



CITY OF CAMPBELL
Community Development Department

April 1, 2021

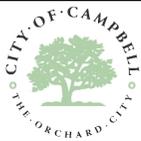
NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

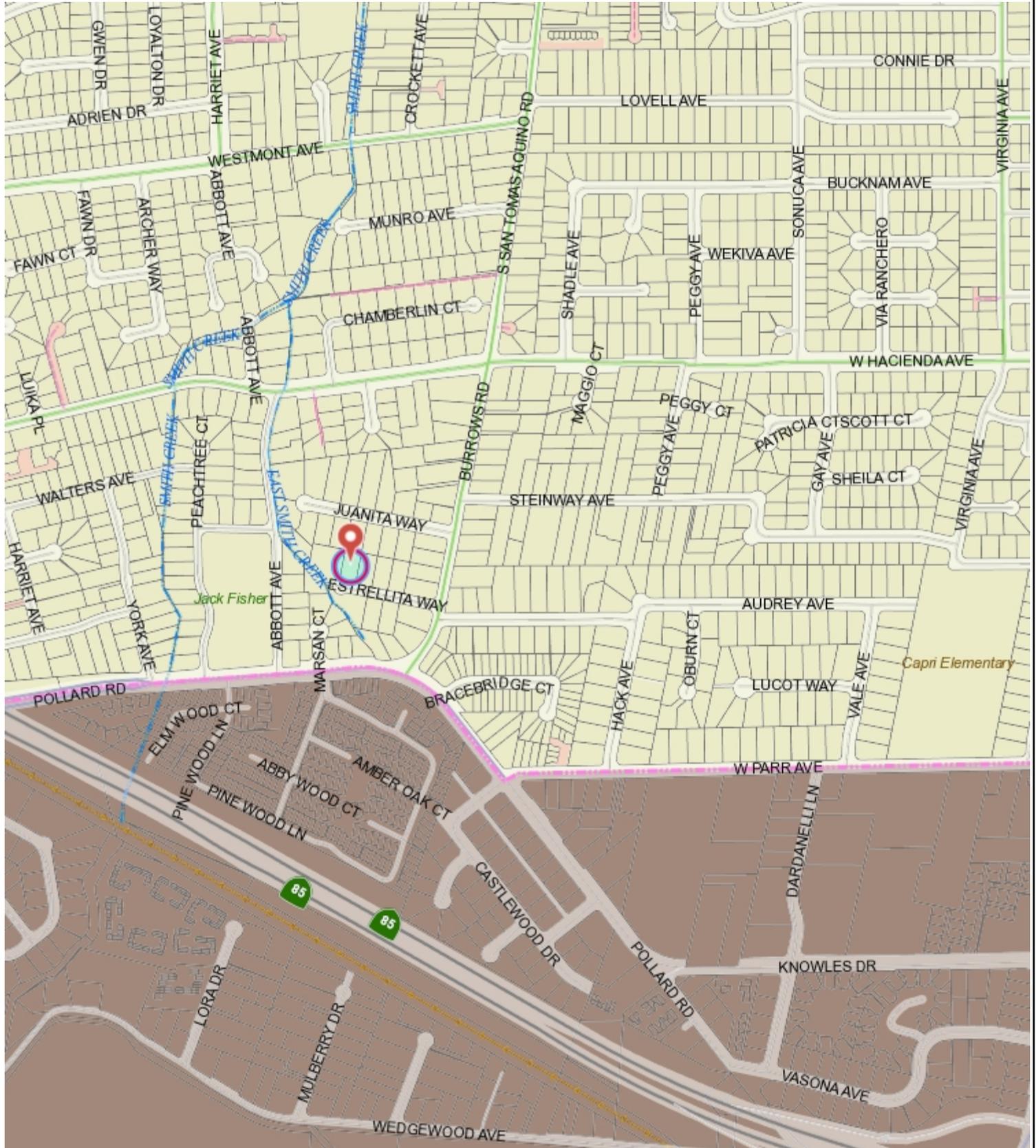
File No.: PLN-2021-17
Applicant: Al Abiani
Project Address: 1381 Estrellita Way
Property Owner: Gary and Susanne Germone
Zoning District: R-1-10 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: Approximately 149 sq. ft. single-story addition to an existing single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on April 1, 2021 and ends on April 12, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **April 12, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



Location Map - 1381 Estrellita Wy.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

CONSTRUCTION NOTES:

ALL WORK TO BE IN CONFORMANCE WITH 2019 CBC, CRC, CFC, CMC, CPC, CEC, AND 2019 CALIFORNIA ENERGY CODE AND 2019 CALIFORNIA GREEN, BUILDINGS CONSERVATION, THESE CODES, AS WELL AS THE STATE AND LOCAL AMENDMENT TO THEM. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION. VERIFY LOCATION GRADES A MIN. OF 4% FOR 5'-0" "AWAY" FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREA & SLOPE GRADE 2% MIN. @ PAVED AREAS.

1. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE RIGHT-OF-WAY.
2. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS IN SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED.
3. AND PLACED IN THE CONTAINERS.
4. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
5. CAP OFF EXISTING AND RELOCATE AFFECTED WATER SUPPLY, DRAIN, VENTS AND WASTE LINES AS REQUIRED
6. REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGE OR REMOVED DURING CONSTRUCTION
7. REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGE OR REMOVED DURING CONSTRUCTION
8. CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALL ARE REMOVED AND WHERE IMPORTANT SUPPORT IS REQUIRED
9. ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION

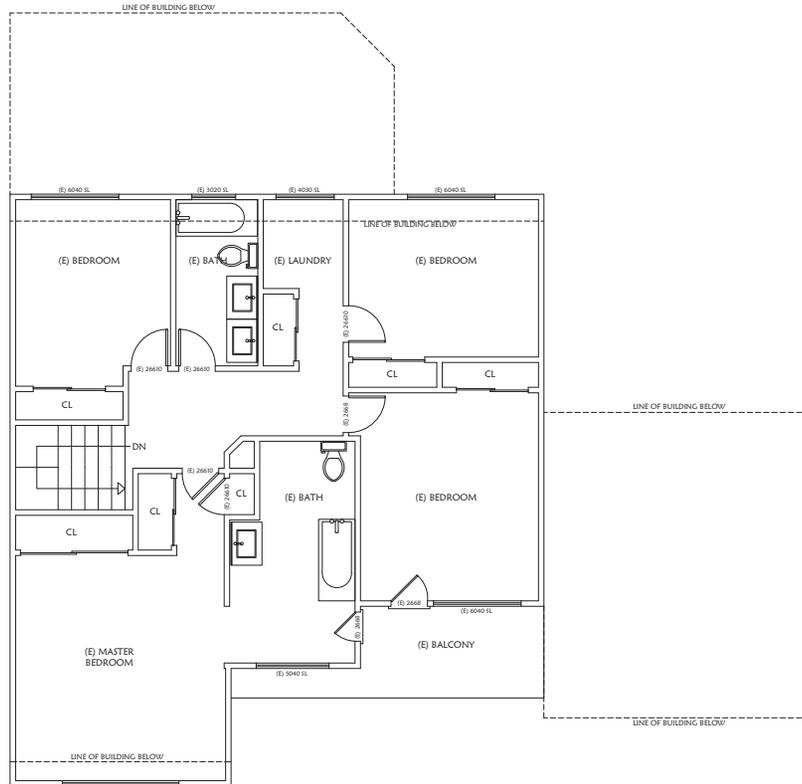
ELEMENTS TO REMAIN-REMOVE:

- (E) GAS METER TO REMAIN
- (E) ELECTRIC METER/PANEL TO REMAIN
- (E) WATER HEATER TO RELOCATE
- (E) FURNACES TO REMAIN
- (E) LANDSCAPE PROTECT WHERE POSSIBLE

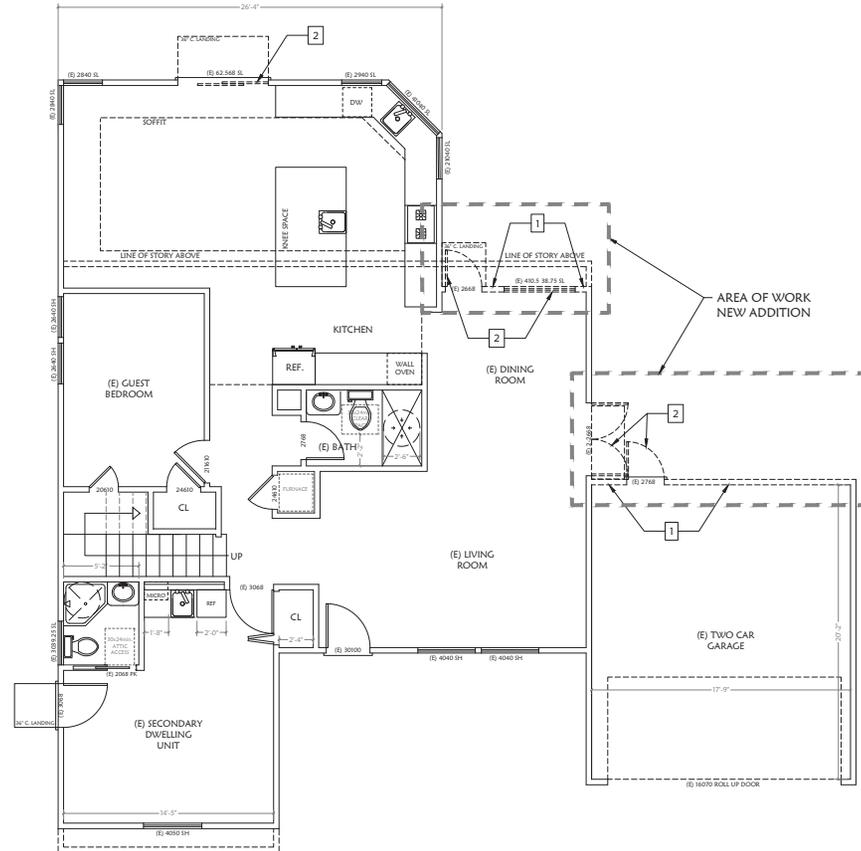
DEMOLITION ACTIONS:

- 1 (E) WALLS TO BE DEMOLISHED
- 2 (E) WINDOW/DOOR TO BE REMOVED

=====	(E) WALL TO REMAIN
-----	(E) WALL TO BE DEMO
DW	DOOR WAY
SH	WINDOW SINGLE HUNG
FIX	FIX WINDOW
SL	WINDOW/DOOR HORIZONTAL SLIDER
A	DRAWING LEGEND



EXISTING SECOND FLOOR PLAN
 02 | SCALE 1:1/4"
 FOR REFERENCE ONLY (NO CHANGES)



EXISTING FIRST FLOOR PLAN
 01 | SCALE 1:1/4"

MFA
 ENGINEERS & ASSOCIATES

370 GRAND PARK CIRCLE
 SAN JOSE CA 95138

Tel: (408) 509-3461
 alibiani@stoglobal.net

INTERIOR
 REMODEL FOR:

**"THE
 GERMONE
 RESIDENCE"**

1381 ESTRELLITA WAY
 CAMPBELL, CA 95008

APN: 403-16-036

OWNER:

ALI ABIANI

REVISION:

DRAWN:

SHM

DATE:

NOV.19.2020

DRAWING TITLE:

EXISTING FLOOR
 PLANS

SHEET NO.

