



CITY OF CAMPBELL
Community Development Department

April 6, 2021

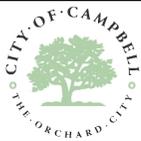
NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit with a Parking Modification Permit for the following project proposal:

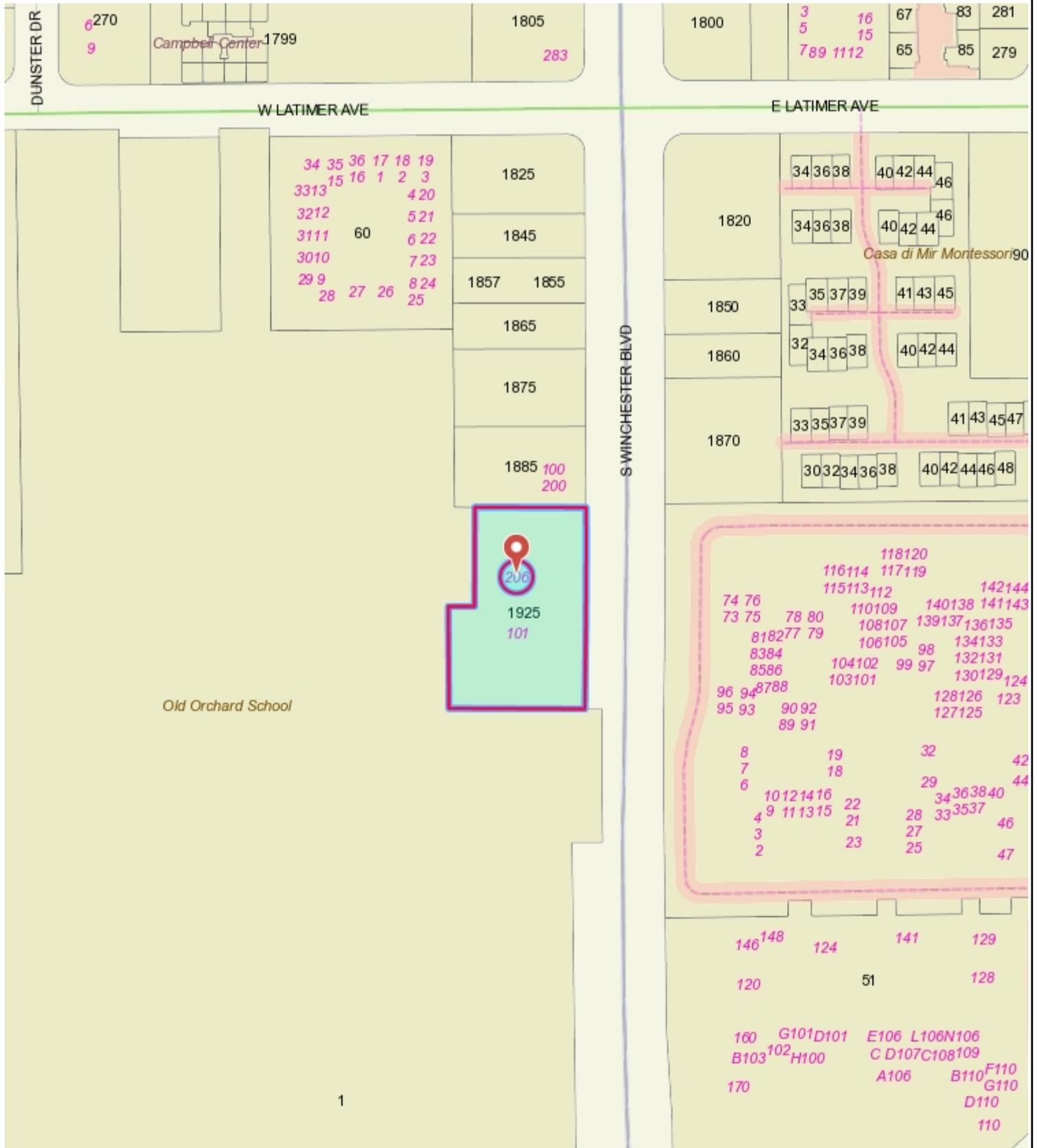
File No.:	PLN-2021-46
Applicant:	Young Joo Kim
Project Address:	1925 S. Winchester Blvd. Suite 205
Property Owner:	Nmsbpcslidhb LP
Zoning District:	P-D (Planned Development)
General Plan:	Central Commercial
Project Description:	<ul style="list-style-type: none">• New medical office (Acupuncture clinic) within existing office space• No expansion of the existing tenant space or building• Business hours limited to Tuesdays and Thursdays 9:00am-6:00pm; Saturdays 9:00am-1:00pm

