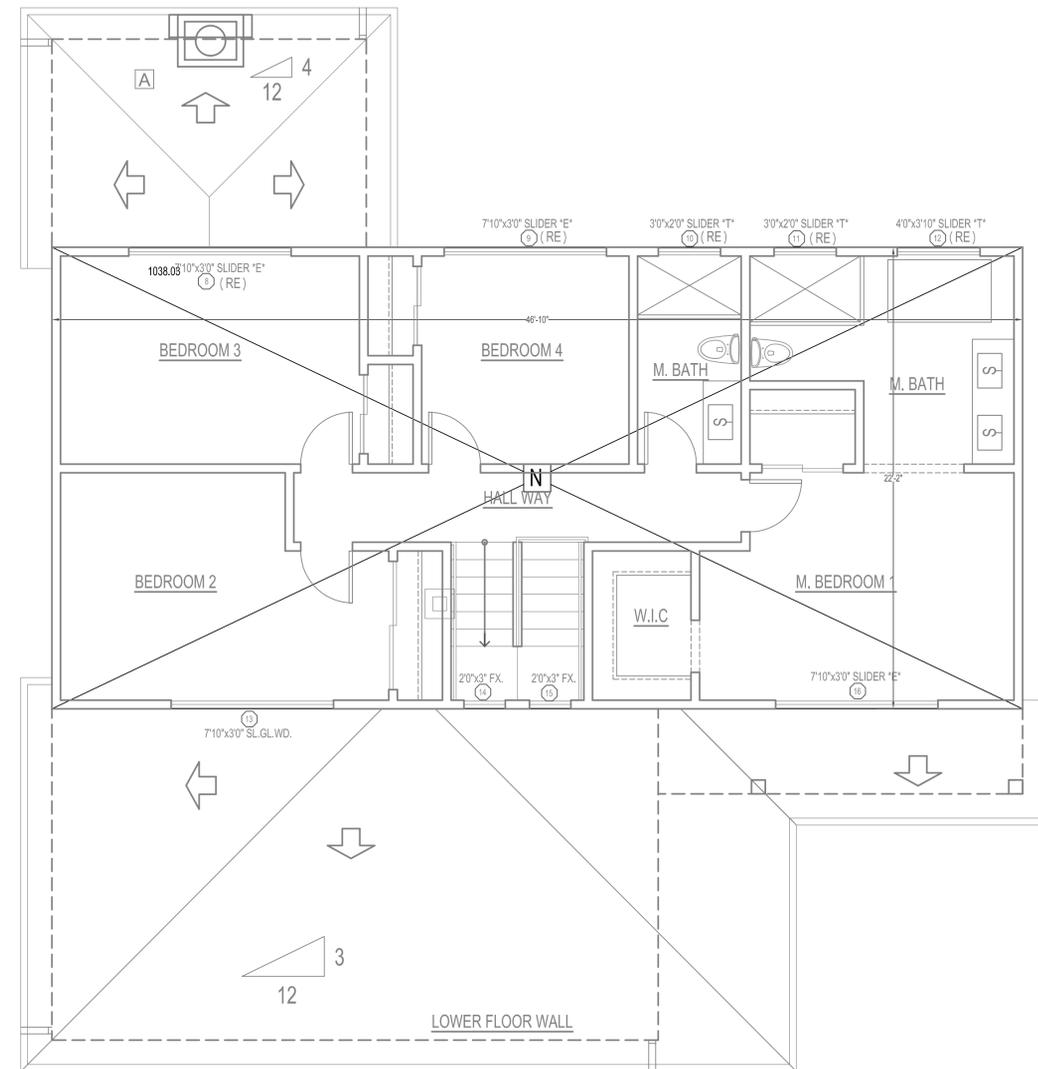


FIRST FLOOR AREA CALCULATIONS

SCALE: 1/4" = 1'-0"



	SYMBOL	DIMENSIONS	AREA	LOT COVERAGE	FLOOR AREA
(E) GARAGE	A	18'-11" X 16'-4"	306.25	438.82	438.82
	B	14'-9" X 7'-2"	105.70		
	C	7'-6" X 3'-7"	26.87		
	D	10'-6" X 16'-4"	171.50		
(E) FIRST FL CONDITIONED SPACE	E	6'-11.5" X 3'-7"	25.00	1064.75	1064.75
	F	14'-9" X 14'-7"	215.10		
	G	14.5' X 18'-2"	263.03		
	H	17'-7" X 22'-2"	390.12		
FIRST FL ADDITION	I	15'-2" X 10'-0"	151.66	151.66	151.66
FIREPLACE CHIMNEY	J	4'-2 1/2" X 1'-3"	5.31	5.31	5.31
(E) SHED	K	11'-9" X 8'-6"	103.41	103.41	103.41
(E) FRONT COVERED PORCH	L	4'-1" X 17'-7"	71.77	71.77	71.77
(E) FRONT COVERED WALKWAY	M	5'-2" X 11'-10"	61.13	61.13	61.13
(E) SECOND FLOOR COND. SPACE	N	46'-10" X 22'-2"	1038.03		1038.03
TOTAL				1896.85	2801.98



SECOND FLOOR AREA CALCULATIONS

SCALE: 1/4" = 1'-0"



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4.504.1 Covering of duct openings and protection of mechanical equipment during construction  
At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris, which may enter the system.  
TABLE 4.504.1  
ADHESIVE VOC LIMIT  
1, 2 Less Water and Less Exempt Compounds in Grams per Liter

TABLE 4.504.1 - ADHESIVE VOC LIMIT <sub>1,2</sub>	
(Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
<b>SPECIALTY APPLICATIONS</b>	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	60
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
<b>SUBSTRATE SPECIFIC APPLICATIONS</b>	
METAL TO METAL	80
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	50
FIBERGLASS	60

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.  
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

4.504.2.1 Adhesives, sealants and caulks  
Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:  
1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.  
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

TABLE 4.504.2 - SEALANT VOC LIMIT <sub>1</sub>	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
<b>SEALANT PRIMERS</b>	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

4.504.2.2 Paints and coatings  
Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol paints and coatings  
Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522 (a) (2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522 (e) (1) and (b) (1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350)
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFC) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 SS standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS <sub>1,2</sub>	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
<b>SPECIALTY COATINGS</b>	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	215
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2006. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

#### 4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

#### 4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.

a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.  
b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

#### Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

#### 4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems, ASHRAE handbooks or other equivalent design software or methods).
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

#### PROPERTY ADDRESS

1451 ELWOOD DRIVE  
CAMPBELL, CA 95008

#### PROPERTY OWNERS

TIM STONE

#### ASSESSOR PARCEL NO.

003-15-043

#### REVISIONS BY:

REVISIONS NO.: BY:

REVISIONS NO.	BY:

#### DATE

06-24-20

#### JOB NO.

200130

#### SCALE:

AS NOTED

#### DRAWN BY:

MC

#### CHECKED BY:

MA

#### APPLIES TO ALL PLANS

#### CONTENT:

GEN. NOTES

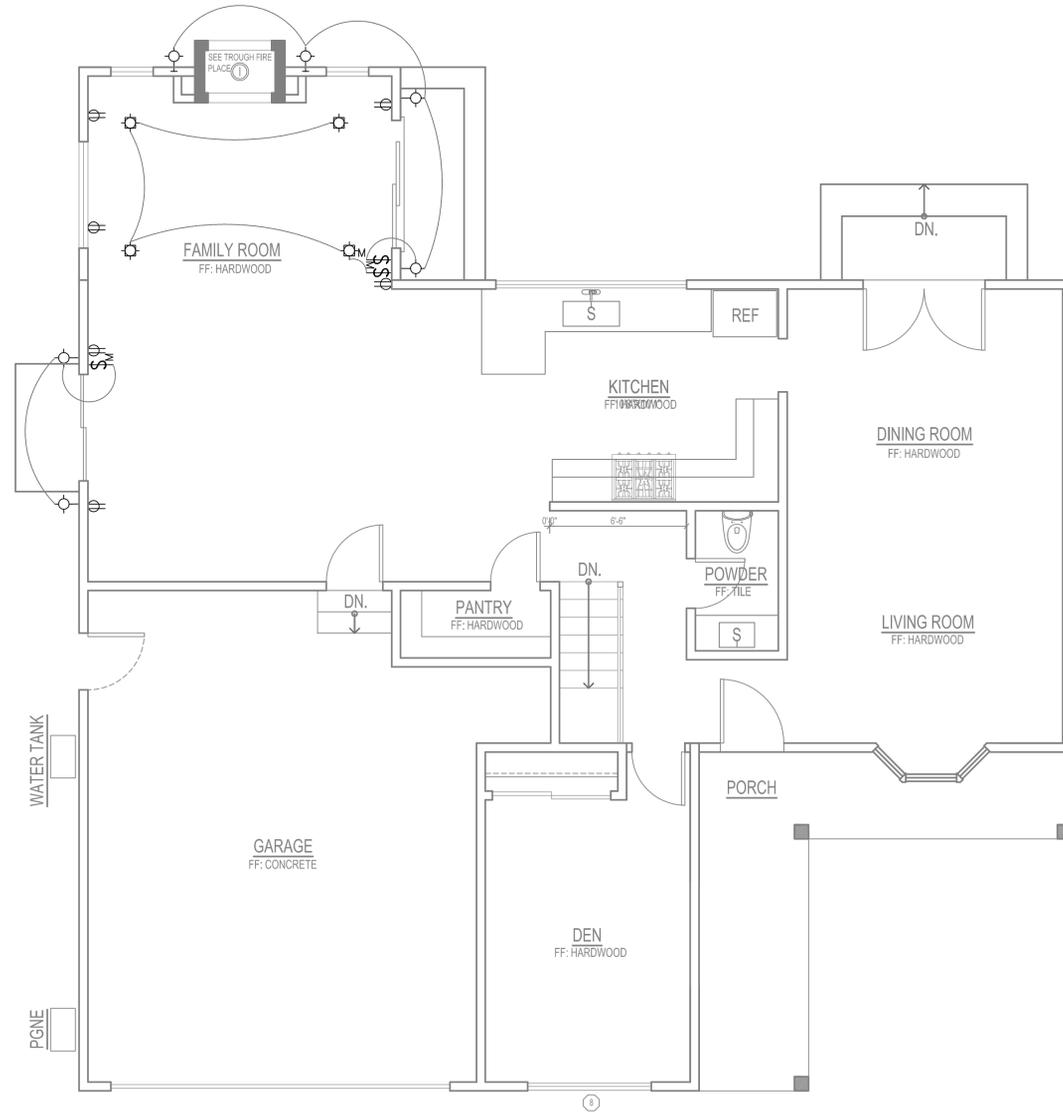
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#### APPROVAL STAMP



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS

	110 V. ELEC DUPLEX OUTLET (WALL) - AFCI		UNDERMOUNT FIXT. LINEAR FLOURESCENT T5 ( 15 WATTS)		HARD-WIRED CARBON MONOXIDE DETECTOR IF MORE THAN ONE INSTALLED, THEN INTERCONNECT
	110 V. ELEC DUPLEX OUTLET (CEILING)		4" LED RECESSED FIXT.		SMOKE DETECTOR
	110 V. ELEC DUPLEX OUTLET (WALL) +44		PENDANT LOW VOLTAGE HALOGEN ( 40 WATTS)		HOSE BIBB
	110 V. ELEC DUPLEX GFI OUTLET (WALL)+72		SURFACE MOUNTED LIGHT		WATER LINE
	110 V. ELEC DUPLEX OUTLET (WALL)+36		SWITCH		FUEL GAS
	GROUND FAULT INTERRUPTER		DIMMER SWITCH		MOTION SENSOR WITH PHOTO CONTROL
	WATERPROOF G.F.I. DUPLEX OUTLET		2-WAY SWITCH		WALL MOUNTED FIXTURE
	110 V. ELEC DUPLEX OUTLET (FLOOR)		4-WAY SWITCH		WALL MOUNTED FIXTURE RATED FOR DAMP LOCATION
	220 V. ELEC OUTLET		MANUAL ON OCCUPANCY		70 CFM FAN
	THERMOSTAT		VACANCY SENSOR		CEILING MOUNTED FIXTURE

GENERAL ELECTRICAL ENERGY CODE NOTES: (N)  
I- LUMINAIRE REQUIREMENT:

- A. Luminaire Efficacy:  
All installed luminaires shall meet the requirements in Table 150.0-A.
- B. Blank Electrical Boxes:  
The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device shall be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control or fan speed control.
- C. Recessed Downlight Luminaires in Ceilings:  
In addition to complying with 150.0 (K) A, luminaires recessed into ceiling shall meet all of the following requirements:  
1. Be listed, as defined in Section 100.1 for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing laboratory and  
2. Have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283. An exhaust fan housing shall not be required to be certified airtight; and  
3. Be sealed with gasket or caulk between the luminaire housing and ceiling, and have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk; and  
4. For luminaires with hardwired ballasts or drivers, allow ballast or driver maintenance and replacement to be readily accessible to building occupants from below the ceiling without requiring the cutting of holes in the ceiling; and  
5. Shall not contain screw base sockets.
- D. Electronic Ballasts for Fluorescent Lamps:  
Ballasts for fluorescent lamps rated 13 watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.
- E. Night Lights, Step Lights and Path Lights:  
Night lights, step lights and path lights shall not be required to comply with table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
- F. Lighting Integral to Exhaust Fans:  
Lighting integral to exhaust fans shall meet the applicable requirements of Section 150.0 (K) .  
EXCEPTION to Section 150.0 (K) 1F: Lighting installed by the manufacturer in kitchen exhaust hoods.
- G. Screw based Luminaires:  
Screw based luminaires shall contain lamps that comply with Reference Joint Appendix JA8.
- H. Light Sources in Enclosed or Recessed Luminaires:  
Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements shall not be installed in enclosed or recessed luminaires.
- I. Light Sources in Drawers, Cabinets and Linen Closets:  
Light sources internal to drawers, cabinetry or linen closets shall not be required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power and emit no more than 150 lumens and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.