A1.0

INTERIOR
REMODEL FOR:

**"THE
GERMONE
RESIDENCE"**

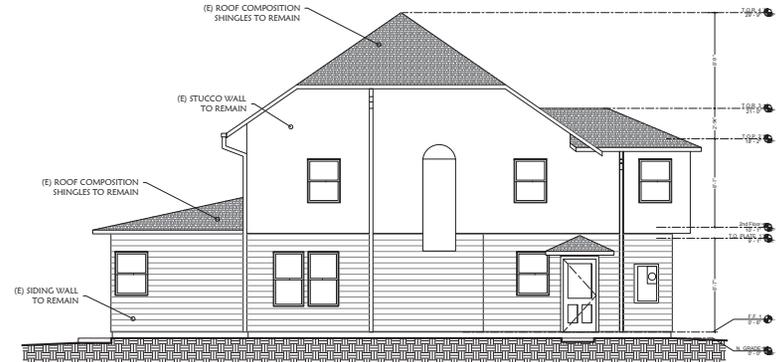
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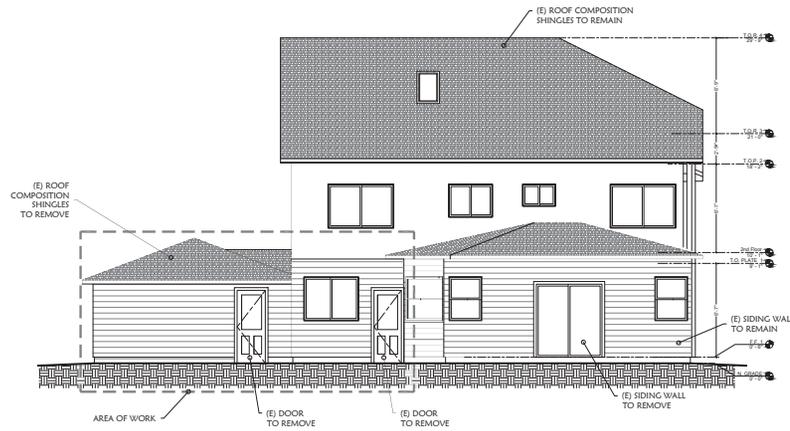
OWNER:



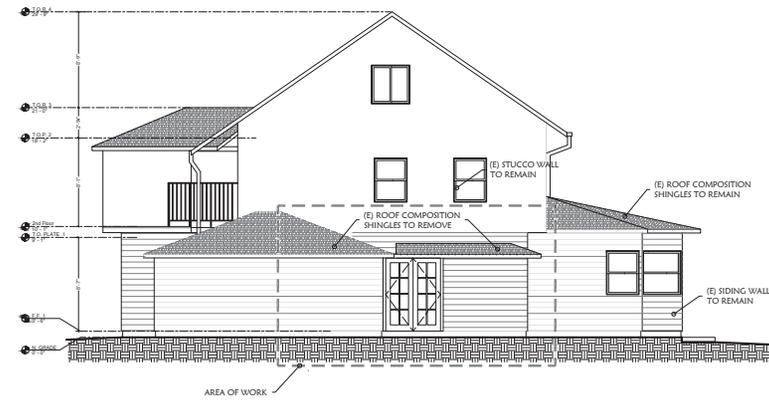
SCALE 1 : 3/16"
04 EXISTING FRONT ELEVATION
FOR REFERENCE ONLY (NO CHANGES)



SCALE 1 : 3/16"
02 EXISTING LEFT ELEVATION
FOR REFERENCE ONLY (NO CHANGES)



SCALE 1 : 3/16"
03 EXISTING REAR ELEVATION



SCALE 1 : 3/16"
01 EXISTING RIGHT ELEVATION

ALI ABIANI

REVISION:



DRAWN:
SHM

DATE:
MAR. 19. 2021

DRAWING TITLE:
EXISTING ELEVATIONS

SHEET NO.

A1.1

LIGHTING NOTES:

- A. ALL LIGHTING MUST BE HIGH EFFICACY (I.E. PIN-BASED CFL; FLUORESCENT MH; HPS; CFL'S SOCIETY OTHER THAN LED; LED LUMINAIRES WITH INTEGRAL SOURCE, ETC.). CEC TABLE 150.8-A.
- B. SCREWS-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREWS-BASED JAS JOINT APPENDIX B) COMPLIANT LAMPS. JAS COMPLIANT LIGHT FIXTURES MUST BE MARKED AS "JAS-2019" OR "JAS-2019-C". ("JAS-2019-C" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES), CEC 150.09(C).
- C. ALL JAS COMPLIANT LIGHT FIXTURES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSOR OR DIMMER (EXCEPTION: CLOSETS LESS THAN 70 SF AND HALLWAYS), CEC 150.09(C)(2):
 - I. CEILING RECESSED DOWNLIGHT LUMINAIRES.
 - II. LUMINAIRES WITH INTEGRAL SOURCES.
 - III. PIN-BASED LED LAMPS (I.E., MR16, AR-111, ETC.).
 - IV. CFL-BASED LED LIGHT SOURCES.