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The 10-day comment period for this application begins on April 6, 2021 and ends on April 16, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **April 16, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and documents may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



Location Map - 1925 S. Winchester Blvd., Ste. 205



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

AcuBay Clinic, Inc.
1925 Winchester Blvd #205, Campbell, CA
1,094 SQ/FT

AcuBay Clinic, Inc is a registered and licensed acupuncture clinic that will be located 1925 Winchester Blvd #205, Campbell, CA. AcuBay Clinic is business to offer core acupuncture treatments to pediatrics and adults. We are well trained, equipped and positioned to offer acupuncture therapies and treatments in a systematic way to individuals.

We are in the alternative medicine industry to deliver excellent acupuncture services to people who will patronize our services.

AcuBay Clinic operates on Tuesdays, Thursdays from 9:00 to 6:00 and Saturdays from 9:00 to 1:00.

Owner: Young Joo Kim, licensed acupuncturist

of employees: 2

Daily # of clients : up to 10 – 15

Visits are based on appointments.

OWNER'S CERTIFICATE

We hereby certify that we are the owners of or have some right, title or interest in and to the real property included within the subdivision shown on the map; that we are the only persons whose consent is necessary to pass a clear title to said real property; that we hereby consent to the making of said map and subdivision as shown within the distinctive border line; and that we hereby offer for dedication to public use all streets and portion of streets not previously existing as shown on the map within said subdivision, and also dedicate to public use easements for any and all public uses under, upon and over said streets and said portions thereof.

OWNERS: Alan A. Rubnitz
Lelon C. Wickert

Alan A. Rubnitz *Lelon C. Wickert*
TRUSTEE: Commonwealth Land Title Company, a corporation
By: *William J. Nagley*

STATE OF CALIFORNIA }
COUNTY OF SANTA CLARA } S.S.

On this 20th day of SEPTEMBER, 1985 before me, the undersigned a Notary Public in and for said County of Santa Clara, State of California, personally appeared ALAN A. RUBNITZ, & LELON C. WICKERT, known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same as owners.

Witness my hand and Official Seal.



Lynda K. Coburn
Notary Public

STATE OF CALIFORNIA
County of Santa Clara
On this 1st day of December, 1985, before me the undersigned a Notary Public in and for said County of Santa Clara, residing therein, duly commissioned and sworn, personally appeared Shirley Nichols & Joseph Elliott, known to me or proved to me on the basis of satisfactory evidence to be the persons who executed the within instrument purporting to be the incorporation of Commonwealth Land Title Company, a corporation therein named and acknowledged to me that such corporation executed the within instrument pursuant to its by-laws or a resolution of its Board of Directors, and I witnessed my hand and Official Seal.

Shirley Nichols
Notary Public

PARCEL MAP
CONSISTING OF ONE SHEET

BEING A PORTION OF SECTION 27
TOWNSHIP 7 SOUTH, RANGE 1 WEST
M.D.B.M. & LYING WITHIN THE CITY OF

CAMPBELL CALIFORNIA
SCALE: 1" = 40'

BASIS OF BEARING

The bearing of the centerline of Santa Clara-Los Gatos Road (now named S. Winchester Blvd.) being N00° 06' W as shown on that certain record of survey filed for record in Book 17 of maps at page 13 Santa Clara County Records was taken for the Basis of Bearings shown hereon.