II INTERIOR LIGHTING SWITCHING DEVICES AND CONTROLS

- A. All forward phase dimmers used with LED light sources shall comply with NEMA SSL 7A.
- B. Exhaust fans shall be controlled separately from lighting systems.  
EXCEPTION to Section 150.0 (K) 2B: Lighting integral to an exhaust fan may be on the same control as the fan provided the lighting can be turned OFF in accordance with the applicable provisions in Section 150.0 (K) 2 while allowing the fan to continue to operate.
- C. Lighting shall have ready accessible wall mounted controls that allow the lighting to be manually turned on and off.  
EXCEPTION to Section 150.0 (K) 2C: Ceiling fans may provide control of integrated lighting via a remote control.
- D. Lighting controls and equipment shall be installed in accordance with the manufacturer's instructions.
- E. No controls shall bypass a dimmer, occupant sensor or vacancy sensor function where that dimmer or sensor has been installed to comply with Section 150.0 (K) .
- F. Lighting controls shall comply with the applicable requirements of section 110.0.
- G. An Energy Management Control System (EMCS) may be used to comply with control requirements in Section 150.0 (K) 4 if at a minimum it provides the functionality of the specified controls in accordance with Section 110.0 meets the installation certificate requirements in Section 130.4 meets the EMCS requirements in Section 130.0 (e) and complies with all other applicable requirements in Section 150.0 (K) 2.
- H. A multistate programmable controller may be used to comply with dimmer requirements in Section 150.0 (K) 4 if at a minimum it provides the functionality of the specified controls in accordance with Section 110.0, meets the installation certificate requirements in section 130.4 meets the EMCS requirements in Section 130.0 (e) and complies with all other applicable requirements in Section 150.0 (K) 2.
- I. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of those spaces shall be controlled by an occupant or vacancy sensor providing automatic off functionality. If an occupant sensor is installed it shall be initially configured to manual-on operation using the manual control required under Section 150.0 (K) 2C.
- J. Luminaires that are or contain light sources that meet reference Joint Appendix JA8 requirements for dimming and that are not controlled by occupancy or vacancy sensors, shall have dimming controls.  
EXCEPTION 1 to Section 150.0 (K) 2J: Luminaires in closets less than 70 square feet.  
EXCEPTION 2 to Section 150.0 (K) 2J: Luminaires in hallways.
- K. Under lighting shall be controlled separately from ceiling-installed lighting such that one can be turned on without turning on the other.

III RESIDENTIAL OUTDOOR LIGHTING:  
In addition to meeting the requirements of Section 150.0 (K) 1A, Luminaires providing residential outdoor lighting shall meet the following requirements, as applicable:  
A. For single-family residential buildings, outdoor lighting permanently mounted to a residential building or to other building on the same lot, shall meet the requirements in item i and the requirements in other items if item ii.  
i Controlled by a manual ON and OFF switch that permits the automatic actions of items ii or iii below; and  
ii Controlled by a photocell and either a motion sensor or an automatic time switch control or  
iii Controlled by an astronomical time clock control.

Controls that override to ON shall not be allowed unless the override automatically returns the automatic control to its normal operation within 6 hours. An energy management control system that provides the specified lighting control functionality and complies with all requirements applicable to the specified controls may be used to meet these requirements.

TABLE 150.0-A CLASSIFICATION OF HIGH EFFICACY LIGHT SOURCES	
High Efficacy light sources shall comply with one of the columns below:	
Light sources in this column other than those installed in ceiling recessed downlight luminaires are classified as high efficacy and are not required to comply with Reference Joint Appendix JA8	Light sources in this column are only considered to be high efficacy if they are certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JA8 and marked as required by JA8.
1. Pin-based linear fluorescent or compact fluorescent light sources using electronic ballasts. 2. Pulse-start metal halide light sources. 3. High pressure sodium light sources. 4. Luminaires with hardwired high frequency generator and induction lamp. 5. LED light sources installed outdoors. 6. Separable S.S. luminaires containing colored light sources that are installed to provide decorative lighting.	8. All light sources installed in ceiling recessed downlight luminaires, note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in section 150.0 (K) 1F. 8. Any light source not otherwise listed in this table.

KITCHEN GENERAL REQUIREMENTS:  
ELECTRICAL REQUIREMENTS:

Receptacles shall meet all of the following requirements: (CEC 210.8, 210.12, 210.52, 210.52, 406.12, 422.16)

GFCI protection shall be provided for all countertop receptacles, receptacles within 6 feet of a sink (including below counter and behind an appliance) , and for receptacles supplying dishwashers. The reset button for GFCI receptacles shall be installed in an accessible location ( i.e., not behind an appliance) .

All outlets and devices ( i.e., receptacles, lighting, hoods, etc.) in the kitchen shall be AFCI protected and tamper-resistant ( TR ) .

Receptacles shall be provided at all countertop areas with a minimum dimension of 12 inches.

Countertop receptacles shall be located so that no point along the wall is more than 24 inches from a receptacle.

Countertop receptacles shall be located no more than 20 inches above the countertop.

Islands/peninsulas shall have at least one receptacle mounted not more than 12 inches below the countertop and where the countertop does not extend more than 6 inches beyond its base.

Electric stoves and ovens shall be supplied with a 40- or 50- amp branch circuit.

Range hoods shall be permitted to be cord-and-plug-connected with a flexible cord identified as suitable for use on range hoods in the installation instructions of the appliance manufacturer, where all the following conditions are met:  
o The flexible cord is terminated with a grounding-type attachment plug.  
o The length of the cord is 18 inches to 4 feet.  
o Receptacles are located to protect against physical damage to the flexible cord.  
o The receptacle is accessible.  
o The receptacle is supplied by an individual branch circuit.

Kitchen receptacles shall be supplied by circuits meeting all of the following requirements: (CEC 210.11, 210.52, 422.16)

Countertop receptacles shall be supplied by a minimum of two 20-amp branch circuits.

A dedicated circuit is required for cord and plug connected range exhaust hoods. Separate circuits may be required for the garbage disposal, dishwasher, and built-in microwave based on the Rev. 11-2019 manufacturer's requirements and the motor rating.

Any new receptacles added in the dining area, breakfast room, pantry, or similar area shall be supplied by a 20-amp circuit, the countertop circuits may be used to supply these areas.

The existing electrical panel may need to be upgraded, or a sub-panel added, if the requirements above cannot be accommodated.

CABINET REQUIREMENTS:

If installing a cabinet next to an existing fire rated wall/ceiling ( i.e., between apartment units or townhomes, etc.) the integrity of the fire rated wall/ceiling construction shall be maintained ( i.e., fire-blocking shall be installed in the wall/ceiling per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire-Resistant Construction. Continuity of such fire-resistance-rated walls shall be per R302.2.3 of the CRC. ( i.e., continuity of protection shall be full height from floor to ceiling, etc.)

A Fire Permit , FFP , shall be required when remodeling structures that have existing fire sprinklers. A fire inspection shall be required prior to a building rough inspection all trades and a fire final inspection shall be required before a building final can be signed-off. Fire inspectors shall sign-off all fire inspections on the building permit

PLUMBING GENERAL NOTES:

Water Efficient Plumbing Fixtures ( CalGreen 301.1.1, 4.303)

All existing non-compliant plumbing fixtures ( based on water efficiency ) throughout the house shall be upgraded whenever a building permit is issued for an addition, alteration, or improvement. The following table shows the fixtures that are considered to be non-compliant and the type of water-conserving plumbing fixture that shall be installed in place of non-compliant fixtures.

Plumbing Fixture	Non-Compliant Plumbing Fixture	Required Water-Conserving Plumbing Fixture ( maximum flow-rates)
Water Closet ( Toilet )	Greater than 1.6 gallons/flush	1-28 gallons/flush
Showershead	Greater than 2.2 gallons/minute	1.8 gallons/minute at 80 psi
Faucet - Bathroom	Greater than 2.2 gallons/minute	1.2 gallons/minute at 60 psi
Faucet - Kitchen	Greater than 2.2 gallons/minute	1.2 gallons/minute at 60 psi ( average )

\*Residential building constructed after January 1, 1994 are exempt from this requirement.

Smoke and Carbon Monoxide Alarms ( CBC 907.2.10, CRC 314 and 319)  
Smoke alarms shall be installed on the ceiling or wall ( between 4' and 12' of the ceiling ) in all sleeping rooms, each area hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm ( if no date is listed the alarm shall be replaced ) . Newly installed smoke alarms shall have a 10-year battery. Carbon monoxide ( CO ) alarms shall be installed on the ceiling or wall ( above the door header ) in each area hallway adjacent to sleeping rooms, each occupiable story, and within a bedroom if the bedroom or attached bathroom contains a fuel-burning appliance. CO alarms are not required if there is no fuel-burning appliance or fireplace in the house and where the garage is detached from the house.

MDA DESIGN

ARCHITECTURE . INTERIOR DESIGN

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mdadesign1992@gmail.com  
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650-353-0273

PROPERTY ADDRESS

1451 ELWOOD DRIVE  
CAMPBELL, CA 95008

PROPERTY OWNERS

TIM STONE

ASSESSOR PARCEL NO.

003-15-043

REVISIONS BY:

REVISIONS NO: BY:

DATE 06-24-20

JOB NO. 200130

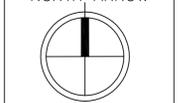
SCALE: AS NOTED

DRAWN BY: MC

CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

ELECTRICAL PLAN

SHEET NUMBER

MEP.1

APPROVAL STAMP

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REVISIONS BY:

REVISIONS NO: BY:

DATE 06-24-20

JOB NO. 200130

SCALE: AS NOTED

DRAWN BY: MC

CHECKED BY: MA

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

MECHANICAL  
AND  
PLUMBING  
PLAN

SHEET NUMBER

MEP.2

APPROVAL STAMP

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HOSE BIB NOTES:  
HOSE BIBS SHALL HAVE A PERMANENT ANTI-SIPHON DEVICE  
CPC-R03.5.7 TOP FOR ANY NEW  
HOSE BIBBS ADDED TO THE HOME

Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidistat.