R302.3.1 BATHROOM EXHAUST FANS. EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, CHAPTER 4, AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5. NOTE: WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.

R302.7 STAIRWAY ILLUMINATION. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOTCANDLE (1 LUX) MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY. EXCEPTION: AN ARTIFICIAL LIGHT SOURCE IS NOT REQUIRED AT THE TOP AND BOTTOM LANDING, PROVIDED AN ARTIFICIAL LIGHT SOURCE IS LOCATED DIRECTLY OVER EACH STAIRWAY SECTION.

R302.7.1 LIGHT ACTIVATION. WHERE LIGHTING OUTLETS ARE INSTALLED IN INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHTING OUTLET WHERE THE STAIRWAY HAS SIX OR MORE RISERS. THE ILLUMINATION OF EXTERIOR STAIRWAYS SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNIT.

ELECTRICAL SYMBOLS

- CHANDELIER
- SURFACE MOUNTED CEILING LIGHT HANGING FIXTURE
- RECESSED CEILING LIGHT RECESSED CEILING LIGHTS IN INSULATED CEILING, IC RATED AND AIR-TIGHT (AT) FOR ALL RECESSED LUMINAIRES AS WELL AS REQUIRING ELECTRONIC BALLAST FOR FLUORESCENT LUMINAIRES () SEE T-24 MANDATORY MEASURES.
- RECESSED CEILING FLUORESCENT LIGHT
- RECESSED LED LIGHT
- MINI PENDANT LIGHT
- WALL MOUNTED LIGHT HIGH EFFICACY
- W/D WALL MOUNTED LIGHT W/ MOTION DETECTOR AND PHOTOCELL
- SWITCH
- VS SWITCH MANUAL ON VACANCY SENSOR
- D WALL SWITCH DIMMER
- M MULTIPLE WAY SWITCH
- S SENSOR WALL SWITCH
- GFC ELECTRICAL OUTLET ARC-FAULT CIRCUIT INTERRUPTER
- GFC ELECTRICAL OUTLET GROUND FAULT CIRCUIT INTERRUPT
- WP-GFC ELECTRICAL OUTLET WATER PROOF PROTECTION W/ IN USE COVER
- SD SMOKE DETECTOR W/ BATTERY BACKUP
- COMBO SMOKE DETECTOR AND CARBON MONOXIDE ALARM (SHALL COMPLY WITH THE REQUIREMENTS OF UL2034, & UL2075)
- HFC HUMIDITY CONTROL FAN 20 CFM MIN. WITH FLUOR. LIGHT COMBINATION (HIGH EFFICACY LIGHT)
- H HOSE BIB
- F FURNACE REGISTER

LED LIGHTING SYSTEM SHALL BE LISTED BY ENERGY COMMISSION AND SHALL MEET THE REQUIREMENT OF TABLE 150-C.

WATTS	LUMENS/WATT
5	OR LESS 30
>5	TO 15 45
>15	TO 40 60
OVER 40	90

CFR 162.101-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

THE BUILDER MUST PROVIDE THE HOMEOWNER WITH LUMINAIRE SCHEDULE AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1.10.103(3) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

LED LIGHTING SYSTEM AND CUL 24 LAMP HOLDER SHALL BE LISTED BY ENERGY COMMISSION AND SHALL MEET THE REQUIREMENT OF TABLE 150-C.

WATTS	LUMENS/WATT
OR LESS 30	
>5	TO 15 45
>15	TO 40 60
OVER 40	90

A LABEL OR SIGN IS REQUIRED AT THE CONTROLLER OF SWITCH TO INFORM THE OCCUPANT THAT THE FRESH AIR VENTILATOR IS AN INDOOR AIR QUALITY FAN THAT SHOULD OPERATE WHENEVER THE BUILDING IS OCCUPIED.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

ALL LIGHTING HIGH EFFICACY LIGHT FIXTURES MUST BE PROTECTED

- NOTES:
- a) OUTDOOR LIGHTING, ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY MOTION SENSORS AND PHOTOCONTROL OR OTHER APPROVED METHOD PER CALIFORNIA ENERGY CODE 100K(5).
 - b) BATHROOMS SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND MUST BE CONTROLLED BY HUMIDITY CONTROL (CALGREEN 4.506.1).
 - c) BATHROOMS SHALL HAVE ONE DEDICATED 20-AMPERE BRANCH CIRCUIT (CEC 20.10(C)).

RODENT PROOFING. ANNUALS SPICES AROUND PIPE, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

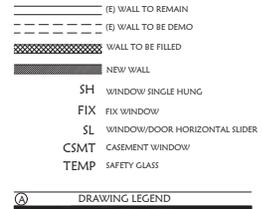
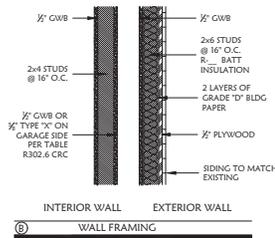
OPERATION AND MAINTENANCE MANUAL. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

- NOTE:
- 1. ALL NEW RECEPTACLES TO BE TAMPERED RESISTANT
 - 2. ALL ELECTRICAL CONDUCTOR MATERIAL SHALL BE COPPER, ALL OTHER MATERIAL REQUEST SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY.
 - 3. ALL SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD-WIRED AND INTERCONNECTED. THIS INCLUDES EXISTING SLEEPING ROOMS WHERE BUILDING WIRING CAN BE INSTALLED W/O REMOVED OF ANY INTERIOR FINISHES.