ENGINEER'S CERTIFICATE

This map was prepared by me or under my supervision and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of Lelon C. Wickert in Dec. 1984. I hereby state that this Parcel Map substantially conforms to the approved or conditionally approved Tentative Map if any.

Joe L. Akers
JOE L. AKERS RCE 20372

CITY ENGINEER'S CERTIFICATE

This map conforms to the requirements of the Subdivision Map Act and local ordinance at the request of Joseph Elliott RCE 18731, City Engineer, City of Campbell, CA. No. 18730

by *Joseph Elliott*
CIVIL ENGINEER
STATE OF CALIFORNIA

RECORDER'S CERTIFICATE

File No. 8647957 fee \$6.00 paid accepted for record and filed in Book 534 of maps at page 43 Santa Clara County Records. This 7th day of JANUARY 1985 at 2:28 PM. M at the request of Joe L. Akers.

Laurie Kane Recorder
Santa Clara County, California
by *Fe P. Akers*
Deputy

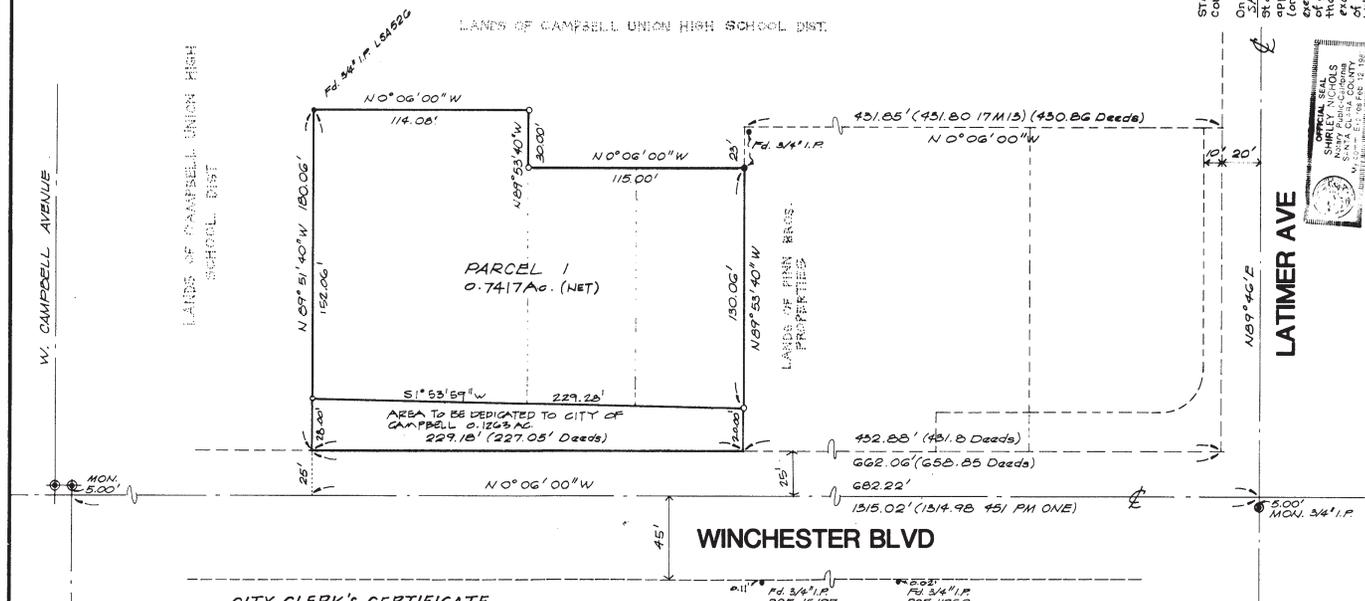
LEGEND & NOTES

- ⊙ INDICATES STANDARD CITY MONUMENT SET
- INDICATES STANDARD CITY MONUMENT FOUND
- INDICATES 3/4" IRON PIPE SET UNLESS NOTED OTHERWISE
- INDICATES 3/4" IRON PIPE FOUND UNLESS NOTED OTHERWISE

All distances and dimensions are given in feet and decimals thereof.
The blue boarderline indicates the boundary of land subdivided by this map.