KEY DESCRIPTION:

- \* [A] KITCHEN FAUCET - 1.5 GPM @60 PSI
- [B] 8" SS PIPE DIRECT VENT TO ROOF
- [C] RETAIN EXISTING EXHAUST VENT
- [D] BAR SINK FAUCET - 1.5 GPM @60 PSI MAX

GAS KEY:

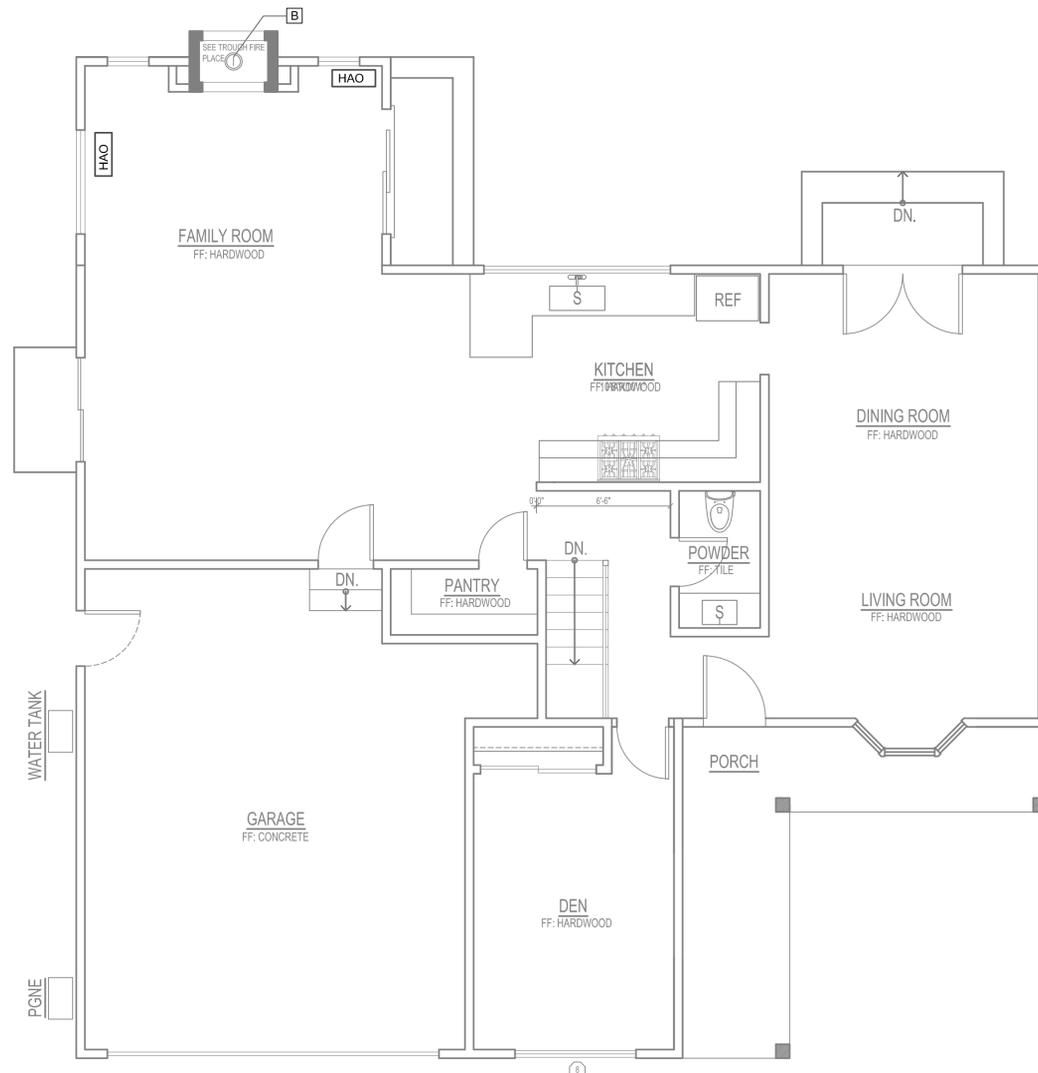
- [1] (E) 40,000 BTU'S DRYER
- [2] (E) 65,000 BTU'S RANGE
- [3] (E) 100000 BTU'S GAS FURNACE
- [4] (E) TANKLESS WATERHEATER/ 180,000 BTU'S

WATER EFFICIENT PLUMBING FIXTURES ( CALIFORNIA CIVIL CODE 1101.4 (a) )

THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-COMPLIANT PLUMBING FIXTURES ( BASED ON WATER EFFICIENCY ) THROUGHOUT THE HOUSE BE UPGRADED WHENEVER A BUILDING PERMIT IS ISSUED FOR REMODELLING IMPROVEMENTS. RESIDENTIAL BUILDING CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT. THE FOLLOWING TABLE SHOWS THE FIXTURES THAT ARE CONSIDERED TO BE NON-COMPLIANT AND TYPE OF WATER-CONSERVING PLUMBING FIXTURE THAT SHOULD BE INSTALLED.

LEGEND:

HAOC	HOT AIR OUTLET ( CEILING )
HAO	HOT AIR OUTLET ( FLOOR )
HAOW	HOT AIR OUTLET ( WALL )
HAO	HOT AIR OUTLET AT TOEKICK
+	HOSE BIB



4.303.1.4 Faucets  
4.303.1.4.1 Residential lavatory faucets  
The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.4 Kitchen faucets  
The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.  
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 Standards for plumbing fixtures and fittings  
Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

NOTE:  
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

FIXTURE TYPE	FLOW RATE
SHOWER HEADS ( RESIDENTIAL )	1.8 GMP @ 60 PSI
LAVATORY FAUCETS ( RESIDENTIAL )	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.5 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

FIRST FLOOR PLUMBING AND MECH. PLAN

SCALE: 1/4" = 1'-0"



**FRESH CONCRETE AND MORTAR APPLICATION**  
BEST MANAGEMENT PRACTICES FOR

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Place hay bales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.

**GENERAL BUSINESS PRACTICES**

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

- When breaking up paving, be sure to pick up all the pieces and dispose properly.
- Recycle large chunks of broken concrete at a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.

**STORM DRAIN POLLUTION FROM MASONRY AND PAVING**

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.

**DURING CONSTRUCTION**

- Don't mix up more fresh concrete or cement than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

**LANDSCAPING, GARDENING, AND POOL MAINTENANCE**

BEST MANAGEMENT PRACTICES FOR THE:

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

**GENERAL BUSINESS PRACTICES**

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

POOL/FOUNTAIN/SPA MAINTENANCE

- Never discharge pool or spa water to a street or storm drain.
- OR
- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.
- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algacides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

LANDSCAPING/GARDEN MAINTENANCE

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.
- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

**STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE**

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algacides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

**HEAVY EQUIPMENT OPERATION**

BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

**SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE**

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

- Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials, cat litter, and/or rags) whenever possible. If you must use water, use just enough to keep the dust down.
- Sweep up spilled dry materials immediately. Never attempt to wash them away with water or bury them. Use as little water as possible for dust control.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate spill response agencies immediately.

**STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE**

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

**PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES**

BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

**PAINT REMOVAL**

- Chemical paint stripping residue is a hazardous waste.
- Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer.

**WHAT CAN YOU DO?**

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

**STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES**

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

### SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

**EARTH MOVING ACTIVITIES**

BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

**DURING CONSTRUCTION**

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

**GENERAL BUSINESS PRACTICES**

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

**DETECTING CONTAMINATED SOIL OR GROUNDWATER**

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

**WATCH FOR ANY OF THESE CONDITIONS:**

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

**STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES**

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

**ROADWORK AND PAVING**

BEST MANAGEMENT PRACTICES FOR THE:

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of: grading equipment paving machines dump trucks concrete mixers
- Construction inspectors
- General contractors
- Developers

**WHAT CAN YOU DO?**

- Develop and implement erosion/sediment control plans for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

**DURING CONSTRUCTION**

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

**ASPHALT/CONCRETE REMOVAL**

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking old pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.
- Never hose down streets to clean up tracked dirt.

**STORM DRAIN POLLUTION FROM ROADWORK**

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

**GENERAL CONSTRUCTION AND SITE SUPERVISION**

BEST MANAGEMENT PRACTICES FOR THE:

- Construction industry

**WHAT CAN YOU DO?**

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
- Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
- Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
- Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
- Make sure portable toilets are in good working order. Check frequently for leaks.

MATERIALS/WASTE/HANDLING

- Practice Source Reduction - minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay). Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

**STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES**

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

**BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION**

In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or baylands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

**Spill Response Agencies**

- Dial 911
- Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710.
- Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).

**Local Pollution Control Agencies**

- Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195
- Santa Clara Valley Water District (408) 927-0710
- San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300
- Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga
- Sunnyvale Water Pollution Control Plant (408) 730-7270
- Palo Alto Regional Water Quality Control Plant (415) 329-2598
- Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

**ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL**

- A. Criminal Penalties.** Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.
- B. Civil Penalties.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.
- C. Civil Liability.** Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.
- D. Remedies Cumulative.** The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

Chgd	By	Date	Revision	No.	Date: 07/01/03	Drawn By:	Designed By:

PLAN FOR THE IMPROVEMENT OF  
**BLUEPRINT FOR A CLEAN BAY**  
ENCROACHMENT PERMIT NO.

SCALE:  
N.T.S.

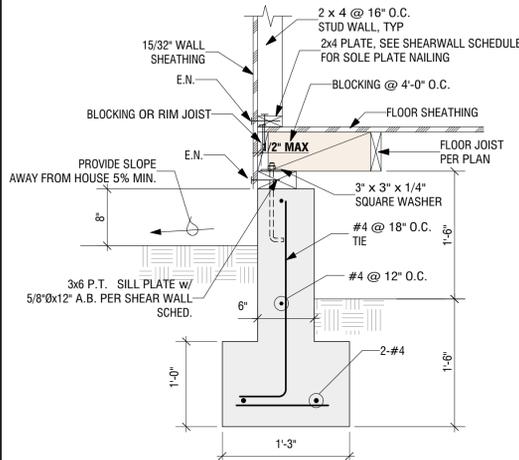
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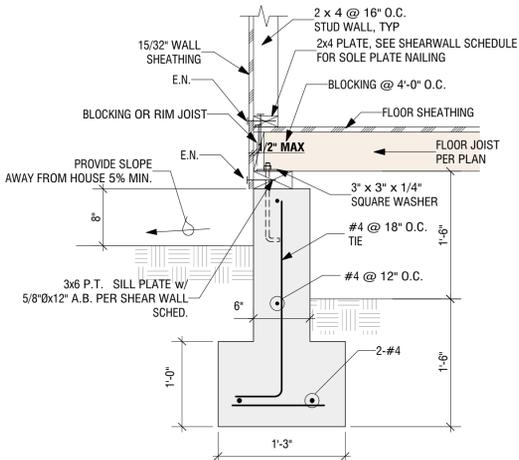
CITY OF CAMPBELL  
SANTA CLARA COUNTY, CALIFORNIA