NOTE X1: PLUMBING FIXTURES REQUIREMENTS

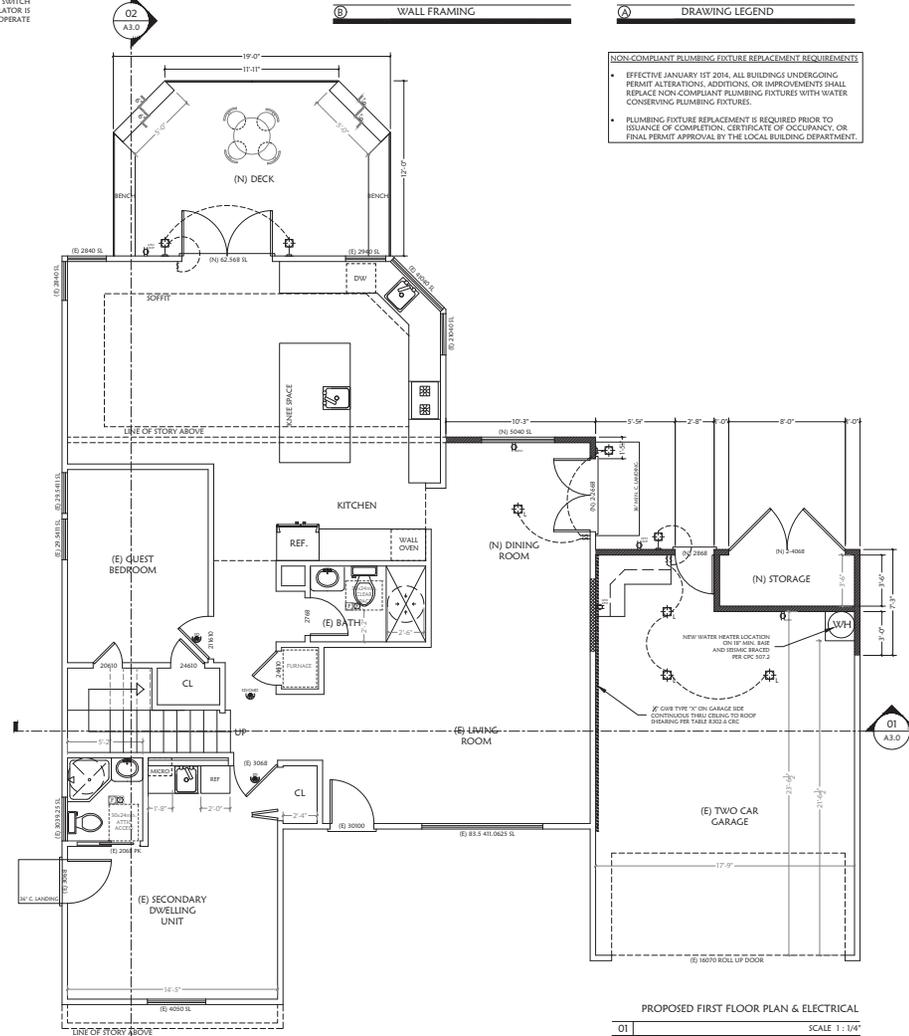
CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDE WALL OF SHOWER COMPARTMENTS CPC 411.10 SHOWER AND TOP SHOWERS COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE CONTROL VALVES (CPC 411).

- NOTE 'A':
- SHOWER AND TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE FINISH FLOOR.
 - SHOWER STALLS SHALL HAVE A CLEAR INTERIOR FINISH AREA OF 21 SQ. FT. (1.93 M²) AND BE ABLE TO ACCOMMODATE A MIN. 30" CLEAR AT THE THRESHOLD LEVEL. THESE CLEARANCES SHALL BE MAINTAINED UP TO A HEIGHT OF 70" ABOVE SHOWER DRAIN OUTLET.



NON-COMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENTS

- EFFECTIVE JANUARY 1ST 2014, ALL BUILDINGS UNDERGOING PERMIT ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES.
- PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.



PROPOSED FIRST FLOOR PLAN & ELECTRICAL
SCALE: 1/4" = 1'-0"

INTERIOR
REMODEL FOR:

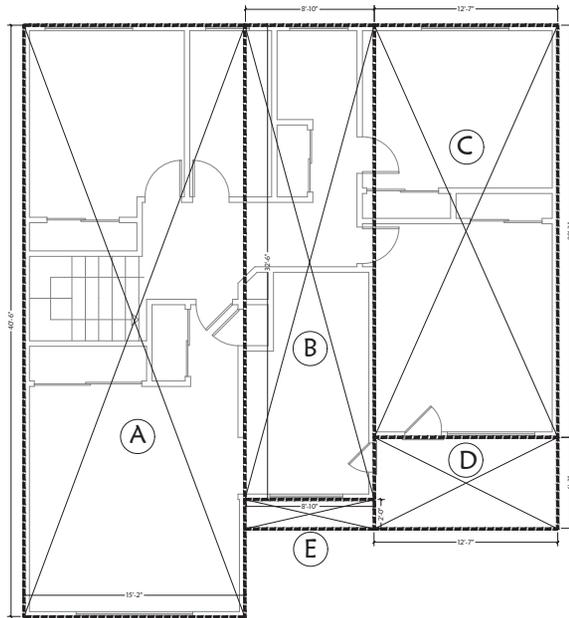
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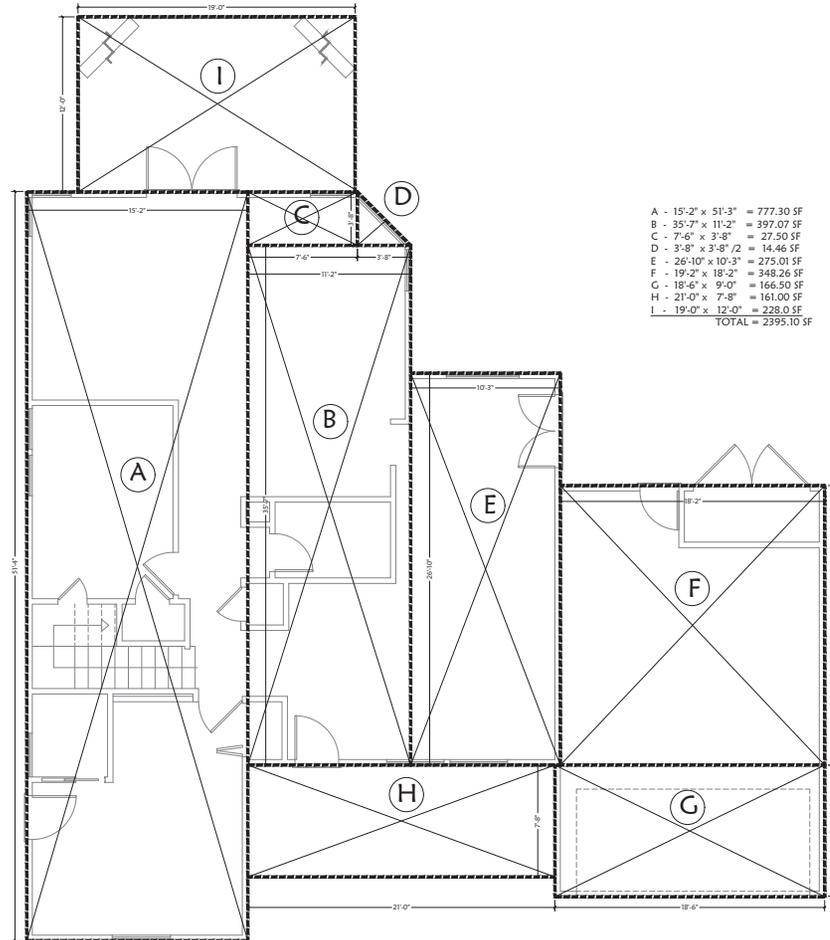
- A - 15'-2" x 40'-6" = 614.25 SF
- B - 32'-6" x 8'-10" = 287.08 SF
- C - 28'-3" x 12'-7" = 355.48 SF
- D - 12'-7" x 6'-3" = 78.63 SF
- E - 8'-10" x 2'-0" = 17.65 SF
- TOTAL = 1353.09 SF**



FIRST FLOOR PLAN

01 SCALE 1:1/4"

- A - 15'-2" x 51'-3" = 777.30 SF
- B - 35'-7" x 11'-2" = 397.07 SF
- C - 7'-6" x 3'-8" = 27.50 SF
- D - 3'-8" x 3'-8"/2 = 14.46 SF
- E - 26'-10" x 10'-3" = 275.01 SF
- F - 19'-2" x 18'-2" = 348.26 SF
- G - 18'-6" x 9'-0" = 166.50 SF
- H - 21'-0" x 7'-8" = 161.00 SF
- I - 19'-0" x 12'-0" = 228.0 SF
- TOTAL = 2395.10 SF**



FIRST FLOOR PLAN

01 SCALE 1:1/4"

ALI ABIANI

REVISION:

1	
2	

DRAWN:

SHM

DATE:

MAR. 19. 2021

DRAWING TITLE:

AREA
CALCULATION

SHEET NO.

A1.3

EMERGENCY ESCAPE AND RESCUE OPENINGS

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 42 INCHES (1016 MM) MEASURED FROM THE WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

EGRESS DOOR.

AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDEHINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE MINIMUM CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

FLOORS AND LANDINGS AT EXTERIOR DOORS.

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT).

VERTICAL EGRESS.

