



CITY OF CAMPBELL
Community Development Department

March 23, 2021

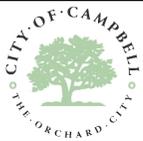
NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.:	PLN-2021-22
Applicant:	Tony Rowe
Project Address:	1161 Harriet Ave.
Property Owner:	Brian Prom
Zoning District:	R-1-9 (Single Family Residential)
General Plan:	Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s):	San Tomas Area Community Coalition
Project Description:	Approximately 286 sq. ft. single-story addition to an existing single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 23, 2021 and ends on April 2, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **April 2, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



Location Map - 1161 Harriet Ave.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

GENERAL PROJECT NOTES/REQUIREMENTS

- GOVERNING CODES: ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AND STANDARDS:
 - A) 2019 CALIFORNIA BUILDING CODE (CBC) TITLE 24, PART 2 (BASED ON 2018 IBC)
 - B) 2019 CALIFORNIA RESIDENTIAL CODE (CRC) TITLE 24, PART 2 (BASED ON 2018 IRC)
 - C) 2019 CALIFORNIA ELECTRIC CODE (CEC) TITLE 24, PART 3 (BASED ON 2018 NEC)
 - D) 2019 CALIFORNIA MECHANICAL CODE (CMC) TITLE 24, PART 4 (BASED ON 2018 UPC)
 - E) 2019 CALIFORNIA PLUMBING CODE (CPC) TITLE 24, PART 5 (BASED ON 2018 UPC)
 - F) 2019 CALIFORNIA ENERGY CODE TITLE 24, PART 6 (BASED ON 2018 PEC)
 - G) 2019 CALIFORNIA FIRE CODE (CFC) TITLE 24, PART 8 (BASED ON 2018 FPC)
 - H) 2019 CALIFORNIA BUILDING CODE TITLE 24, PART 11

IN ADDITION TO THE CODES REFERENCED ABOVE, ALL WORK SHALL CONFORM TO ALL LOCAL ORDINANCES AND CODES AS APPLICABLE. CROSS REFERENCE ALL CODE NUMBERS AND VERIFY CONSISTENCY AS REQUIRED.
- ALL WORK DONE PURSUANT TO THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH ALL ORDINANCES AND REGULATIONS WHICH APPLY TO THE WORK AND SHALL IN ANY CASE CONFORM TO THE LATEST EDITION(S) OF THE CALIFORNIA BUILDING CODE/INTERNATIONAL BUILDING CODE/INTERNATIONAL RESIDENTIAL CODE/ CALIFORNIA BUILDING CODE/INTERNATIONAL BUILDING CODE/ CURRENTLY ENFORCED AND ALL CITY, COUNTY AND/OR STATE CODES AS APPLICABLE.
- BRITT ROWE SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN, COORDINATION AND/OR IMPLEMENTATION OF ANY AND ALL "DESIGN-BUILD" WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SEE THE APPROPRIATE CODE REFERENCES BELOW FOR DESIGN AND INSTALLATION REQUIREMENTS.
 - A) ELECTRICAL: PER CEC (CALIFORNIA ELECTRIC CODE) CURRENT EDITION.
 - B) MECHANICAL: PER CMC (CALIFORNIA MECHANICAL CODE) CURRENT EDITION.
 - C) PLUMBING: PER CPC (CALIFORNIA PLUMBING CODE) CURRENT EDITION.
 - D) FIRE SPRINKLERS: PER CFC (CALIFORNIA FIRE CODE) CURRENT EDITION.

VERIFY AND ADDRESS ALL ADDITIONAL LOCAL ORDINANCES AND CODES WHICH MAY APPLY TO THE SPECIFIC "DESIGN-BUILD" APPLICATION AS REQUIRED.
- BRITT ROWE IS NOT RESPONSIBLE FOR THE DESIGN, COORDINATION, OR IMPLEMENTATION OF ANY WORK PERFORMED BY CONSULTANTS, INCLUDING BUT NOT LIMITED TO: STRUCTURAL ENGINEERING, SOIL ENGINEERING, CIVIL ENGINEERING AND SURVEYING, ELECTRICAL ENGINEERING, LANDSCAPE ARCHITECTURE AND/OR TITLE 24 ENERGY COMPLIANCE.
- IN ADDITION TO INSPECTIONS REQUIRED BY CBC 110, THE OWNER, CONTRACTOR AND/OR STRUCTURAL ENGINEER OR RECORD ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS OR JURISDICTION APPROVED TESTING AGENCIES WHO SHALL PROVIDE "SPECIAL INSPECTIONS" DURING THE COURSE OF CONSTRUCTION FOR THE FOLLOWING TYPES OF WORK PER CBC 1104, 1107 OR 1108 INCLUDING BUT NOT LIMITED TO:
 - A) CONCRETE WHERE THE STRUCTURAL DESIGN EXCEEDS A (P) C OF 2500 PSI.
 - B) ON SITE STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL.
 - C) DRILLED PIERS, CASINGS AND STRUCTURAL MASONRY.
 - D) RETROFIT EPOXY SET HOLD DOWNS AND/OR ANCHOR BOLTS.

SPECIAL INSPECTOR'S APPROVALS/CREDENTIALS SHALL BE PROVIDED TO THE LOCAL JURISDICTION UPON REQUEST.
- ALL GENERAL CONTRACTORS AND/OR SUBCONTRACTORS SHALL BE LICENSED WITH POSSESSION OF THE APPROPRIATE INSURANCE POLICIES (E. WORKMAN'S COMPENSATION, LIABILITY, ETC., AND A VALID BUSINESS LICENSE WITHIN THE JURISDICTION OF THE SUBJECT PROPERTY PROJECT SITE.
- BRITT ROWE IS NOT RESPONSIBLE FOR THE ERECTION, FABRICATION AND/OR RELATIVE JOB SAFETY. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL COMPLY WITH ALL REQUIRED SAFETY ORDERS PER CALIFORNIA REQUIREMENTS AND REGULATIONS.

GENERAL PROJECT INFORMATION

OWNER: Brian & Nicole Pfrom
1161 Harriet Ave
Campbell, CA 95008
(763) 442-9776-Brian

PROJECT SITE: 1161 Harriet Ave
Campbell, CA 95008

APN: 403-13-055

zoning: R1-9 Single Family Residential

OCCUPANCY: R-3U

TYPE OF CONSTRUCTION: V-8

LAND USE: 01-Single Family Residential

NET LOT AREA: 7,367 SF
Less than 5%
1

NUMBER OF STORIES: 1

AUTOMATIC SPRINKLER SYSTEM: None/Not required

SETBACKS:	Front	Rear	Corner/Street side	Interior side	Required:	Proposed:
					23'-0"	23'-0"
					25'-0"	25'-0"
					12'-0"	12'-0"
					8'-0"	8'-0"

* Extension along legal non-conforming setback (Page 8, Item E)
Interior side: One side greater of 8'-0". Other side greater of 10'-0".