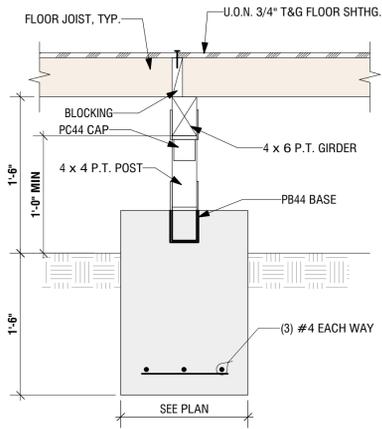




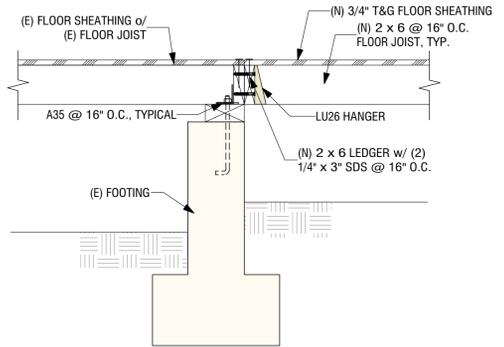
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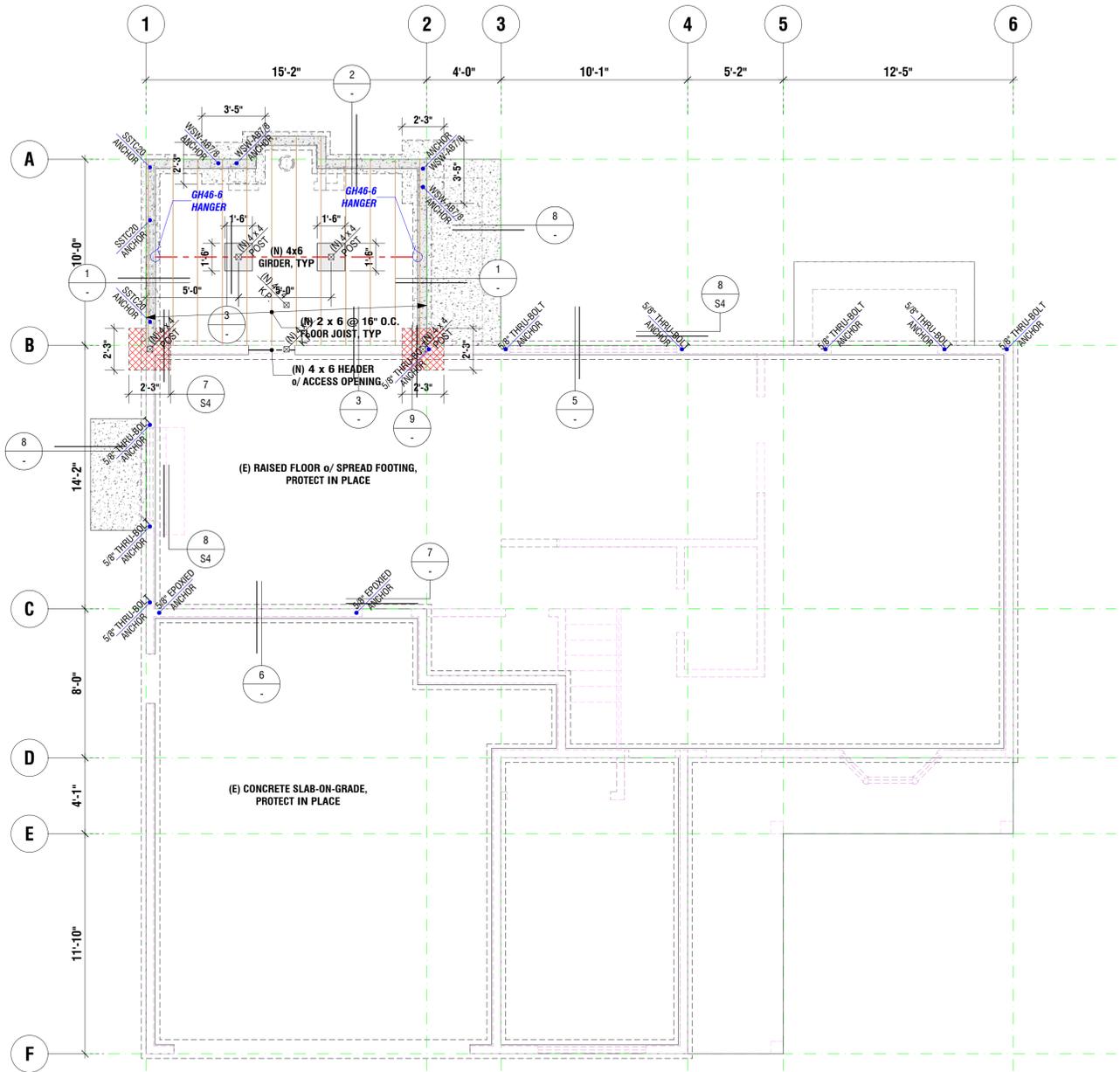
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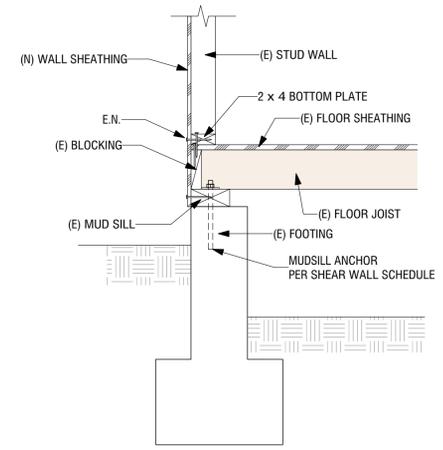
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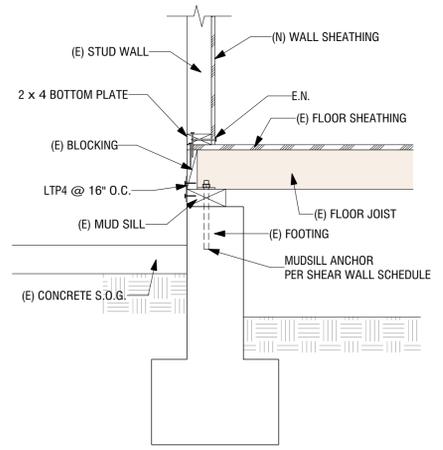
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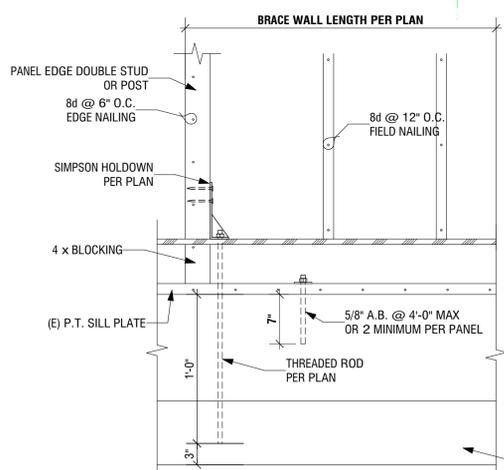
**FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"



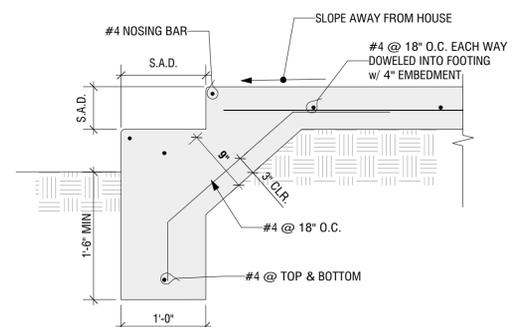
**5 BOTTOM OF SHEAR WALL**  
Scale: 1" = 1'-0"



**6 BOTTOM OF SHEAR WALL**  
Scale: 1" = 1'-0"



**7 EPOXIED ANCHOR BOLTS**  
Scale: 1" = 1'-0"



**8 CONCRETE STEPS & LANDING**  
Scale: 1" = 1'-0"

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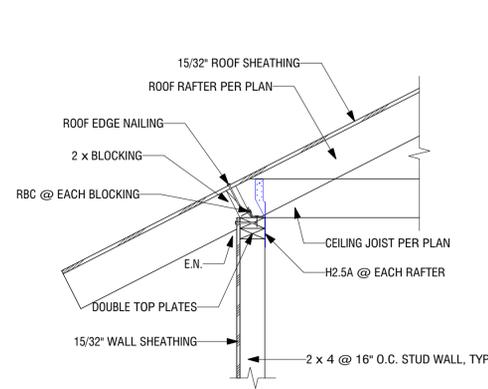
Project:  
**ADDITION & REMODEL**  
1451 ELWOOD DRIVE  
CAMPBELL, CA 95008

Job Number:  
20199

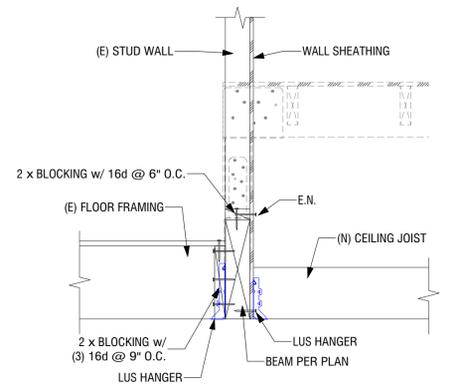
Date:  
November 20, 2020

Revisions:

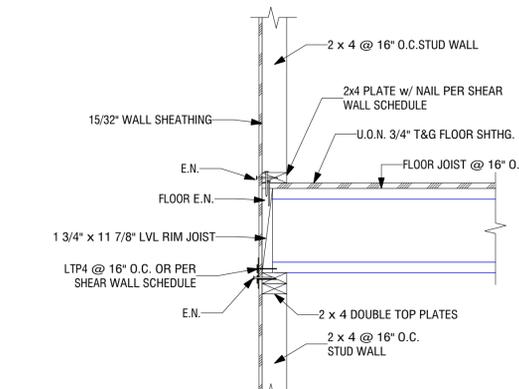
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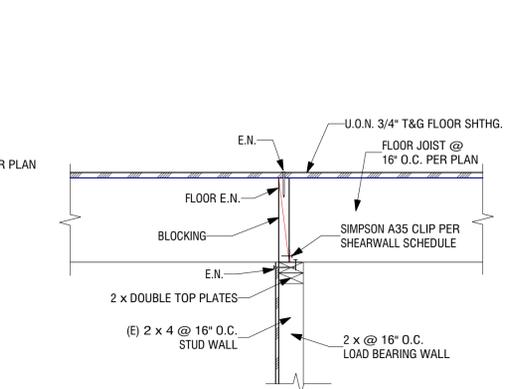
**1 SHEAR TRANSFER @ ROOF**  
Scale: 1" = 1'-0"



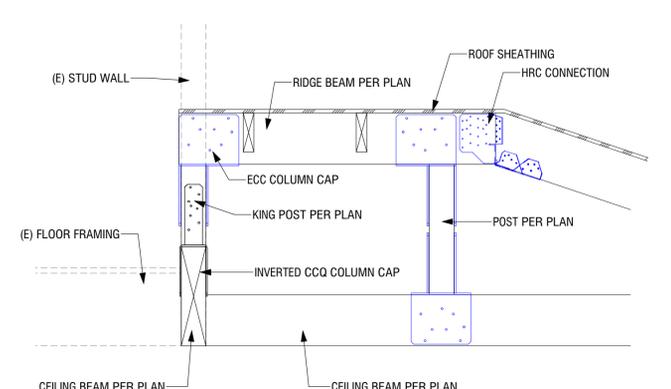
**2 FLOOR BEAM**  
1" = 1'-0"



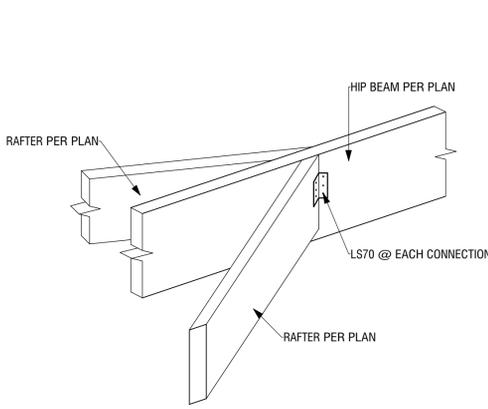
**3 SHEAR TRANSFER @ EXT. WALL**  
Scale: 1" = 1'-0"



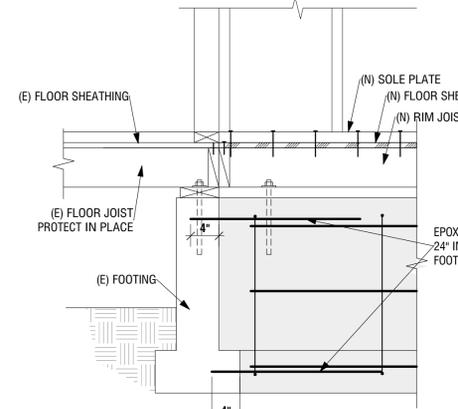
**4 SHEAR TRANSFER @ INT. WALL**  
Scale: 1" = 1'-0"



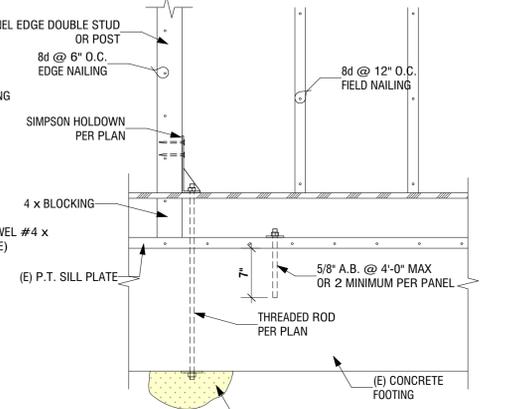
**5 RIDGE & HIP SUPPORT**  
1" = 1'-0"



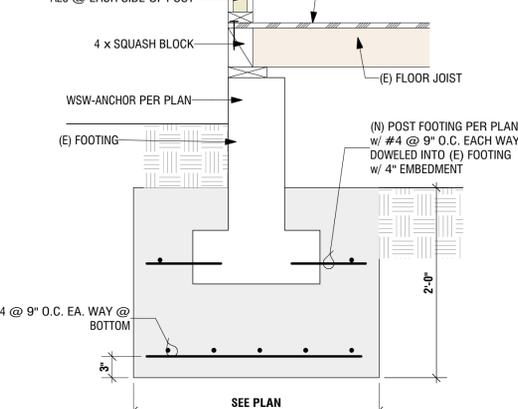
**6 RAFTER TO HIP CONNECTION**  
Scale: 1" = 1'-0"



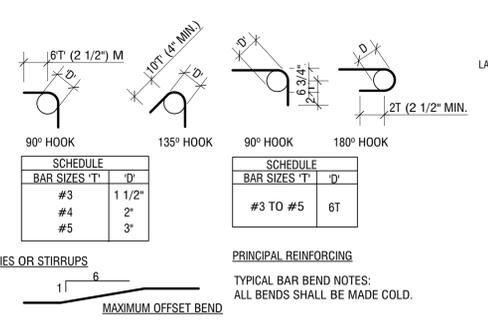
**7 COLD JOINT AT FOOTING**  
1" = 1'-0"



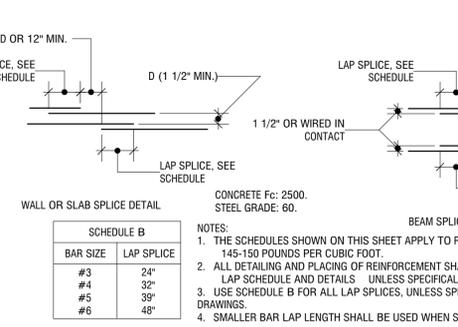
**8 THRU-BOLT ANCHOR BOLTS**  
Scale: 1" = 1'-0"