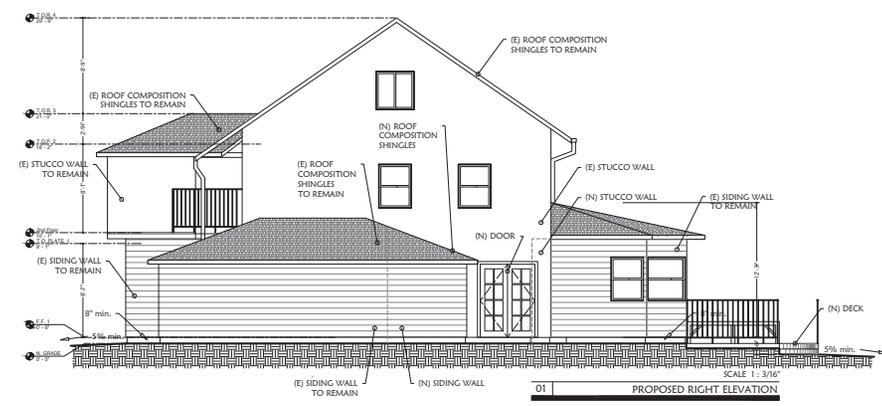
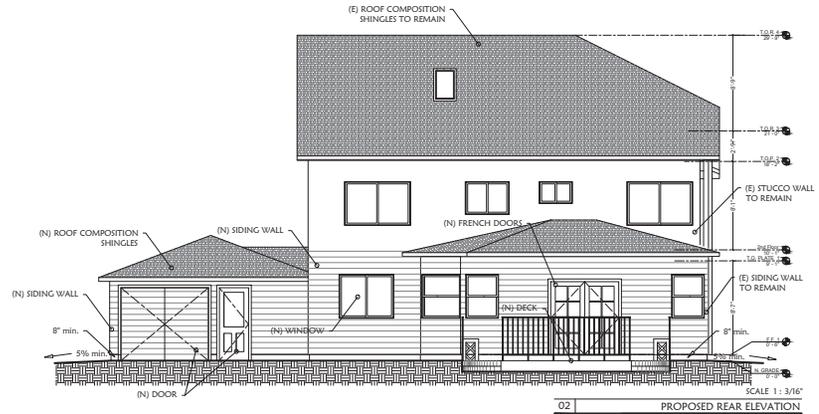
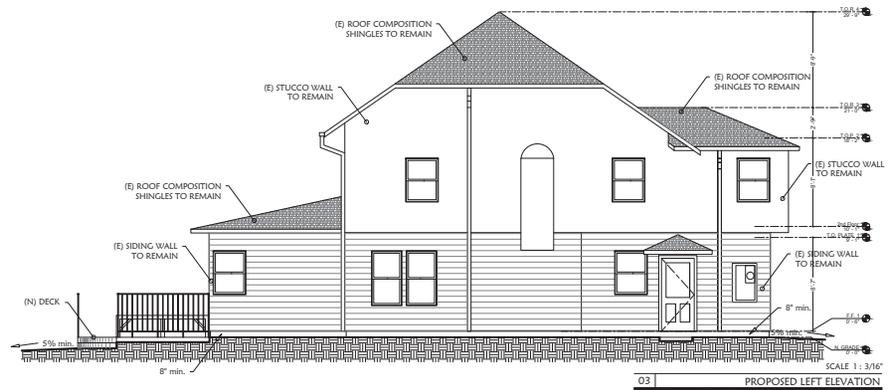
EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTICS AND BASEMENTS NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R311.2 SHALL BE BY ONE OR MORE RAMPS IN ACCORDANCE WITH SECTION R311.8 OR ONE OR MORE STAIRWAYS IN ACCORDANCE WITH SECTION R311.7 OR FOR HABITABLE LEVELS OR BASEMENTS LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 50 FEET (15240 MM).

RAMPS

SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 12 UNIT HORIZONTAL (8.3-PERCENT SLOPE).

ENERGY INSULATION:

1. INSTALL INSULATION IN WALLS BETWEEN CONDITIONED AND UNCONDITIONED SPACE PER ENERGY REPORT
2. INSTALL INSULATION AT CEILINGS EXPOSED TO UNCONDITIONED SPACE WITH MINIMUM 1" AIR SPACE BETWEEN INSULATION AND UNDERSIDE OF ROOF SHEATHING FOR VENTILATION.
3. INSULATION SHALL BE INSTALLED CORRECTLY WITH NO GAPS GREATER THAN 1/8" (USE FOAM); NO VOIDS; NO COMPRESSIONS DEEPER THAN 1/4" (LESS THAN 10% OF CAVITY AREA), WITH INSULATION COMPLETELY FILLING THE CAVITY AND MINIMUM 90% IN CONTACT WITH ALL 6 CAVITY SURFACES (FLUSH WITH THE FACE OF FRAMING MEMBERS). INSULATION SHALL BE CUT TO FIT AROUND WIRING OR PLUMBING, OR SPLIT TO ENCAPSULATE WIRING OR PLUMBING. RECOMMEND USING UNFACED BATTS, BUT IF FACED, THE VAPOR RETARDER SHALL FACE INTO THE CONDITIONED SPACE.



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REMODEL FOR:
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REVISION:
DRAWN:
SHM
DATE:
MAR.19.2021
DRAWING TITLE:
PROPOSED ELEVATIONS
SHEET NO.
A2.0

WINDOW AND SLIDING GLASS DOOR NOTES:

GENERAL:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL WINDOWS, PATIO DOORS AND SKYLIGHTS AND PROVIDE ALL FLASHING AND CAULKING REQUIRED TO PROVIDE A WEATHER PROOF INSTALLATION. THE INSTALLATION SHALL CONFORM TO CEC AIR FILTRATION STANDARDS.

2. WINDOWS AND PATIO DOORS SHALL BE LABELED PER THE CEC

3. WINDOWS AND PATIO DOORS SHALL HAVE DOUBLE GLAZING AND WEATHER STRIPPING MEETING ANSI AND CEC AIR FILTRATION STANDARDS.

4. THE CONTRACTOR SHALL FURNISH AND INSTALL SCREENS AT ALL OPENINGS.

TAPERED SAFETY GLAZING:

PROVIDE TAPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS:

A. WHERE GLAZING IS LOCATED WITHIN A 24 INCH ARC OF A WINDOW VERTICAL EDGE.

B. WINDOWS GREATER THAN NINE SQUARE FEET WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LOCATED LESS THAN 18 INCHES ABOVE THE FINISH FLOOR.