EXISTING AREA:	(e) Living area (conditioned):	1,410 SF
	(e) F. porch (uncond.):	11 SF
	(e) side porch (uncond.):	10 SF
	(e) shed in rear yard (uncond.):	84 SF
	(e) detached garage (uncond.):	120 SF
	(e) detached trellis:	101 SF
	Total existing:	2,136 SF

* To be converted to living area

PROPOSED AREA:	(n) m. bath-walk-in closet addition (cond.):	252 SF
	(n) converted covered front porch:	11 SF
	(n) converted covered side porch (cond.):	10 SF
	(n) area of garage converted to living:	13 SF
	Total living area addition:	286 SF
	(n) covered front porch (uncond.):	140 SF

NEW TOTALS:	Living area : (conditioned)	1,696 SF
	(e) Garage (uncond.):	507 SF
	(e) trellis (uncond.):	101 SF
	(n) Covered front porch (uncond.):	140 SF

NEW F.A.R.: 1696 SF & 507 SF (house & garage total) = 2,203 SF

FLOOR AREA RATIO: (FAR-2203 SF/lot size-7967 SF): 27.6%

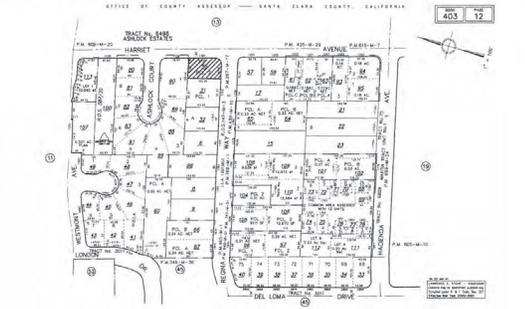
ALLOWABLE FAR:	(3,585.15 SF)	45%
LOT COVERAGE:	Living (1036 SF)+garage (507 SF) +porches (140 SF) +shed (84 SF)+trellis (101 SF)	2,528 SF
LOT COVERAGE RATIO:	(FAR-2528 SF/lot size-7967 SF):	31.7%
ALLOWABLE BUILDING COV.:	(2,788.45 SF)	35%

PAVING/LANDSCAPE TABLE:	Existing:	Proposed:	Total SF:
Front yard paving: (driveway)	448 SF	None	448 SF
Walkways/Patios	1225 SF	-15 SF	1210 SF
Water features:	None	None	None
Live landscaping: (plants, ground cover)	3851 SF	None	3851 SF
Other landscaping: (patios)	Jacuzzi	None	16 SF

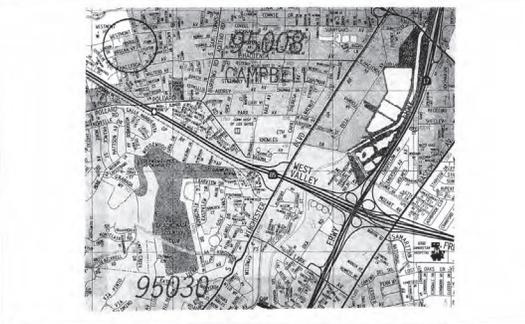
SHEET INDEX - NOTES

- THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS ARE TO VERIFY ALL EXISTING CONDITIONS AND/OR DISCREPANCIES BEFORE COMMENCING WITH WORK IN ORDER TO ENSURE CONFORMANCE WITH THE "CONSTRUCTION DOCUMENTS". ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BRITT ROWE AND/OR THE STRUCTURAL ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL REQUESTS FOR "CHANGE ORDERS" SHALL BE SUBMITTED IN WRITING TO BRITT ROWE FOR APPROVAL.
- REGARDLESS OF DIMENSIONS SHOWN, ALL NEW WORK SHALL ALIGN EXACTLY WITH EXISTING WORK WITH RESPECT TO FLOOR ELEVATIONS, COLUMN CENTERLINES, WALL FACES, ETC. (UNO)
- LAYOUT FOR NEW WORK IS LARGELY BASED UPON RELATIONSHIPS TO EXISTING CONDITIONS OF THE SITE AND/OR EXISTING STRUCTURES. ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF BRITT ROWE, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY BRITT ROWE OF ALL DISCREPANCIES PRIOR TO THE COMMENCEMENT OF ANY WORK.
- PREFERENCE SHALL BE GIVEN TO WRITTEN/DIMENSIONED DIMENSIONS ON THE DRAWINGS OVER SCALED MEASUREMENTS. THE "PLANS, SPECIFICATIONS AND GENERAL NOTES" ARE INTENDED TO AGREE AND SUPPLEMENT ONE ANOTHER. ANYTHING INDICATED IN ONE AND NOT THE OTHER, SHALL BE EXECUTED AS IF IN ALL IN CASES OF DIRECT CONFLICT, THE MOST RESTRICTIVE SHALL GOVERN.
- ALL WORK SHALL BE PLUMB, SQUARE AND TRUE AND SHALL BE OF GOOD "WORKMANLIKE" QUALITY AS ACCEPTABLE TO THE APPROPRIATE TRADE'S STANDARD PRACTICES AND THOSE OF THE TRADE'S COUNCILS AND/OR ORGANIZATIONS.
- ANY WORK AND/OR ITEM NOT SPECIFICALLY CALLED FOR IN THE DRAWINGS, BUT REQUIRED FOR A COMPLETE AND FULLY FUNCTIONING INSTALLATION CONSISTENT WITH THE INTENT OF THE "CONSTRUCTION DOCUMENTS" SHALL BE SUPPLIED BY THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS AS REQUIRED.
- THE INTENT OF THE "CONSTRUCTION DOCUMENTS" IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
- THE PROJECT "SPECIFICATION BOOK" SHALL TAKE PRECEDENCE OVER NOTED SPECIFICATIONS WHEN APPLICABLE.
- CIVIL, SOIL AND STRUCTURAL ENGINEERING SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY OTHER SPECIFICATIONS.
- BRITT ROWE RETAINS ALL RIGHTS AND OWNERSHIP TO ALL DRAWINGS AND SPECIFICATIONS. THESE DOCUMENTS MAY NOT BE USED IN WHOLE, OR IN PART, WITHOUT THE EXPRESSED WRITTEN CONSENT FROM BRITT ROWE.
- THE OWNER/DEVELOPER/CLIENT RESERVES THE RIGHT TO MAKE ALTERATIONS TO THE DESIGN DURING THE COURSE OF CONSTRUCTION. ALL CHANGES SHALL BE APPROVED BY THE LOCAL BUILDING OFFICIAL AND SHALL, IN ANY CASE, COMPLY WITH THE CURRENT EDITIONS OF THE CRC, CBC, CMC, CPC, CFC, AND/OR CEC AS REQUIRED.
- NEW CONSTRUCTION OR REMODELING IS LARGELY DEPENDENT UPON EXISTING SITE CONDITIONS AND THEREFORE A "SITE SURVEY" IS RECOMMENDED AND IF PROVIDED, SHALL BE GENERATED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AND SHALL CONTAIN THE FOLLOWING INFORMATION: PROPERTY CORNERS, PROPERTY LINES, EXISTING BUILDING(S) EASEMENTS, TOPOGRAPHY LINES, UTILITIES AND/OR SIGNIFICANT TREES. IF A SITE SURVEY IS NOT PROVIDED, BRITT ROWE WILL NOT BE HELD RESPONSIBLE FOR ANY AND ALL DISCREPANCIES RELATING TO THE SITE AND EXISTING CONDITIONS. IN ANY EVENT, BRITT ROWE SHALL NOT BE RESPONSIBLE FOR WORK PERFORMED BY OTHERS AND PROVIDED FOR THE PURPOSE OF COMPLETING THE PROJECT.
- ALL "DEFERRED SUBMITTALS" SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH NOTATION INDICATING THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE APPLICABLE BUILDING OFFICIAL.