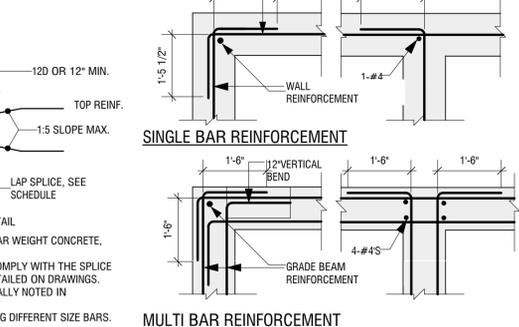
**9 UNDER-PINNED PAD FOOTING**  
Scale: 1" = 1'-0"



**11 BAR BENDS**  
NOT TO SCALE



**2 LAP SPICE DETAILS**  
NOT TO SCALE



**3 REINF. & BENDS @ INTERSECTIONS**  
1/2" = 1'-0"

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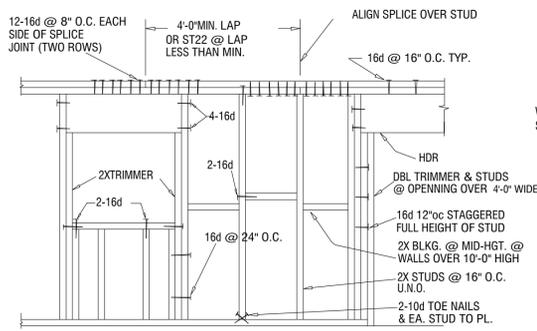
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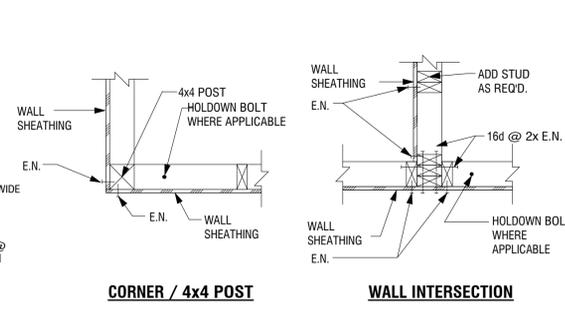
Date:  
November 20, 2020

Revisions:

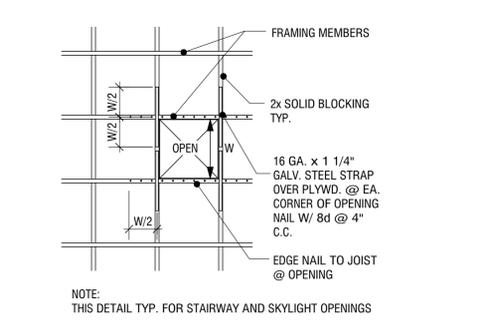
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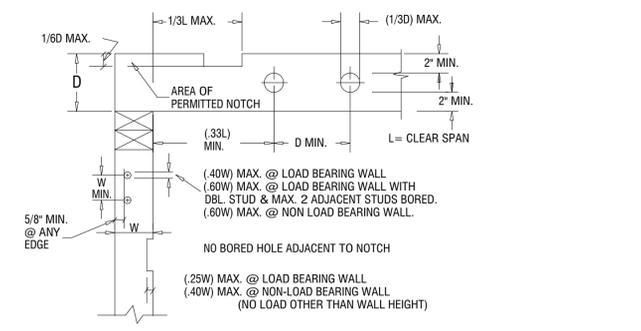
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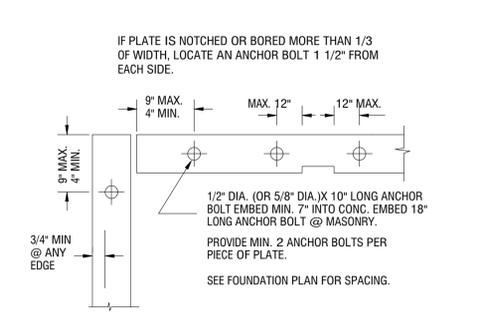
**2 TYPICAL SHEAR WALL INTERSECTIONS**  
N.T.S.



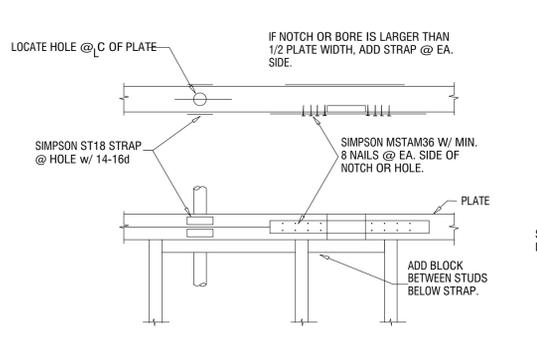
**3 OPENING IN DIAPHRAGM**  
NOT TO SCALE



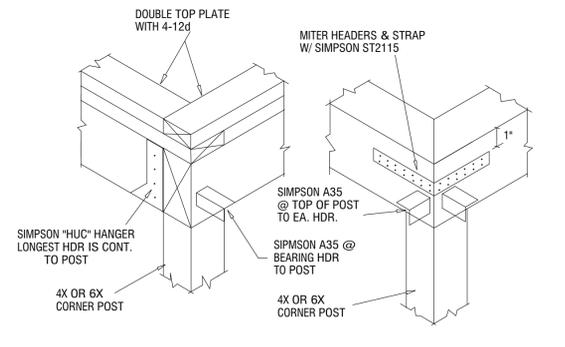
**4 NOTCH & BORE LIMITS @ STUDS & JOISTS**  
NOT TO SCALE



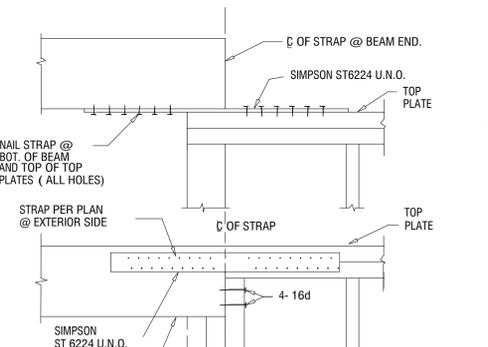
**5 SILL PLATE DETAILS**  
NOT TO SCALE



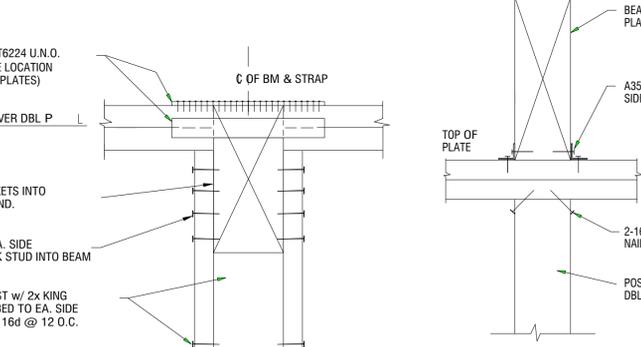
**6 NOTCH OR BORE @ TOP PLATE**  
NOT TO SCALE  
NOTE: IN BEARING WALLS, NOTCHES ARE NOT PERMITTED WITHOUT PRIOR APPROVAL OF STRUCTURAL ENGINEER.  
NOTE: WHERE PENETRATION ON ONE SIDE OF PLATES, USE RPS18 OR RPS22



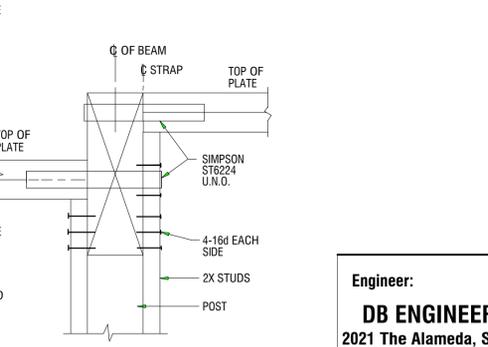
**7 CORNER WINDOW HEADER & TOP PLATE DETAIL**  
NOT TO SCALE



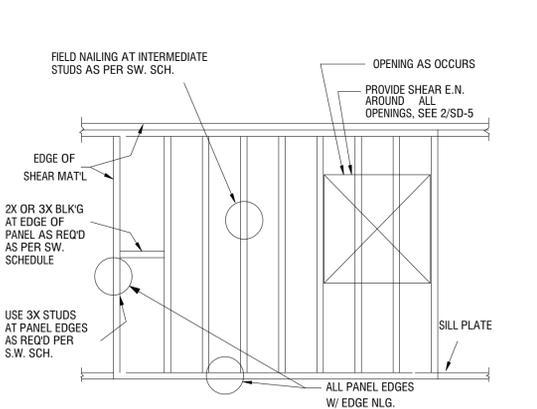
**8 BEAM OR HEADER DRAG STRAP DETAIL**  
NOT TO SCALE



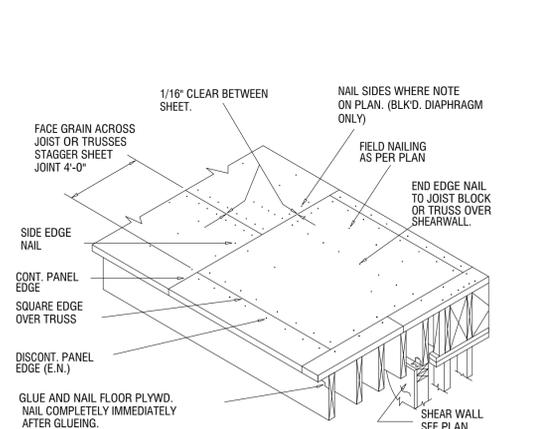
**9 DETAIL OF BEAM POCKET**  
NOT TO SCALE



**10 DETAIL OF BEAM TO POST W/ PLATE**  
NOT TO SCALE



**11 TYPICAL SHEARWALL PANEL DETAIL**  
NOT TO SCALE



**12 TYP. ROOF/FLOOR NAILING DETAIL**  
NOT TO SCALE  
TYP. FOR BLOCKED AND UNBLOCKED DIAPHRAGM

**TABLE R602.3(1) FASTENING SCHEDULE**

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	SPACING AND LOCATION
<b>Roof</b>			
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Per joist, toe nail
3	Ceiling joist not attached to parallel rafter, laps over partitions [see Sections R802.3.1, R802.3.2 and Table R802.5.1(9)]	4-10d box (3" x 0.128"); or 3-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint) [see Sections R802.3.1 and R802.3.2 and Table R802.5.1(9)]	Table R802.5.1(9)	Face nail
5	Collar tie to rafter, face nail or 1 1/2" x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128"); or 3-10d common (3" x 0.148"); or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-16d box nails (3 1/2" x 0.135"); or 3-10d common nails (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-16d (3 1/2" x 0.135"); or 3-10d common (3 1/2" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	Toe nail
<b>Wall</b>			
8	Stud to stud (not at braced wall panels)	16d common (3 1/2" x 0.162"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	24" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d box (3 1/2" x 0.135"); or 3" x 0.131" nails	12" o.c. face nail
10	Built-up header (2" to 2" header with 1/2" spacer)	16d common (3 1/2" x 0.162"); or 16d box (3 1/2" x 0.135")	16" o.c. each edge face nail
11	Continuous header to stud	5-8d box (2 1/2" x 0.113"); or 4-8d common (2 1/2" x 0.131"); or 4-10d box (3" x 0.128")	12" o.c. each edge face nail
12	Top plate to top plate	16d common (3 1/2" x 0.162"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	16" o.c. face nail
13	Double top plate splice for SDCs A-D <sub>3</sub> with seismic braced wall line spacing < 25'	8-16d common (3 1/2" x 0.162"); or 12-16d box (3 1/2" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
	Double top plate splice SDCs D <sub>2</sub> , D <sub>1</sub> , or D <sub>2</sub> ; and braced wall line spacing > 25'	12-16d (3 1/2" x 0.135")	

2016 CALIFORNIA RESIDENTIAL CODE 209

**TABLE R602.3(1)—continued FASTENING SCHEDULE**

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	SPACING AND LOCATION
14	Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common (3 1/2" x 0.162"); or 16d box (3 1/2" x 0.135"); or 3" x 0.131" nails	16" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel)	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2 1/2" x 0.113"); or 3-16d box (3 1/2" x 0.135"); or 4-8d common (2 1/2" x 0.131"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	Toe nail
17	Top plates, laps at corners and intersections	3-10d box (3" x 0.128"); or 2-16d common (3 1/2" x 0.162"); or 3-3" x 0.131" nails	Face nail
18	1" brace to each stud and plate	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 1/2" long	Face nail
19	1" x 6" sheathing to each bearing	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 3 staples, 1" crown, 16 ga., 1 1/2" long	Face nail
20	1" x 8" and wider sheathing to each bearing	3-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3 staples, 1" crown, 16 ga., 1 1/2" long	Face nail
21	Joist to sill, top plate or girder	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
22	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d box (2 1/2" x 0.113"); or 8d common (2 1/2" x 0.131"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	4" o.c. toe nail 6" o.c. toe nail
23	1" x 6" subfloor or less to each joist	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 1/2" long	Face nail