C. WHERE GLAZING IS LOCATED IN WALLS ENCODING STAIRWAYS AND STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE.

D. WINDOWS OVER BATHUB OR SHOWER.

E. ALL GLASS SHOWER ENCLOSURES.

F. SKYLIGHTS AND SLOPED GLAZING.

EDGES:

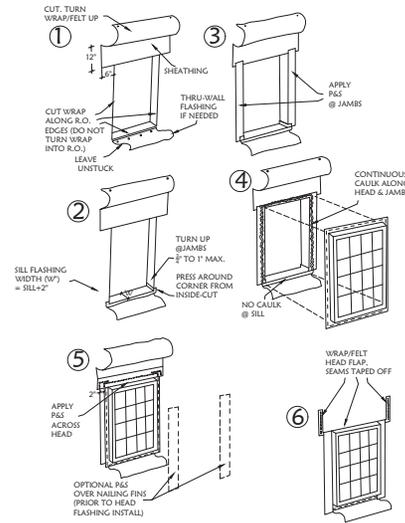
1. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR ESCAPE WINDOW.

2. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. 1st FLOOR 5.0 S.F.

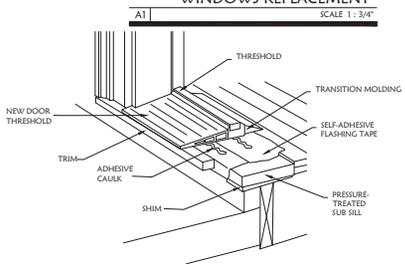
3. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.

4. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.

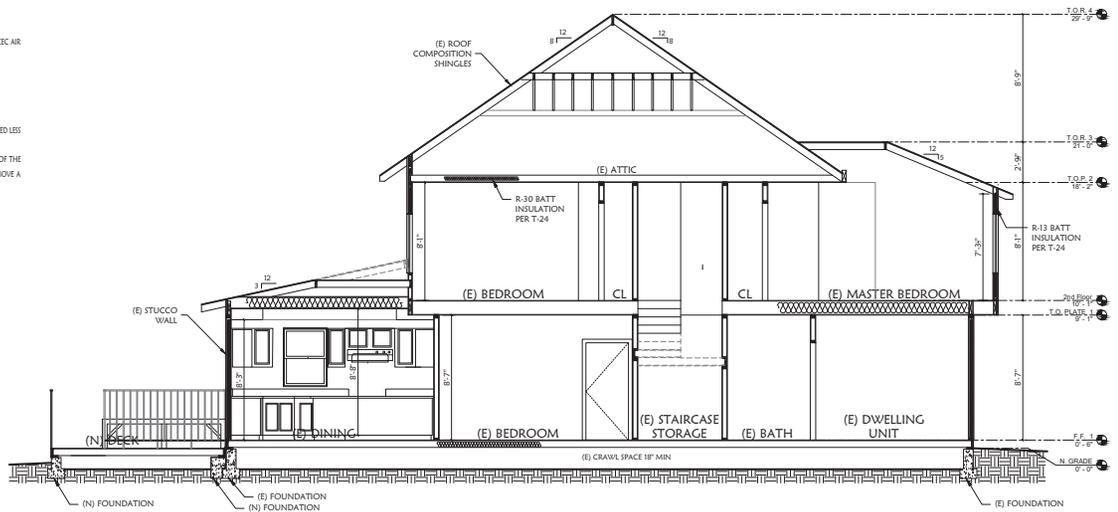
5. THE FINISH SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR INCLUDE WINDOW TRACK (WINDOW OPENING HEIGHT)



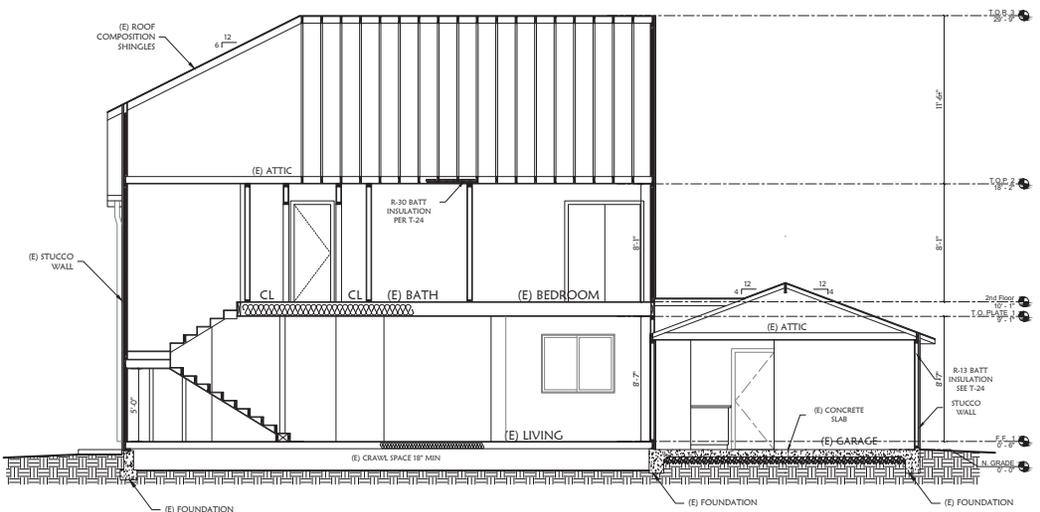
WINDOWS REPLACEMENT SCALE 1: 3/4"



THRESHOLD SCALE 1: 3/4"



CROSS SECTION 1 SCALE 1: 1/4"



CROSS SECTION 2 SCALE 1: 1/4"

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ALI ABIANI

REVISION:
DRAWN:
SHM
DATE:
MAR. 19. 2021
DRAWING TITLE:

CROSS SECTIONS

SHEET NO.
A3.0