PARCEL MAP



VICINITY MAP



PROJECT CONSULTANTS

BUILDING DESIGNER:
BRITT ROWE
David Britt/Tony Rowe
109 North Santa Cruz Ave.
Los Gatos, CA 95030
(408) 354-6224 office
(408) 354-6814 fax

STRUCTURAL ENGINEER:
CHARLES WILLIAMS ENG.
Charles Williams
P.O. Box 1152
Mountain View, CA 94042
(650) 279-8756

T&I ENERGY CONSULTANT:
F.R.I. & ASSOC.
Nick Sgherzi
21 N. Harrison Ave.
Campbell, CA 95008
(408) 866-1820
www.britt-rowe.com

CIVIL ENGINEER: (SURVEYOR)
S&M ENGINEERS
1534 Girard Lane
Los Altos, CA 94024
(650) 941-8055

SPECIAL NOTES

CONTRACTOR SHALL VERIFY ALL CONDITIONS TO ASSURE CONFORMANCE TO THESE CODES.

JURISDICTION APPROVAL STAMP

APPROVAL STAMP AREA

REVISIONS:

NO.	DATE	DESCRIPTION
3	9/21	

BRITT ROWE
108 N. Santa Cruz Ave
Los Gatos, CA 95030
408.354.6224 (office)
408.354.6814 (fax)
www.britt-rowe.com

Britt Rowe shall retain all rights and ownership to all drawings and specifications. The contents of the drawings may not be used in whole, or in part, without expressed written consent given by Britt Rowe. All construction shall comply with all local & national building codes. All contractors shall verify all conditions to assure conformance to these codes.

PROM RESIDENCE
1161 HARRIET AVE.
CAMPBELL, CA 95008
APN: 403-12-055

PROJECT INFO	DATE	STATUS	BY
DRAWING:	5/26/20	NOTED	MAR
PRINTED:			
SCALE:			
DRAWN BY:			

AO.1



LEFT CORNER OF RESIDENCE FROM REGINA WAY (SOUTHEAST)



CORNER OF REGINA WAY / HARRIET AVE. (NORTHEAST CORNER)



FRONT DOOR OFF HARRIET AVE. (NORTHEAST)



RIGHT CORNER OFF HARRIET AVE. (NORTHEAST)



REAR INTERIOR (NORTHWEST)



INTERIOR LOT REAR OF GARAGE (NORTHWEST)

REVISIONS BY

REVISIONS	BY

BR

Britt • Rowe

108 N. Santa Cruz Ave.
Los Gatos, CA 95030

408.364.6224 (office)
408.364.6014 (fax)

BRITT•ROWE retains all rights in this drawing. The contents of the drawings and specifications may vary without the expressed, written consent of BRITT•ROWE.

PROM RESIDENCE
1161 HARRIET AVE.
CAMPBELL, CA 95008
APN: 403-12-055

SHEET: SITE PHOTOGRAPHY

SCALE: NO SCALE

DATE: DEC. 5, 2020

DRAWN:

PL.1

REVISIONS BY

3	9/21	PL	2

BR

Britt • Rowe

108 N. Santa Cruz Ave
Los Gatos, CA 95030

408.354.6224 (office)
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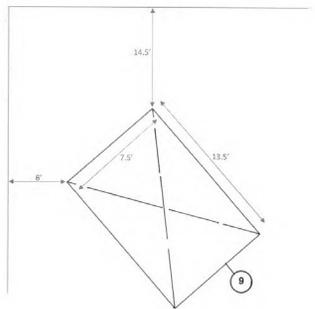
SHEET : SQUARE FOOTAGE BLOCK OUT

SCALE : 1"=10'-0"

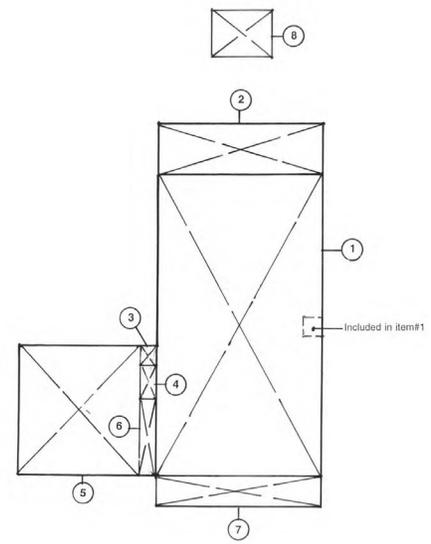
DATE : DEC. 5, 2020

DRAWN :