JOE L. AKERS
CIVIL ENGINEER
APTOS CALIFORNIA

SHEET ONE OF ONE SHEET



CITY CLERK'S CERTIFICATE

THE OFFER FOR DEDICATION IS HEREBY ACCEPTED FOR AND ON BEHALF OF THE CITY OF CAMPBELL.

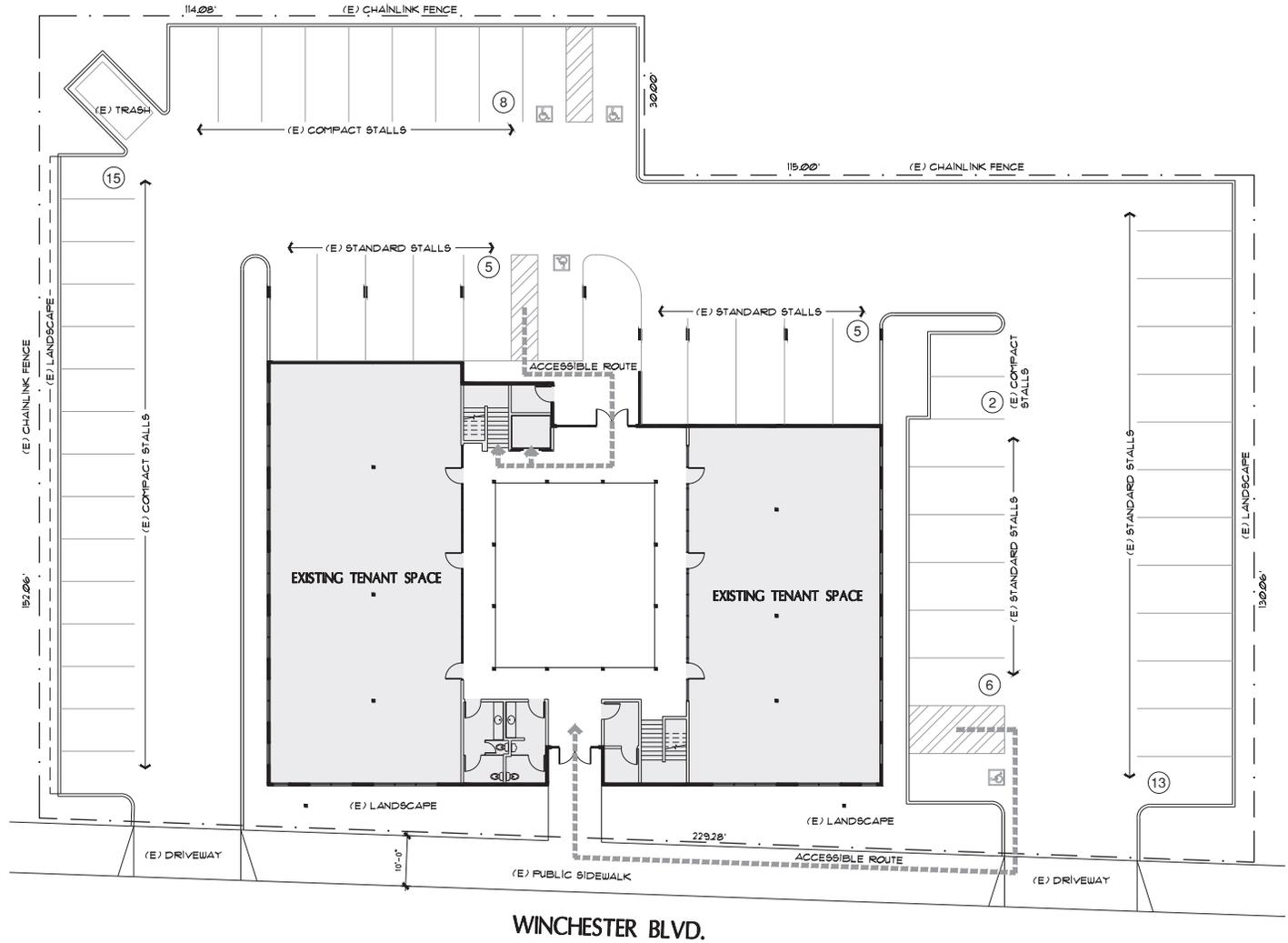
DATE: 10/31/85 CITY CLERK: *Anne G. Coyne*
ANNE G. COYNE