2016 CALIFORNIA RESIDENTIAL CODE 210

**TABLE 602.3(1) FASTENING SCHEDULE—continued**

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	SPACING AND LOCATION
<b>Floor</b>			
24	2" subfloor to joist or girder	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162")	Blind and face nail
25	2" planks (plank & beam—floor & roof)	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162")	At each bearing, face nail
26	Band or rim joist to joist	3-16d common (3 1/2" x 0.162"); 4-10 box (3" x 0.128"); or 4-3" x 0.131" nails, or 4-3" x 14 ga. staples, 1 1/2" crown	End nail
27	Built-up girders and beams, 2-inch lumber layers	20d common (4" x 0.192"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	Nail each layer as follows: 32" o.c. at top and bottom and staggered. 24" o.c. face nail at top and bottom staggered on opposite sides
28	Ledger strip supporting joists or rafters	4-16d box (3 1/2" x 0.135"); or 3-16d common (3 1/2" x 0.162"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	At each joist or rafter, face nail
29	Bridging to joist	2-10d (3" x 0.128")	Each end, toe nail
<b>SPACING OF FASTENERS</b>			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	Edges (inches) Intermediate supports** (inches)
<b>Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to wall framing</b>			
<b>(see Table R602.3(3) for wood structural panel exterior wall sheathing to wall framing)</b>			
30	1/2" - 1/2"	6d common (2" x 0.113") nail (subfloor, wall) 8d common (2 1/2" x 0.131") nail (roof)	6 12'
31	3/8" - 1"	8d common nail (2 1/2" x 0.131")	6 12'
32	1 1/4" - 1 1/2"	10d common (3" x 0.148") nail, or 8d (2 1/2" x 0.131") deformed nail	6 12
<b>Other wall sheathing<sup>1</sup></b>			
33	1/2" structural cellulose fiberboard sheathing, or 1" crown staple 16 ga., 1 1/2" long	1 1/2" galvanized roofing nail, 1/2" head diameter, or 1" crown staple 16 ga., 1 1/2" long	3 6
34	3/8" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1/2" head diameter, or 1" crown staple 16 ga., 1 1/2" long	3 6
35	1/2" gypsum sheathing <sup>2</sup>	1 1/2" galvanized roofing nail, staple galvanized, 1 1/2" long; 1 1/2" screws, Type W or S	7 7
36	3/4" gypsum sheathing <sup>2</sup>	1 1/2" galvanized roofing nail, staple galvanized, 1 1/2" long; 1 1/2" screws, Type W or S	7 7
<b>Wood structural panels, combination subfloor underlayment to framing</b>			
37	1/2" and less	6d deformed (2" x 0.120") nail, or 8d common (2 1/2" x 0.131") nail	6 12
38	3/4" - 1"	8d common (2 1/2" x 0.131") nail, or 8d deformed (2 1/2" x 0.120") nail	6 12
39	1 1/4" - 1 1/2"	10d common (3" x 0.148") nail, or 8d deformed (2 1/2" x 0.120") nail	6 12

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 ksi = 6.895 MPa.

**TABLE R602.3(1)—continued FASTENING SCHEDULE**

**1.** Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.

**2.** Staples are 16 gage wire and have a minimum 1/4-inch on diameter crown width.

**3.** Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

**4.** Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.

**5.** Spacing of fasteners not included in this table shall be based on Table R602.3(2).

**6.** Where the ultimate design wind speed is 130 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable end wall framing.

**7.** Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C208.

**8.** Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

**9.** Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.

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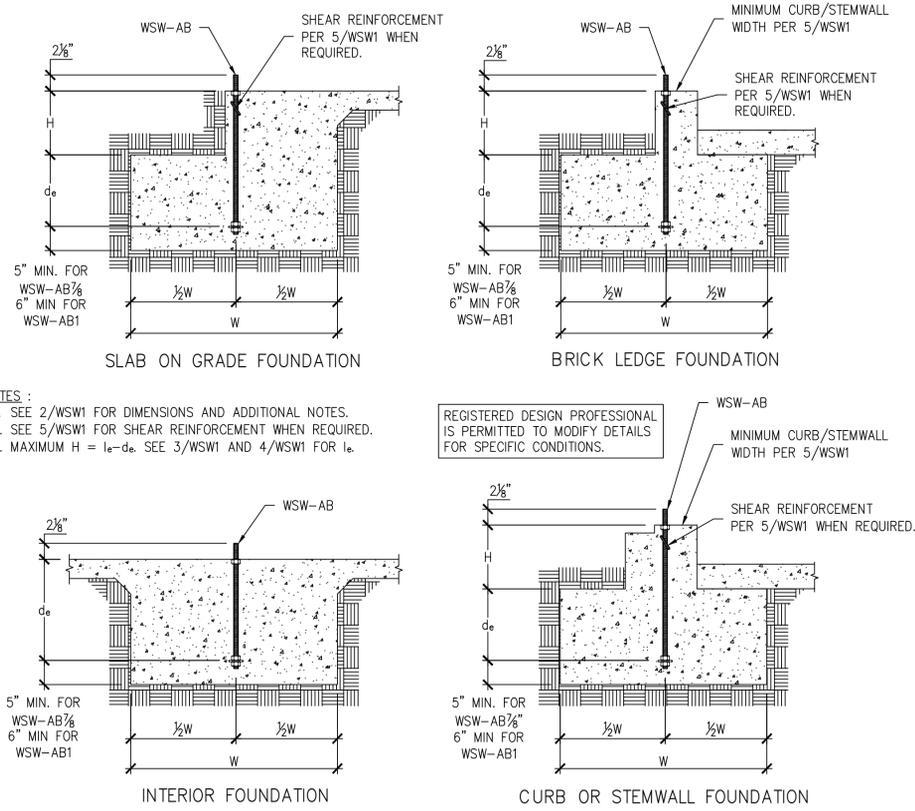
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Job Number:  
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Revisions:

No.	Description

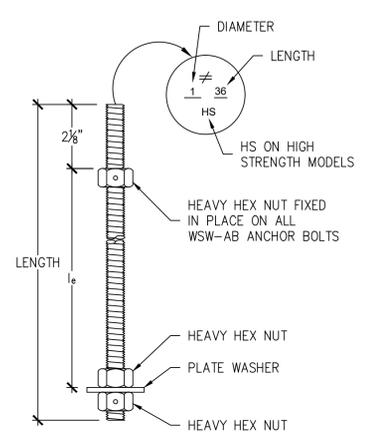


NOTES:  
 1. SEE 2/WSW1 FOR DIMENSIONS AND ADDITIONAL NOTES.  
 2. SEE 5/WSW1 FOR SHEAR REINFORCEMENT WHEN REQUIRED.  
 3. MAXIMUM H =  $l_e - d_e$ . SEE 3/WSW1 AND 4/WSW1 FOR  $l_e$ .

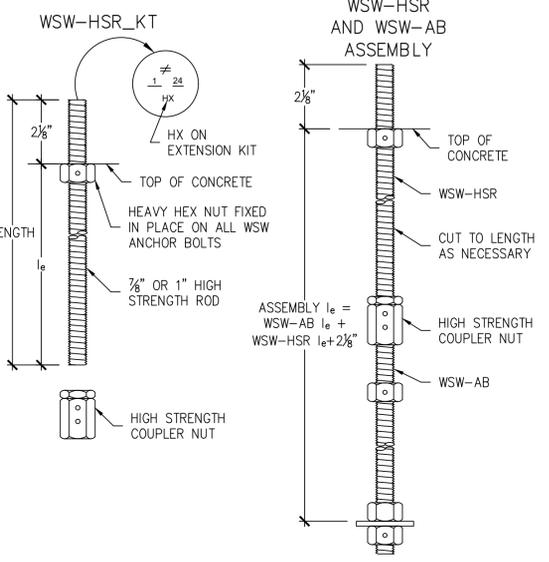
REGISTERED DESIGN PROFESSIONAL IS PERMITTED TO MODIFY DETAILS FOR SPECIFIC CONDITIONS.

STRONG-WALL® WSW ANCHORAGE – TYPICAL SECTIONS

1



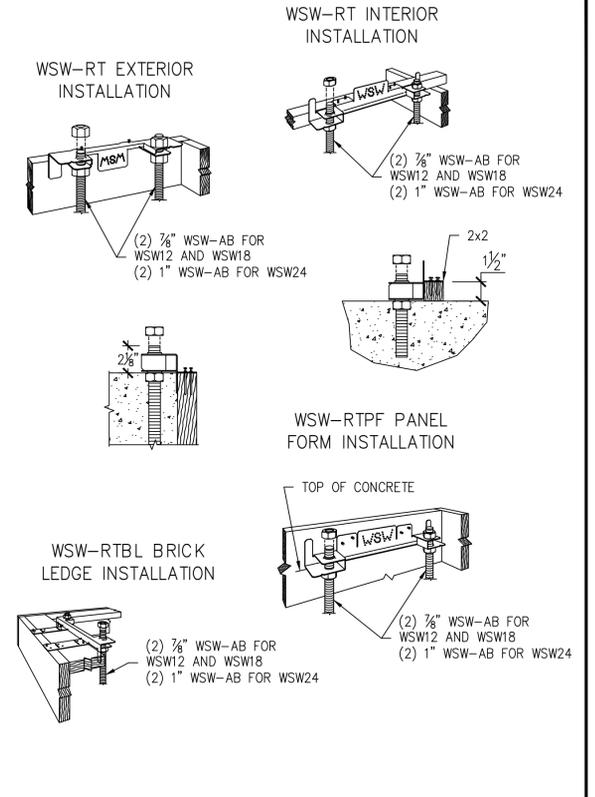
WSW PANEL MODEL	MODEL NO.	DIAMETER	LENGTH	$l_e$
WSW12 AND WSW18	WSW-AB7/8x24	7/8"	24"	20"
	WSW-AB7/8x24HS	7/8"	24"	20"
	WSW-AB7/8x30	7/8"	30"	26"
	WSW-AB7/8x30HS	7/8"	30"	26"
WSW24	WSW-AB1x24	1"	24"	20"
	WSW-AB1x24HS	1"	24"	20"
	WSW-AB1x30	1"	30"	26"
	WSW-AB1x30HS	1"	30"	26"



WSW PANEL MODEL	MODEL NO.	DIAMETER	LENGTH	$l_e$
WSW12 AND WSW18	WSW-HSR7/8x24KT	7/8"	24"	22"
	WSW-HSR7/8x36KT	7/8"	36"	34"
WSW24	WSW-HSR1x24KT	1"	24"	22"
	WSW-HSR1x36KT	1"	36"	34"

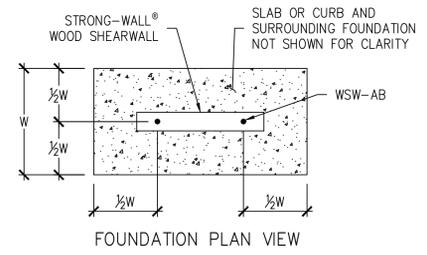
3

STRONG-WALL® WSW ANCHOR BOLT EXTENSION



STRONG-WALL® WSW ANCHOR BOLT TEMPLATES

6



FOUNDATION PLAN VIEW

WSW ANCHORAGE SOLUTIONS FOR 3000 PSI CONCRETE								
DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSW-AB7/8 ANCHOR BOLT			WSW-AB1 ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	12,300	26	9	16,000	31	11
		HIGH STRENGTH	13,100	28	10	17,100	33	11
	UNCRAKED	STANDARD	25,200	41	14	32,700	48	16
		HIGH STRENGTH	27,100	43	15	35,300	51	17
WIND	CRACKED	STANDARD	12,000	22	8	16,300	27	9
		HIGH STRENGTH	13,100	24	8	17,100	28	10
			25,300	36	12	32,700	42	14
			27,100	38	13	35,300	44	15
			5,000	13	6	5,600	14	6
			8,800	19	7	10,200	21	7
	13,100	25	9	17,100	30	10		
	UNCRAKED	STANDARD	15,700	28	10	20,100	33	11
		HIGH STRENGTH	19,200	32	11	25,300	38	13
			23,200	36	12	32,300	44	15
			27,100	40	14	35,300	47	16
			5,500	12	6	6,200	13	6
8,500			16	6	12,800	21	7	
13,100	22	8	17,100	26	9			