PL.2



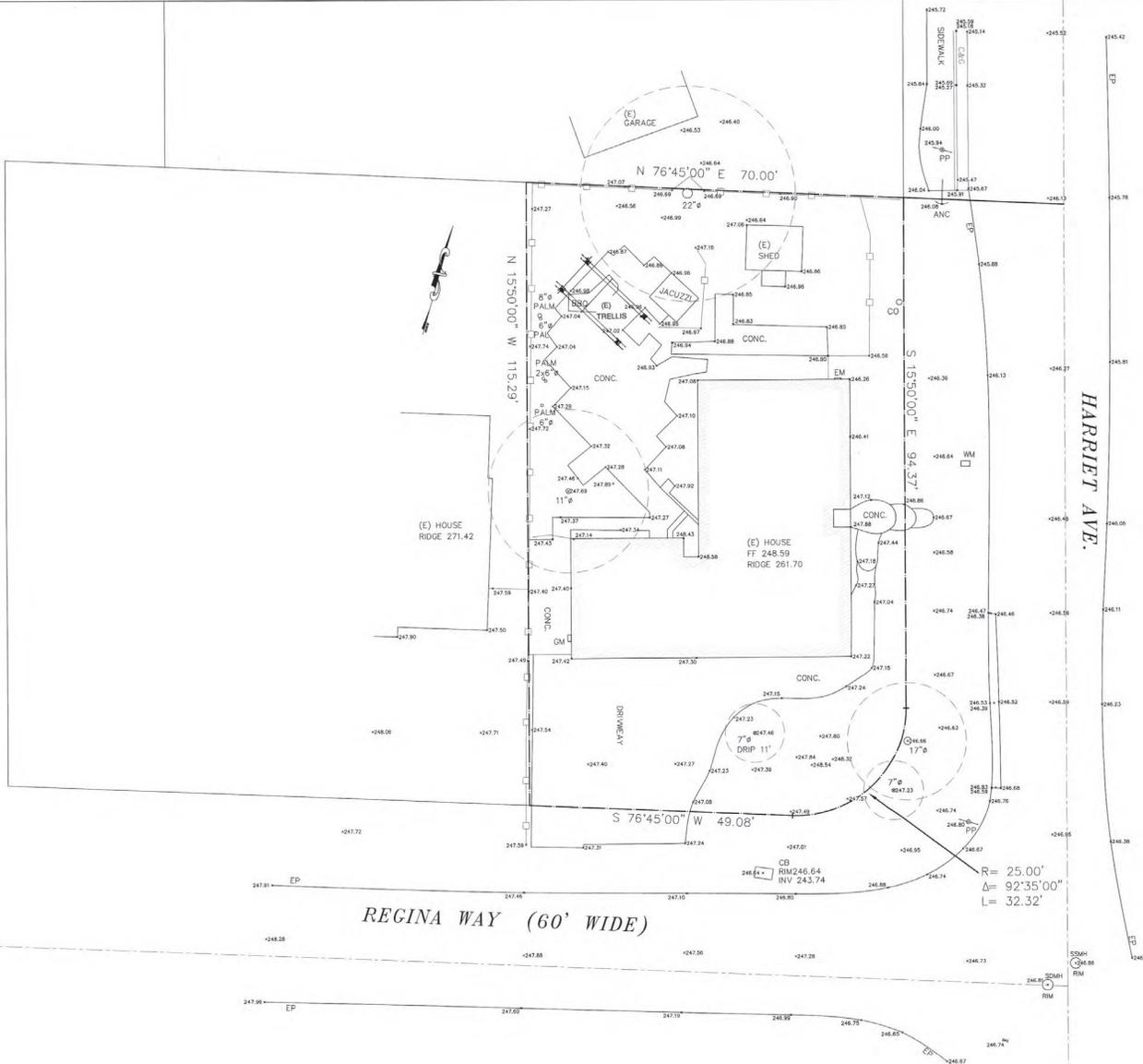
OPEN TRELIS @ REAR RIGHT CORNER OF LOT
9. 7'-6"X13'-6"=101 SF



SQUARE FOOTAGE BLOCK OUT

- SQUARE FOOTAGE SCHEDULE:**
- 28'-0"x50'-9" Living area=1421 SF (includes 11 SF converted front porch)
 - 28'-0"x9'-0" Living area addition=252 SF (M. bath & closet)
 - 3'-6"x2'-10" Living area addition=10 SF (converted side porch)
 - 2'-4"x5'-6" Living area addition=13 SF (converted garage)
 - 21'-9"x22'-0" Attached garage=477 SF
 - 2'-4"x13'-0" Attached garage=30 SF
 - 8'-0"x10'-6" Detached garden shed=84 SF
 - 28'-0"x5'-0" Covered front porch=140 SF

Total living area: 1,696 SF
Total attached garage: 507 SF
Total covered porch (open on three sides): 140 SF
Total detached garden shed: 84 SF
Total detached open trellis: 101 SF



LEGEND

	PROPERTY LINE	AC	ASPHALT
	EXISTING LOTS	AD	AREA DRAIN
	CENTERLINE	ANC	ANCHOR
	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
	SANITARY SEWER LINE	C&G	CURB AND GUTTER
	STORM DRAIN LINE	CB	CATCH BASIN
	OVERHEAD POWER LINE	CO	CLEAN OUT
	WOOD FENCE	DW	DRIVEWAY
		EB	ELECTRIC BOX
		EM	ELECTRIC METER
		FH	FIRE HYDRANT
		FM	FIRE HYDRANT
		GA	GAS VALVE
		GM	GAS METER
		GV	GAS VALVE
		IP	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCD	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VS	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

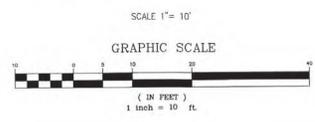
DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL TUST (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
THE BEARING N 15°50'00" W OF CENTERLINE OF HARRIET AVE. AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, FILED FOR RECORD IN BOOK 147 OF MAPS AT PAGE 3, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

PROJECT BENCHMARK:
REFERENCED CITY OF CAMPBELL BENCHMARK: BM# 62 EL: 248.326' (NAVDB88)

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 - THE NET AREA OF LAND OF RECORD IS 7967.00 SQ. FT. ±.
 - THE MAP WAS BASED ON A DEED OF TRUST DOC# 236021.01 DATED 03/14/2017, RECORDED IN SANTA CLARA COUNTY.
 - ALL EXISTING BUILDINGS ARE WOOD.
 - FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 - THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



1161 HARRIET AVE.
CAMPBELL, CA 95008
APN: 403-12-055

SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Corob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

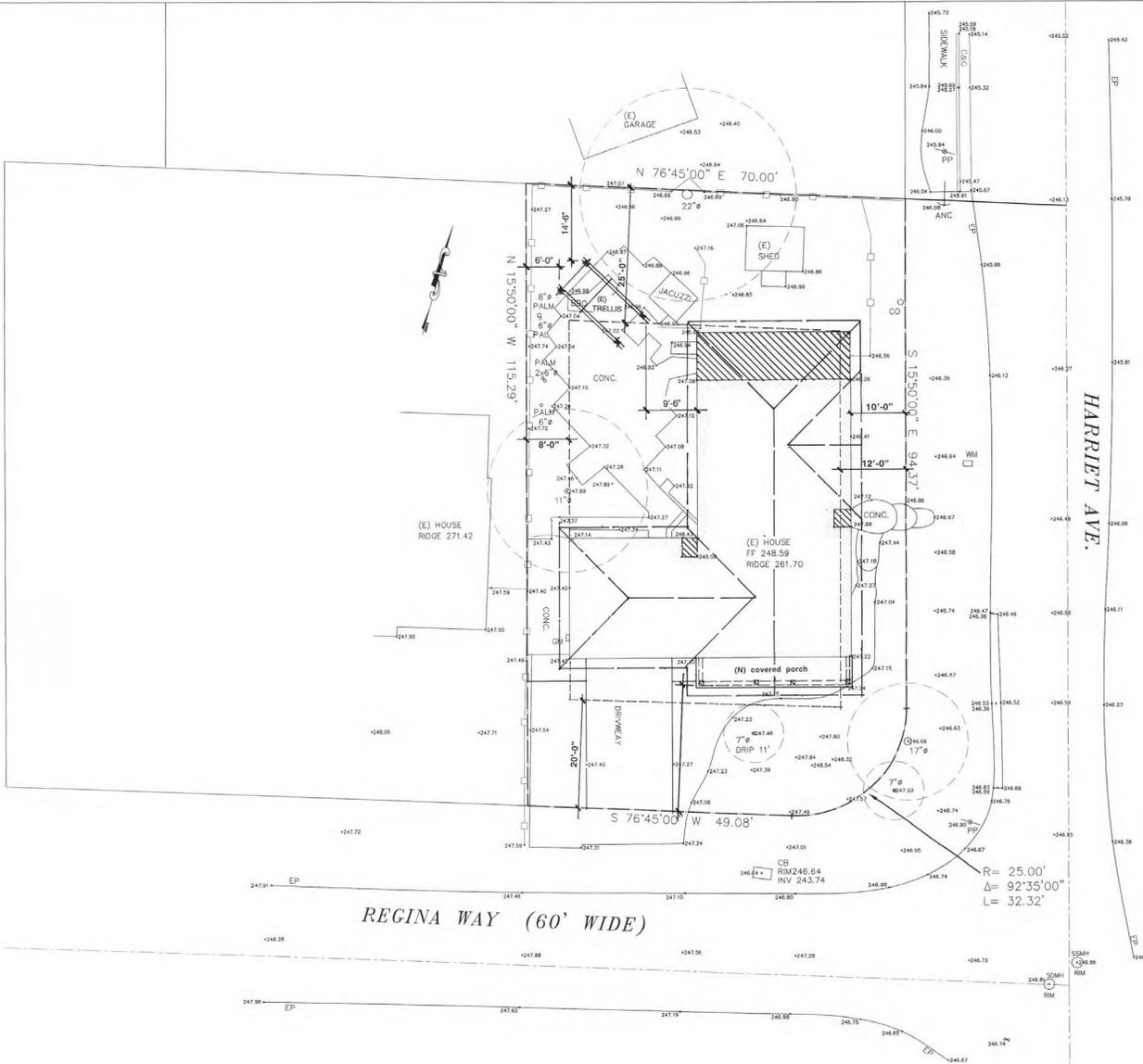
Scale: 1" = 10'
Prepared by: S.P.
Checked by: S.R.
Date: 02/20/2020
Project No: 220031

PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

NO.	REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF CAMPBELL



LEGEND

---	PROPERTY LINE	AC	ASPHALT
---	AREA DRAIN	AD	AREA DRAIN
---	ANCHOR	ANC	ANCHOR
---	EXISTING LOTS	BSSL	BUILDING SETBACK LINE
---	C&G	CB	CURB AND GUTTER
---	CENTERLINE	CB	CATCH BASIN
---	EASEMENT LINE	CO	CLEAN OUT
---	SANITARY SEWER LINE	DW	DRIVEWAY
---	STORM DRAIN LINE	EB	ELECTRIC BOX
---	OVERHEAD POWER LINE	EM	ELECTRIC METER
---	WOOD FENCE	EP	EDGE OF PAVEMENT
---		EP	FIRE HYDRANT
---		GA	GUY ANCHOR
---		GM	GAS METER
---		GV	GAS VALVE
---		IV	IRRIGATION VALVE
---		LP	LIGHT POLE
---		MB	MAIL BOX
---		MH	UTILITY MANHOLE
---		P.U.E.	PUBLIC UTILITY EASEMENT
---		P	BRICK CONC PILLAR
---		PP	POWER POLE
---		(R)	RADIAL BEARING
---		SL	STREET LIGHT
---		SDMH	STORM DRAINAGE MANHOLE
---		SSMH	SANITARY SEWER MANHOLE
---		SSCO	SANITARY SEWER CLEAN OUT
---		TCO	THROUGH CURB DRAIN
---		TS	TRAFFIC SIGN
---		VG	VALLEY GUTTER
---		WM	WATER METER
---		WV	WATER VALVE

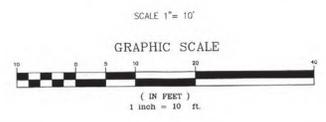
(N) Living area addition

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 - THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES, PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



1161 HARRIET AVE.
 CAMPBELL, CA 95008
 APN: 403-12-055

Scale:
 1" = 10'
 Prepared by:
 Checked by:
 Date:
 Project No:
 220031

ARCH. SITE PLAN

Sheet No:

A1.1

PL	3/9/21				
REVISIONS	DESIGN	DESIGN	CITY	APPR.	DATE
◇					

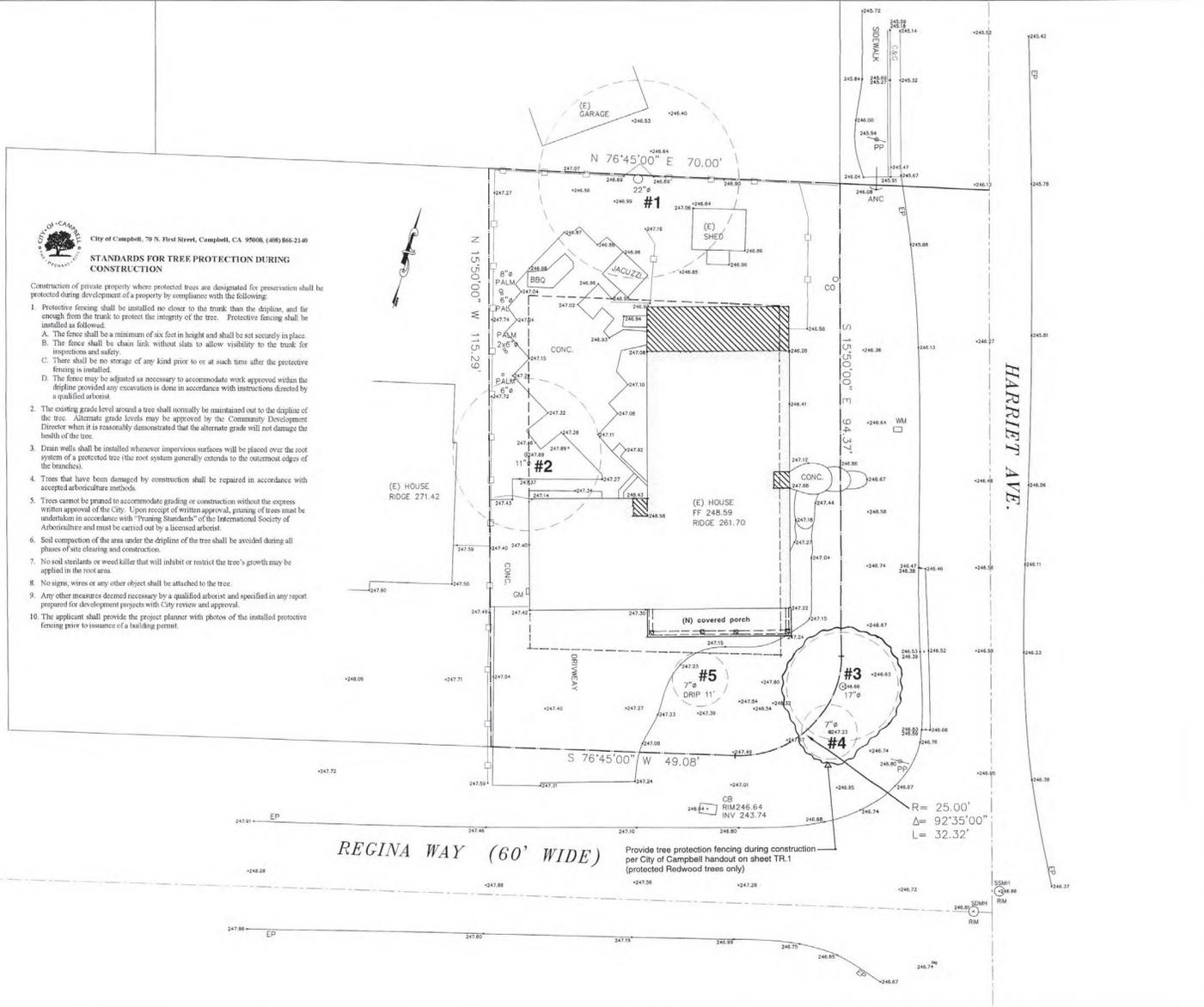
CITY OF CAMPBELL



City of Campbell, 70 N. First Street, Campbell, CA, 95008, (408)866-2140

STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

- Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:
- Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
 - The fence shall be a minimum of six feet in height and set securely in place.
 - The fence shall be chain link without slats to allow visibility to the trunk for inspectors and safety.
 - There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
 - The fence may be adjusted as necessary to accommodate work approved within the dripline provided any excavation is done in accordance with instructions directed by a qualified arborist.
 - The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
 - Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
 - Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
 - Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
 - Soil compaction of the area under the dripline of the tree shall be avoided during all phases of site clearing and construction.
 - No soil standoffs or weed killer that will inhibit or restrict the tree's growth may be applied in the root area.
 - No signs, wires or any other object shall be attached to the tree.
 - Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
 - The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.



LEGEND

—	PROPERTY LINE	AC	ASPHALT
—	EXISTING LOTS	AD	AREA DRAIN
—	CENTERLINE	ANC	ANCHOR
—	EASEMENT LINE	BSSL	BUILDING SETBACK LINE
—	SANITARY SEWER LINE	C&G	CURB AND GUTTER
—	STORM DRAIN LINE	CB	CATCH BASIN
—	OVERHEAD POWER LINE	CO	CLEAN OUT
—	WOOD FENCE	DW	DRIVEWAY
—		EB	ELECTRIC BOX
—		EM	ELECTRIC METER
—		EP	EDGE OF PAVEMENT
—		FI	FIRE HYDRANT
—		GA	GUY ANCHOR
—		GM	GAS METER
—		GV	GAS VALVE
—		IV	IRRIGATION VALVE
—		LP	LIGHT POLE
—		MB	MAIL BOX
—		MH	UTILITY MANHOLE
—		P.U.E.	PUBLIC UTILITY EASEMENT
—		P	BRICK CONC PILLAR
—		PP	POWER POLE
—		(R)	RADIAL BEARING
—		SL	STREET LIGHT
—		SDMH	STORM DRAINAGE MANHOLE
—		SSMH	SANITARY SEWER MANHOLE
—		SSCO	SANITARY SEWER CLEAN OUT
—		TCO	THROUGH CURB DRAIN
—		TS	TRAFFIC SIGN
—		VG	VALLEY GUTTER
—		WM	WATER METER
—		WV	WATER VALVE

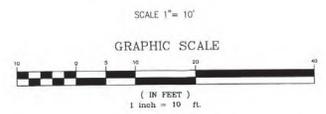
(N) Living area addition

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-842-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
THE BEARING N 15°50'00" W OF CENTERLINE OF HARRIET AVE. AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, FILED FOR RECORD IN BOOK 147 OF MAPS AT PAGE 3, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

PROJECT BENCHMARK:
REFERENCED CITY OF CAMPBELL BENCHMARK: BM# 62 EL: 248.326' (NAVD88)

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 - THE GROSS AREA OF LAND OF RECORD IS 7967.00 SQ. FT. ±.
 - THE MAP WAS BASED ON A DEED OF TRUST DOC# 23602141, DATED 03/14/2017, RECORDED IN SANTA CLARA COUNTY.
 - ALL EXISTING BUILDINGS ARE WOOD.
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1161 HARRIET AVE.
CAMPBELL, CA 95008
APN: 403-12-055

- TREE SCHEDULE:**
- 22" dia./40' canopy Oak tree to remain (preserved)
 - 11" dia./30' canopy Chinese Elm to remain (preserved)
 - 17" dia./22' canopy Redwood to remain (preserved)
 - 7" dia./11' canopy Redwood to remain (preserved)
 - 7" dia./11' canopy Fruitless Mulberry to be removed.

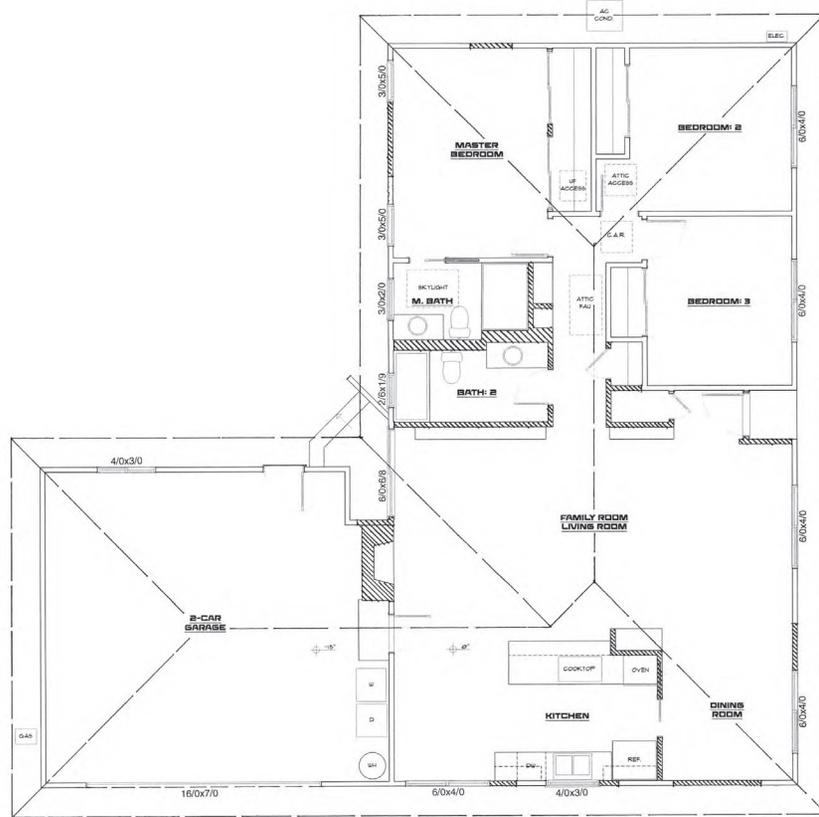
Scale: 1" = 10'
Prepared by:
Checked by:
Date:
Project No: 220031

TREE SURVEY PLAN

Sheet No: **TR.1**

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR. DATE

CITY OF CAMPBELL



(E) FLOOR PLAN: DEMOLITION

1/4" = 1'-0"



Walls to be removed/altared

- (E) living area: 1410 SF (conditioned)
- (E) garage: 520 SF (unconditioned)
- (E) side porch: 10 SF (unconditioned)
- (E) front porch: 11 SF (unconditioned)

REVISIONS: #

REVISIONS	#

BR
BRITT · ROWE
 108 N. Santa Cruz Ave.
 Los Gatos, CA 95030
 408.354.6224 (office)
 408.354.6514 (fax)
 www.britt-rowe.com

Britt Rowe shall retain all rights and ownership to all drawings and specifications. The contents of the drawings may not be used in whole, or in part, without expressed written consent given by Britt Rowe. All construction shall comply with all local & national building codes. All contractors shall verify all conditions to assure conformance to these codes.