AcuBay Clinic
1925 S. Winchester Blvd, 205
Campbell, CA 95008

Job Number: 21002
Date: 03/05/1991
Drawn: STAFF
Sheet Title:
PARCEL MAP
Scale:
AS NOTED

Revisions:
△
△
△
△
△
△
△
△
△
△

A0.4



SITE PLAN WITH ACCESSIBLE ROUTE

SCALE: 1" = 10'-0"



hpc architecture, inc.
 Project: AcuBay Clinic
 1925 S. Winchester Blvd., 205
 Campbell, CA 95008
 408.387.4341 / Fax: 408.387.4311 / Web: www.hpc-arch.com

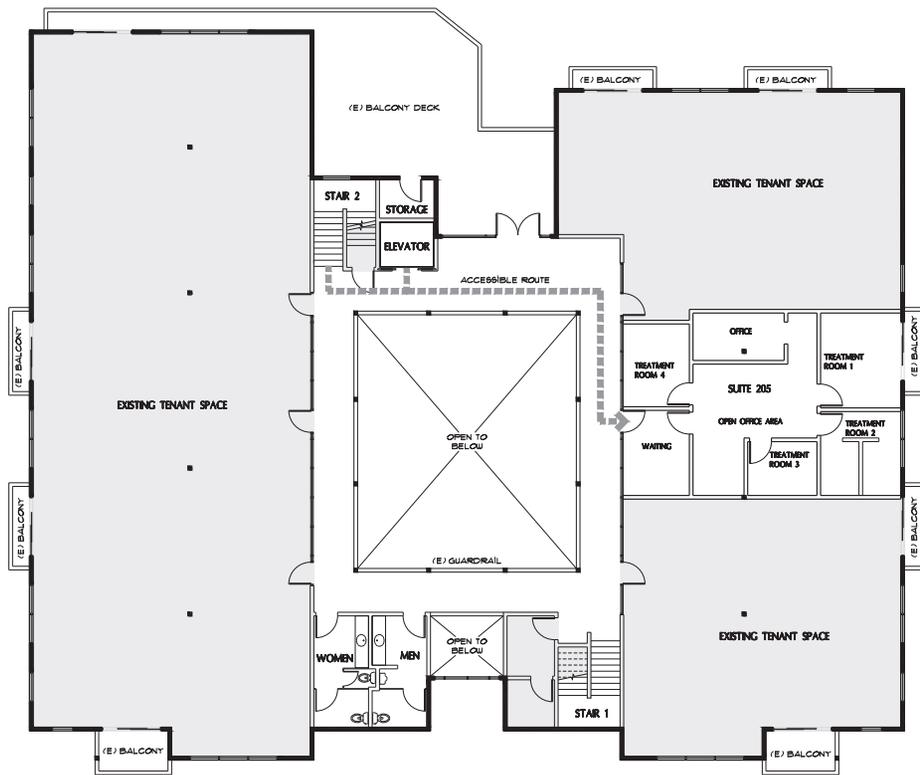
AcuBay Clinic
 1925 S. Winchester Blvd, 205
 Campbell, CA 95008