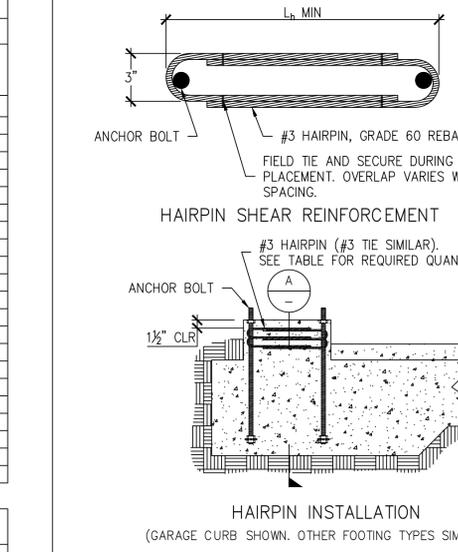
WSW ANCHORAGE SOLUTIONS FOR 4500 PSI CONCRETE								
DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSW-AB7/8 ANCHOR BOLT			WSW-AB1 ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	12,600	23	8	16,000	27	9
		HIGH STRENGTH	13,100	24	8	17,100	29	10
	UNCRAKED	STANDARD	24,800	36	12	32,100	42	14
		HIGH STRENGTH	27,100	38	13	35,300	45	15
WIND	CRACKED	STANDARD	12,700	20	7	15,700	25	9
		HIGH STRENGTH	13,100	21	7	17,100	25	9
			24,600	31	11	32,500	37	13
			27,100	34	12	35,300	39	13
			5,400	12	6	6,800	14	6
			8,300	16	6	11,600	20	7
	13,100	22	8	17,100	26	9		
	UNCRAKED	STANDARD	15,300	24	8	21,400	30	10
		HIGH STRENGTH	19,300	28	10	25,800	34	12
			23,600	32	11	31,000	38	13
			27,100	36	12	35,300	42	14
			6,800	12	6	8,800	12	6
9,400			15	6	12,400	18	6	
13,100	19	7	17,100	23	8			

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WSW ANCHORAGE SOLUTIONS FOR 2500 PSI CONCRETE								
DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSW-AB7/8 ANCHOR BOLT			WSW-AB1 ANCHOR BOLT		
			ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)	ASD ALLOWABLE UPLIFT (lbs)	W (in)	de (in)
SEISMIC	CRACKED	STANDARD	11,900	27	9	16,100	33	11
		HIGH STRENGTH	13,100	29	10	17,100	35	12
	UNCRAKED	STANDARD	24,900	43	15	33,000	51	17
		HIGH STRENGTH	27,100	46	16	35,300	54	18
WIND	CRACKED	STANDARD	12,500	24	8	15,700	28	10
		HIGH STRENGTH	13,100	25	9	17,100	30	10
			25,300	38	13	32,300	44	15
			27,100	40	14	35,300	47	16
			5,100	14	6	6,200	16	6
			8,700	20	7	11,400	24	8
	13,100	27	9	17,100	32	11		
	UNCRAKED	STANDARD	15,900	30	10	21,100	36	12
		HIGH STRENGTH	18,400	33	11	27,300	42	14
			23,100	38	13	31,800	46	16
			27,100	42	14	35,300	50	17
			5,000	12	6	6,400	14	6
9,300			18	6	12,500	22	8	
13,100	23	8	17,100	28	10			

NOTES:  
 1. ANCHORAGE DESIGNS CONFORM TO ACI 318-11 APPENDIX D AND ACI 318-14 WITH NO SUPPLEMENTARY REINFORCEMENT FOR CRACKED OR UNCRACKED CONCRETE AS NOTED.  
 2. ANCHOR STRENGTH INDICATES REQUIRED GRADE OF WSW-AB ANCHOR BOLT. STANDARD (ASTM F1554 GRADE 36) OR HIGH STRENGTH (HS) (ASTM A449).  
 3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C-F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC ANCHORAGE DESIGNS CONFORM TO ACI 318-11 SECTION D.3.3.4.3 AND ACI 318-14 SECTION 17.2.3.4.3.  
 4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C.  
 5. FOUNDATION DIMENSIONS ARE FOR ANCHORAGE ONLY. FOUNDATION DESIGN (SIZE AND REINFORCEMENT) BY OTHERS.  
 6. THE REGISTERED DESIGN PROFESSIONAL MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.  
 7. REFER TO 1/WSW1 FOR  $d_e$ .

STRONG-WALL® WSW ANCHORAGE SCHEDULE 2,500, 3,000 AND 4,500 PSI



STRONG-WALL® WOOD SHEARWALL SHEAR ANCHORAGE							
MODEL	$L_1$ OR $L_2$ (in.)	SEISMIC <sup>5</sup>		WIND <sup>4</sup>			
		SHEAR REINFORCEMENT	MIN. CURB/STEMWALL WIDTH (in.)	SHEAR REINFORCEMENT	MIN. CURB/STEMWALL WIDTH (in.)	ASD ALLOWABLE SHEAR LOAD V (lbs.) <sup>6</sup>	
						UNCRAKED	CRACKED
WSW12	10 1/2"	(1) #3 TIE	8 <sup>5</sup>	SEE NOTE 6	6	1,035	740
WSW18	15	(1) #3 HAIRPIN	8 <sup>5</sup>	(1) #3 HAIRPIN	6	HAIRPIN REINFORCEMENT ACHIEVES MAXIMUM ALLOWABLE SHEAR LOAD OF THE WSW	
WSW24	19	(2) #3 HAIRPIN	8 <sup>5</sup>	(1) #3 HAIRPIN	6		

NOTES:  
 1. SHEAR ANCHORAGE DESIGNS CONFORM TO ACI 318-11 AND ACI 318-14 AND ASSUME MINIMUM 2,500 PSI CONCRETE.  
 2. SHEAR REINFORCEMENT IS NOT REQUIRED FOR INTERIOR FOUNDATION APPLICATIONS (PANEL INSTALLED AWAY FROM EDGE OF CONCRETE), OR BRACED WALL PANEL APPLICATIONS.  
 3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS.  
 4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C.  
 5. WHERE NOTED, MINIMUM CURB/STEMWALL WIDTH IS 6 INCHES WHEN STANDARD STRENGTH ANCHOR BOLT IS USED.  
 6. USE (1) #3 TIE FOR WSW12 WHEN PANEL DESIGN SHEAR FORCE EXCEEDS TABULATED ANCHORAGE ALLOWABLE SHEAR LOAD.  
 7. #4 GRADE 40 SHEAR REINFORCEMENT MAY BE SUBSTITUTED FOR WSW SHEAR ANCHORAGE SOLUTIONS.

STRONG-WALL® WSW SHEAR ANCHORAGE SCHEDULE AND DETAILS

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NO.	DATE	REVISIONS
0	07-01-2016	FIRST RELEASE - 2016 IBC
1	06-18-2020	2018 IBC REVISIONS

**SIMPSON Strong-Tie Co. Inc.**  
 5956 W. Lee Positas Blvd.  
 Pleasanton, CA 94588  
 Tel: (800) 999-5099  
 Website: www.strongtie.com

STRONG-TIE  
 THERE IS NO EQUAL

**STRONG-WALL® WSW ANCHORAGE DETAILS ENGINEERED DESIGNS**

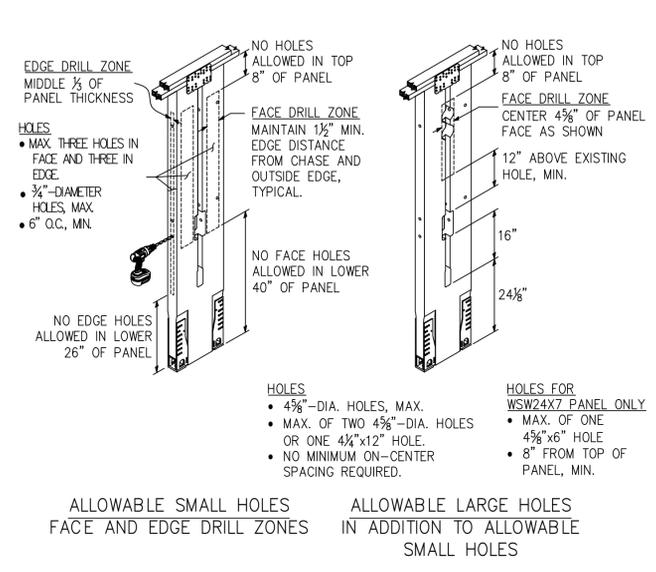
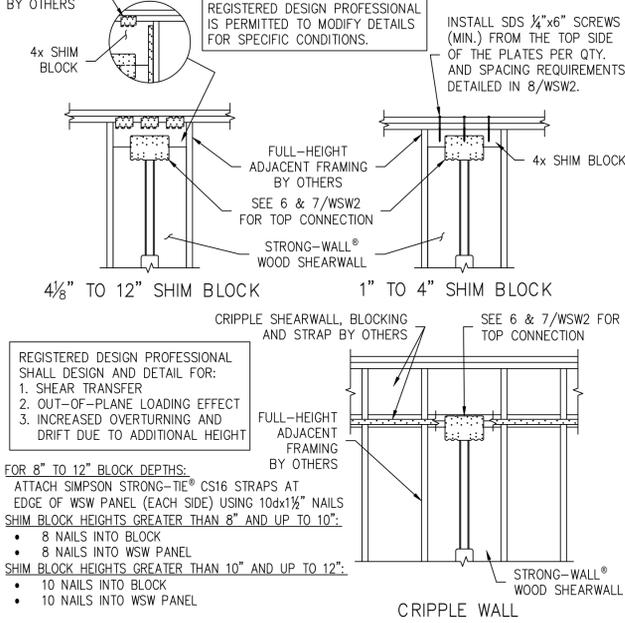
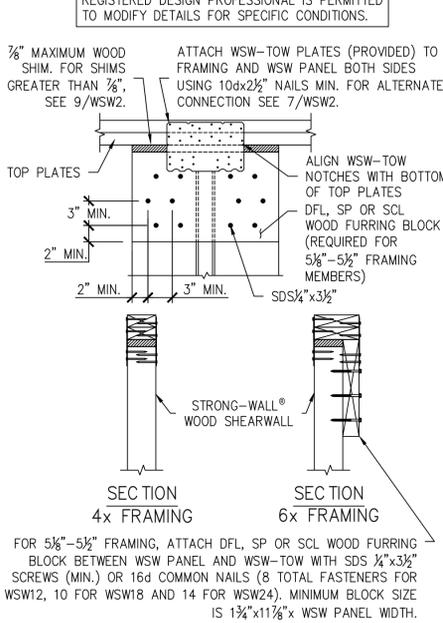
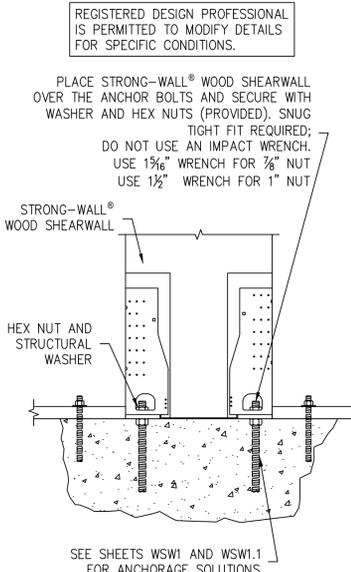
STRONG-TIE  
 THERE IS NO EQUAL

NAME	DATE	SCALE	CHECKED	SHEET
	06-18-2020	N.T.S.		WSW1
				OF SHEETS
				JOB NO.