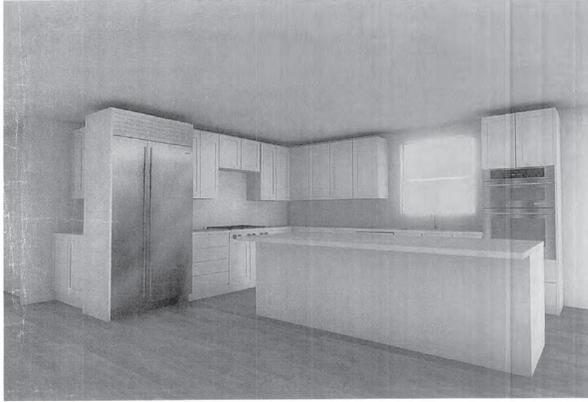
PROM
RESIDENCE
 1161 HARRIET AVENUE
 CAMPBELL, CA 95008
 APN: 403-12-055

DRAWING:	(E) FLOOR PLAN
PRINTED:	11/16/20
SCALE:	NOTED
DRAWN BY:	M.A.R. MW

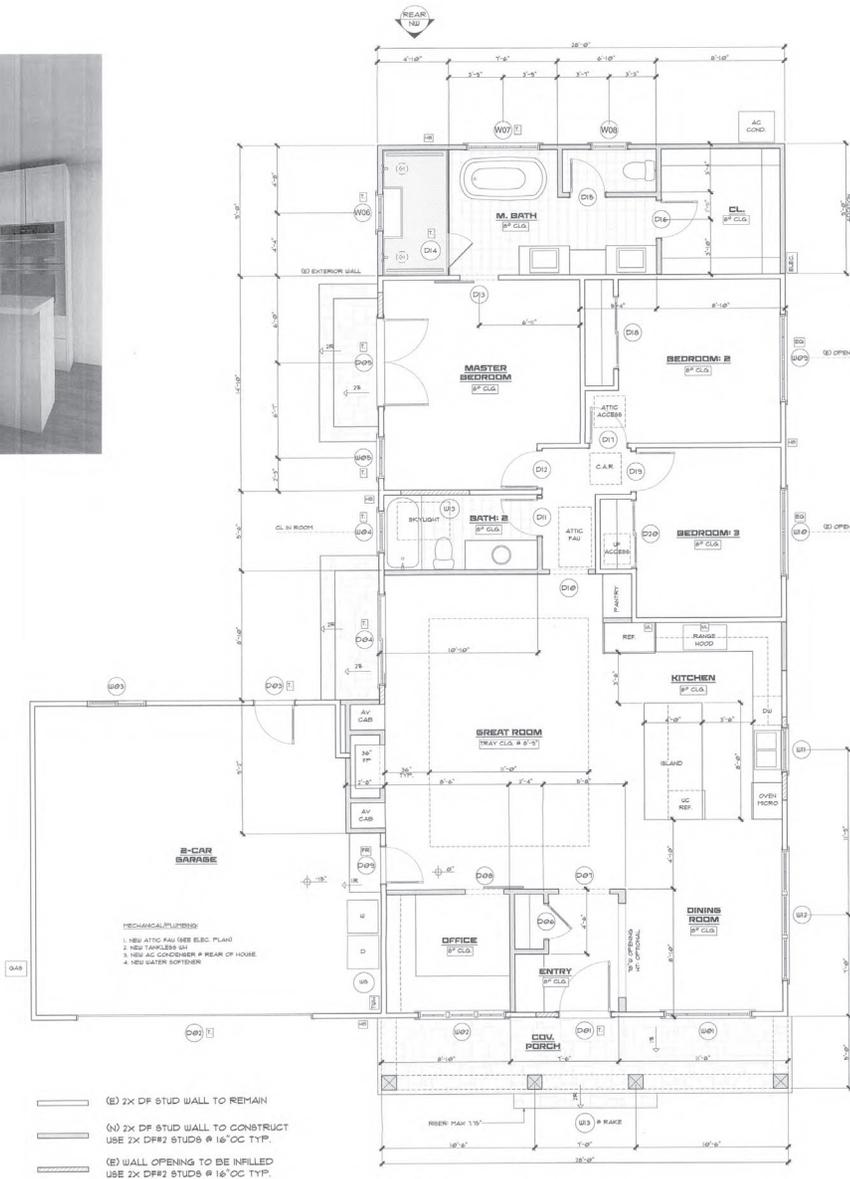
Professional Stamp

A2.1

Jurisdiction Stamps and/or Red Line Notes



CONCEPT KITCHEN DESIGN DRAWING BY OTHER



(E) living area: 1410 SF (conditioned)
 (E) garage: 520 SF (unconditioned)
 (E) side porch: 10 SF (unconditioned)
 (E) front porch: 11 SF (unconditioned)
 (N) living area addition @ m. bath/closet: 252 SF
 (N) living area addition @ side porch: 10 SF
 (N) living area addition @ front porch: 11 SF
 (N) living area addition @ converted garage: 13 SF
 (N) covered front porch: 140 SF (uncond.)
 Total living area: 1,696 SF
 Total garage: 507 SF
 Total covered front porch: 140 SF

REVISIONS:		#
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408.354.6224 (office) 408.354.6514 (fax) www.britt-rowe.com		
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PROM RESIDENCE		
1161 HARRIET AVENUE CAMPBELL, CA 95008 APN: 403-12-055		
(N) FLOOR PLAN	1/16/20	M.A.R. M.
DRAWING:	PRINTED:	SCALE:
		DRAWN BY:
Professional Stamp		
AB.1		
Jurisdiction Stamps and/or Red Line Notes		