Job Number: 21021
 Date: 03/05/2021
 Drawn: ST/SP
 Sheet Title: (E) SITE PLAN
 Scale: AS NOTED

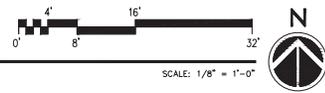
Revisions

PRINTED ON RECYCLED PAPER

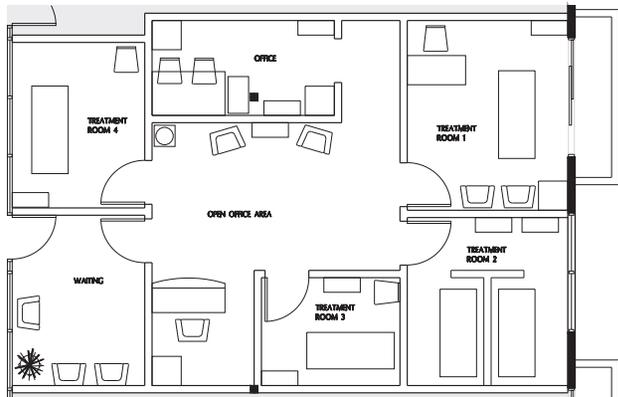
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FLOOR PLAN, SECOND FLOOR
WITH ACCESSIBLE ROUTE

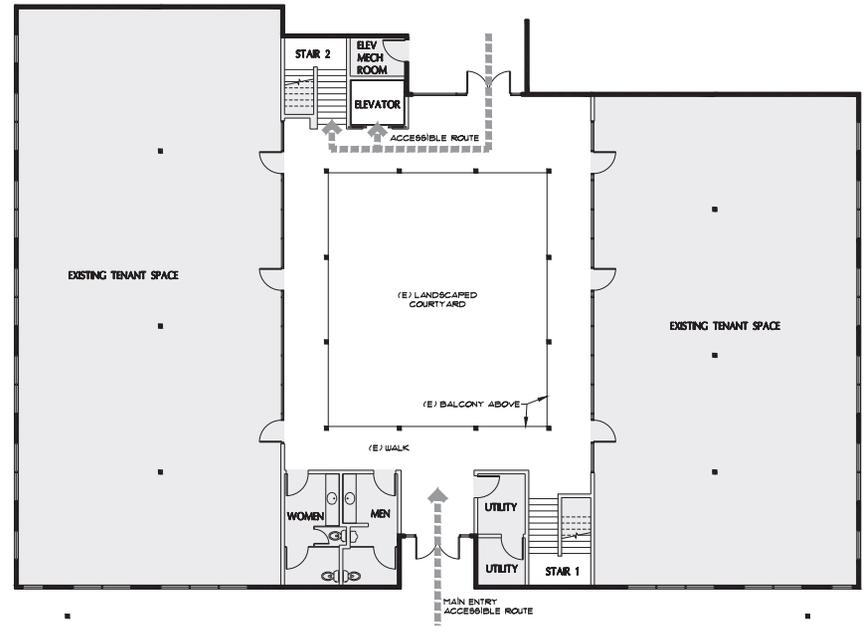


SCALE: 1/8" = 1'-0"

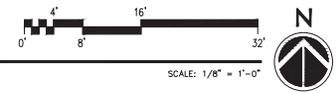


SUITE 205 FURNITURE PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN, FIRST FLOOR
WITH ACCESSIBLE ROUTE



SCALE: 1/8" = 1'-0"

hpc architecture inc.



AcuBay Clinic
1925 S. Winchester Blvd, 205
Campbell, CA 95008

Job Number
210202
Date
03/09/2021
Drawn
STAFF
Sheet Title
FLOOR PLANS
1st, 4 2nd FLOORS
Scale
AS NOTED

Revisions



PRINTED ON RECYCLED PAPER

A2.0