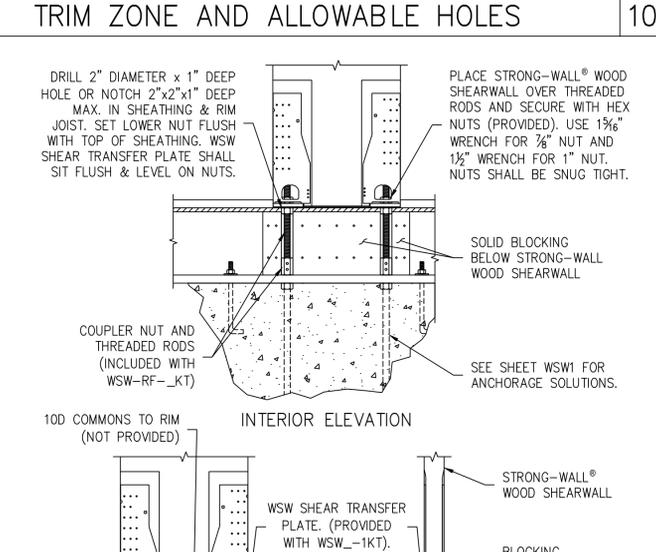
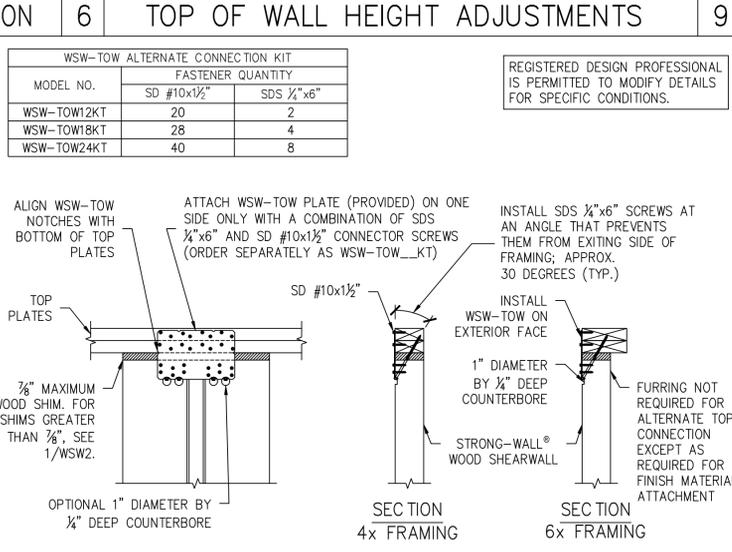
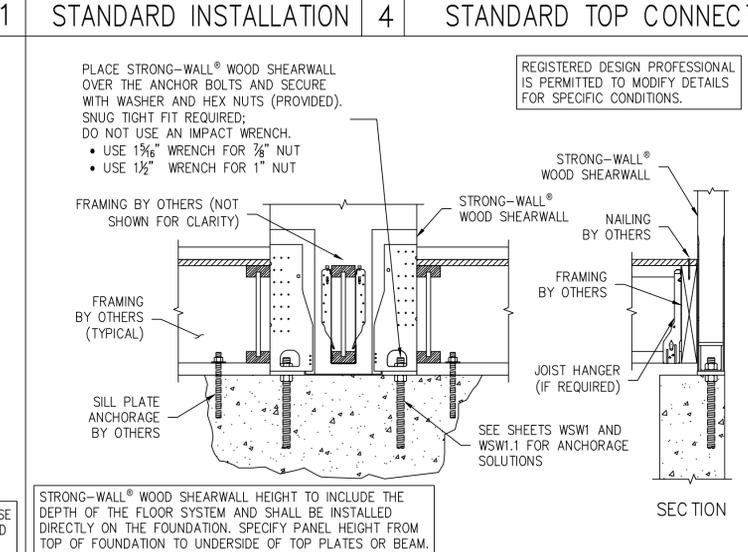
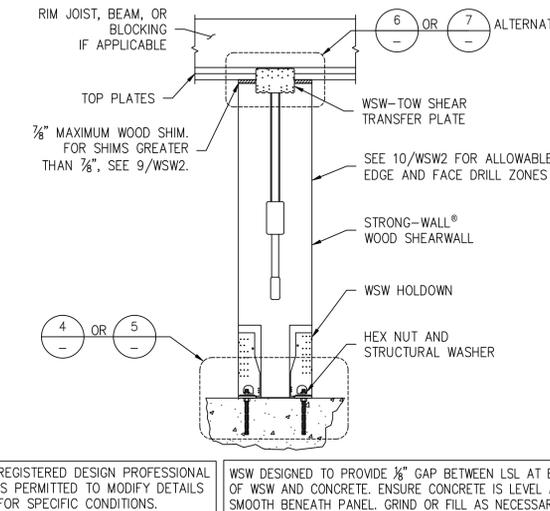
**STRONG-WALL® WOOD SHEARWALL MODELS**

MODEL NO.	W (in.)	H (in.)	ANCHOR BOLTS QUANTITY	ANCHOR BOLTS DIA. (in.)	TOTAL WALL WEIGHT (lb.)
WSW12x7	12	78	2	7/8	100
WSW18x7	18	78	2	7/8	145
WSW12x7.5	12	85 1/2	2	7/8	110
WSW18x7.5	18	85 1/2	2	7/8	155
WSW12x8	12	93 1/2	2	7/8	115
WSW18x8	18	93 1/2	2	7/8	165
WSW24x8	24	93 1/2	2	1	225
WSW12x9	12	105 1/2	2	7/8	130
WSW18x9	18	105 1/2	2	7/8	185
WSW24x9	24	105 1/2	2	1	245
WSW12x10	12	117 1/2	2	7/8	140
WSW18x10	18	117 1/2	2	7/8	205
WSW24x10	24	117 1/2	2	1	270
WSW12x11	12	129 1/2	2	7/8	150
WSW18x11	18	129 1/2	2	7/8	220
WSW24x11	24	129 1/2	2	1	295
WSW12x12	12	141 1/2	2	7/8	165
WSW18x12	18	141 1/2	2	7/8	240
WSW24x12	24	141 1/2	2	1	320
WSW18x13	18	153 1/2	2	7/8	255
WSW24x13	24	153 1/2	2	1	345
WSW24x14	24	168	2	1	375
WSW24x16	24	192	2	1	425
WSW18x20	18	240	2	7/8	385
WSW24x20	24	240	2	1	520

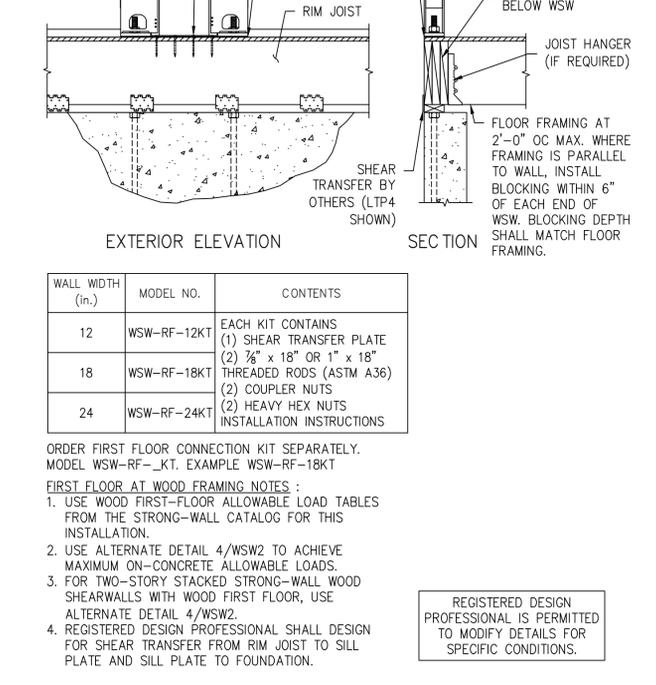
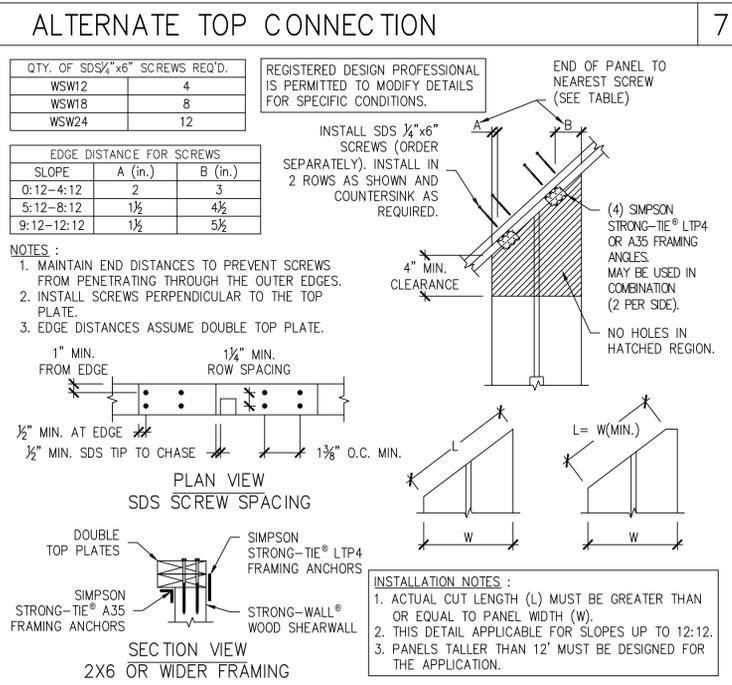
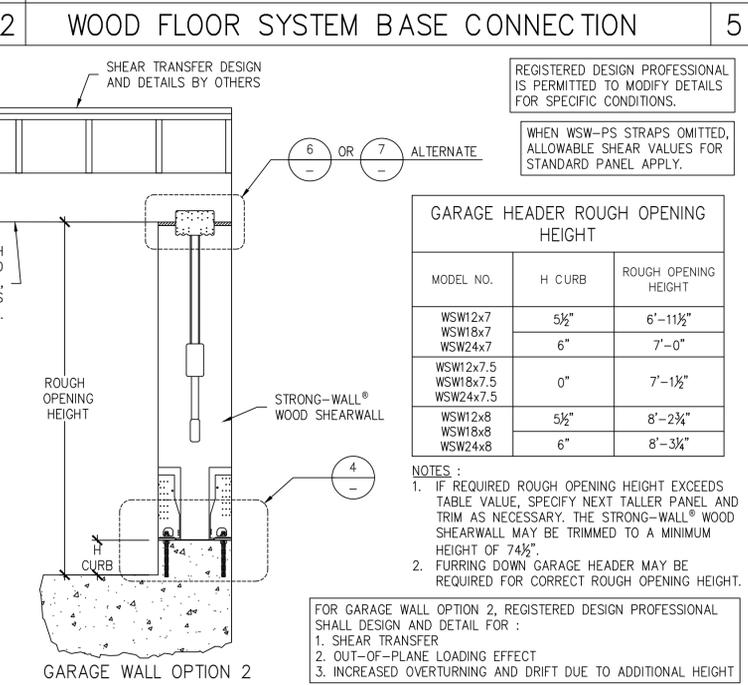
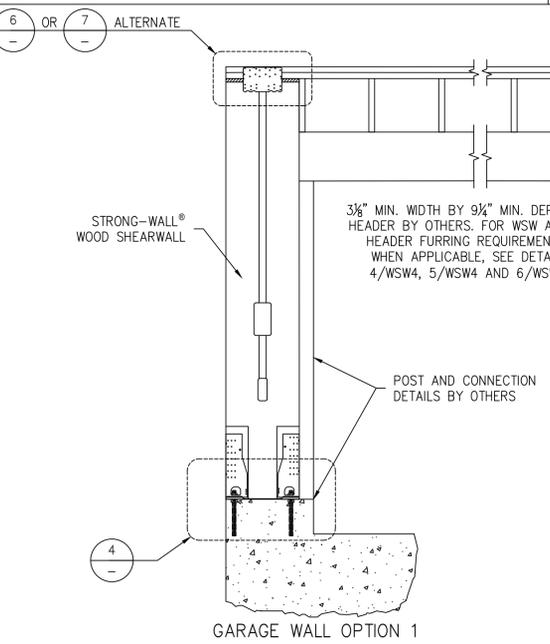
- NOTES:**
- FOR HEIGHTS NOT LISTED, ORDER THE NEXT TALLEST PANEL AND TRIM TO FIT. MINIMUM TRIMMED HEIGHT FOR ALL PANELS IS 74 1/2".
  - ALL PANELS COME WITH TWO PRE-ATTACHED HOLD-DOWNS, TWO STANDARD HEX NUTS, TWO STRUCTURAL WASHERS, TWO WSW-TOW PLATES AND INSTALLATION INSTRUCTIONS.
  - ALL PANELS ARE 3/4" THICK.



**STRONG-WALL® WSW MODELS**



**SINGLE STORY WSW ON CONCRETE**



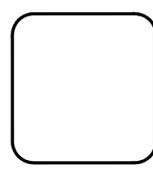
**ALTERNATE WSW GARAGE FRONT OPTIONS**

**ALTERNATE WSW GARAGE FRONT OPTIONS**

**ALTERNATE WSW GARAGE FRONT OPTIONS**

**FIRST FLOOR AT WOOD FRAMING**

NO.	DATE	REVISIONS
0	07-01-2016	FIRST RELEASE - 2016 BIC
1	07-17-2020	2016 BIC REVISIONS



**SIMPSON Strong-Tie Co. Inc.**  
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**STRONG-WALL® WSW**  
 FRAMING DETAILS  
 ENGINEERED DESIGNS



NAME	DATE	SCALE	CHECKED	SHEET	JOB NO.
	07-17-2020	N.T.S.		WSW2	
				OF SHEETS	