REVISIONS:	#



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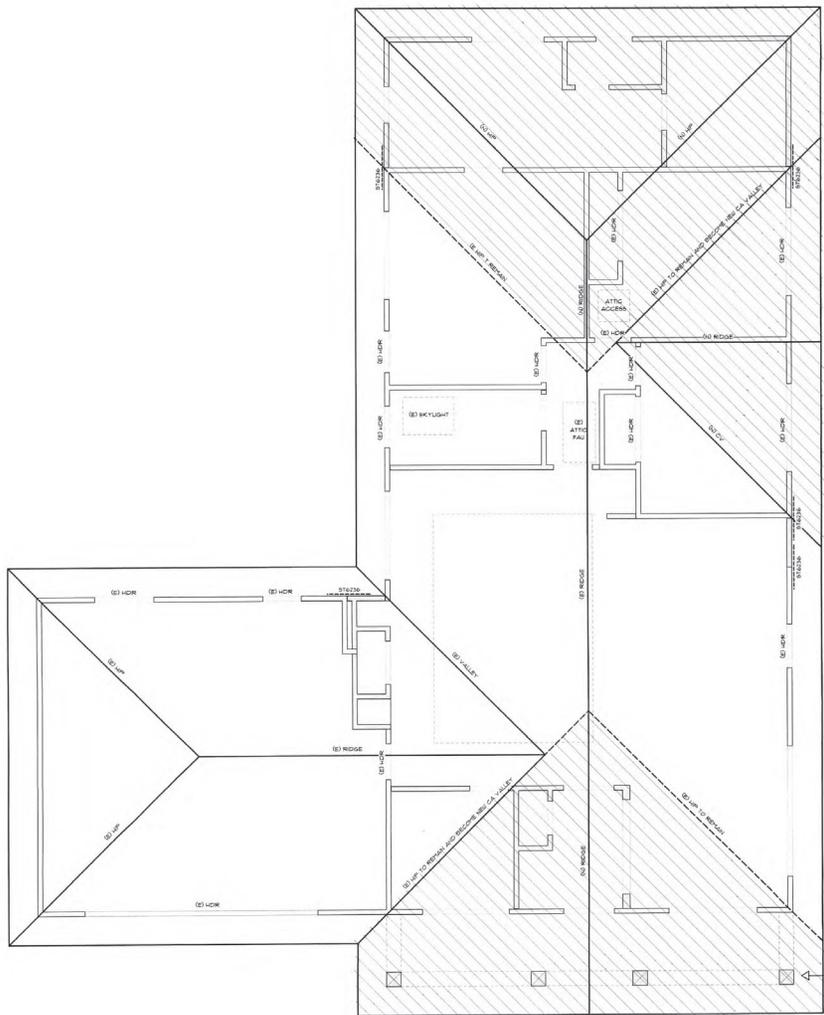
PROM RESIDENCE
 1161 HARRIET AVENUE
 CAMPBELL, CA 95008
 ATN: 408-312-0855

DRAWING:	ROOF FRAMING PLAN
PRINTED:	11/16/20
SCALE:	NOTED
DRAWN BY:	M.A.R.

Professional Stamp

A4.1

Jurisdiction Stamps and/or Red Line Notes



ARCHITECTURAL ROOF PLAN
 ROOF SLOPE: 3/12 [VERIFY AND MATCH]
 ROOFING MATERIAL: CLASS A, ASPHALT SHINGLES
 OVERHANGS: 24" [VERIFY AND MATCH]

1/4" = 1'-0"

REVISIONS	BY
3 / 9 / 21	PL
	3

BR

Britt • Rowe

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Los Gatos, CA 95030

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408.354.6514 (fax)

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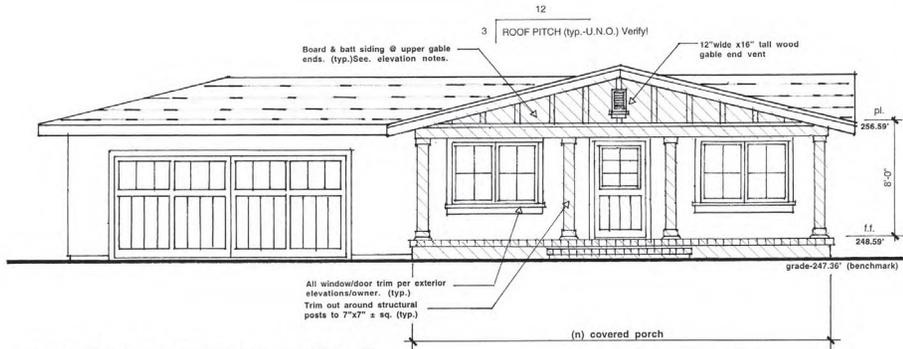
PROM RESIDENCE
1161 HARRIET AVE
CAMPBELL, CA 95008
APN: 4003-12-055

SHEET: EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"
DATE: DEC. 5, 2020
DRAWN:

A5.1



REAR ELEVATION (NW)



FRONT ELEVATION (SE)

ROOFING:
Class A, 50-year high definition asphalt shingles, over 30lb. felt building paper min. underlayment or per manufacturers specifications, over 1/2" CDX plywood sheathing, nailed w/10d @ 6" O.C. edges and 12" O.C. field min. (UNO), over framing (See framing plans). Verify min. nailing w/CBC table 2304.10.1 (fastening schedule) & structural engineer's min. nailing requirements (typ.) Provide 0.75" x 6" (5.5") smooth finish "Hardie soffit" ship lap or equal above rafters @ all visible overhangs. Roof coverings per CRC R1005. All flashing per CRC section 905.2.8. (Roof) Dark gray in color. Verify view/note.

SIDING: (upper gable ends)
"James Hardie" board & batt per exterior elevations, over (2)-layers grade "D" building paper min. or equal, over 3/8" min. CDX plywood wall sheathing. Nail w/10d @ 6" O.C. @ edges & 12" O.C. field min. (UNO), over framing (See framing plans). Verify nailing with CBC table 2304.10.1. (fastening schedule) For all shear walls, see structural engineer's shear wall schedule for plywood thickness & minimum nailing requirements. (as applicable)

SIDING:
Stucco: (3) coat, 7/8" min. thickness, stucco siding to match (e), over G.I. (17 GA) 1-1/2" mesh stucco wire or G.I. expanded metal lath, over (2)-layers grade "D" building paper min. or equal, over 3/8" min. CDX plywood wall sheathing. Nail w/10d @ 6" O.C. @ edges & 12" O.C. field min. (UNO), over framing (See framing plans). Verify nailing with CBC table 2304.10.1. (fastening schedule) For all shear walls, see structural engineer's shear wall schedule for plywood thickness & minimum nailing requirements. (as applicable) Wall coverings per R703. All flashing per CRC R703.4 (walls)

Provide 26 GA, galvanized weep screed @ bottom of stucco walls @ or below the foundation plate line w/min. of 2" of clearance to hardcape & 4" clearance to soffits per CRC Section R703.7.2.1 Color coated stucco upon request of owner. Use elastomeric primer prior to painting as applicable.

TRIM:
Windows & doors: Per exterior elevations
Fascia board: Yes: Match (e) overhang
Columns @ porch: 7"x7" square posts. Trimmed out around structural post.
Gutters & downspouts: 26 GA G.I. gutters & downspouts. Gutters shall slope to downspouts 1/8" per foot min. (match existing)



LEFT SIDE ELEV. (SW)

RESIDENCE COLORS
Body of Residence color: (typ.)
Benjamin Moore CSP-735-Sea Glass (smooth, pale subtle sea foam color)
Trim of residence color: (typ.)
Benjamin Moore OC-65-Chantilly Lace (silky white)
Roofing: (typ.)
50-year "shingle look" asphalt comp. (dark gray)
Exterior Window/Doors: (typ.)
(dark gray)

Actual average grade around (e) residence: 247.36'
Finished floor of (e) residence: 248.59'
(e) residence max. ridge height: 261.71'
Height of (e) residence/(n) addition: 13.364" or 13'-4 5/8" (bench mark grade to max. ridge)



RIGHT SIDE ELEV. (NE)

Jurisdiction stamps and/or Red Line Notes