



**CITY OF CAMPBELL**  
Community Development Department

May 4, 2021

**NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

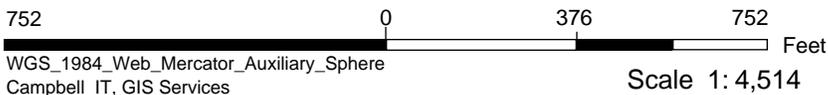
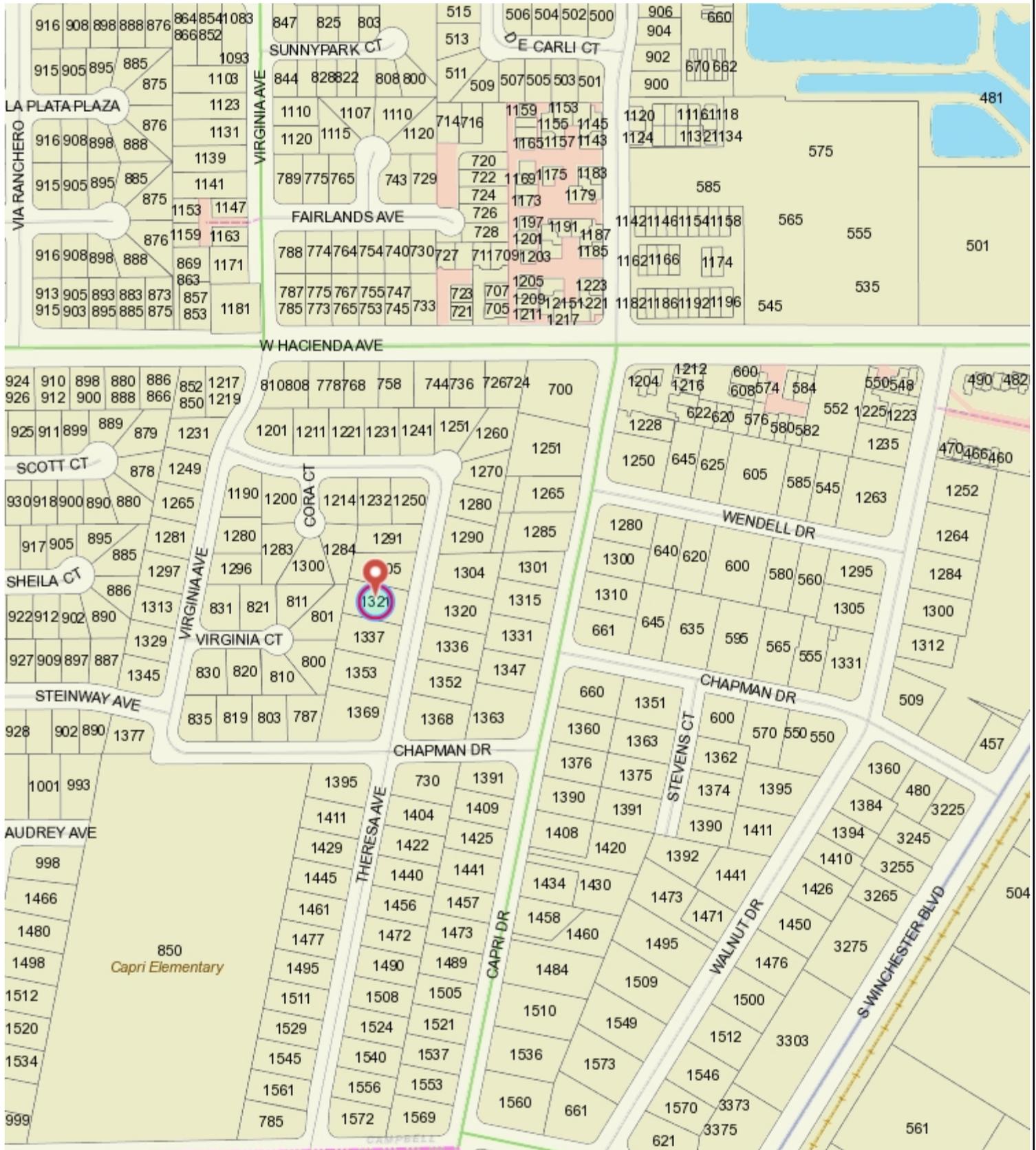
**File No.:** PLN-2020-155  
**Applicant:** Tailong Ke  
**Project Address:** 1321 Theresa Ave  
**Property Owner:** Lynn Nordyke  
**Zoning District:** R-1-8 (Single Family Residential)  
**General Plan:** Low Density Residential (San Tomas Area Neighborhood Plan)  
**Neighborhood Association(s):** San Tomas Area Community Coalition  
**Project Description:** Approximately 705 sq. ft. single-story addition with a new interior junior accessory dwelling unit at an existing single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The 10-day comment period for this application begins on May 4, 2021 and ends on May 14, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **May 14, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email [nazh@campbellca.gov](mailto:nazh@campbellca.gov).



# Location Map - 1321 Theresa Ave.



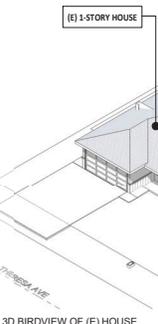
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

# NORDYKE RESIDENCE ADDITIONS (HOUSE ADDITION)

## 1321 Theresa Ave, Campbell, CA 95008

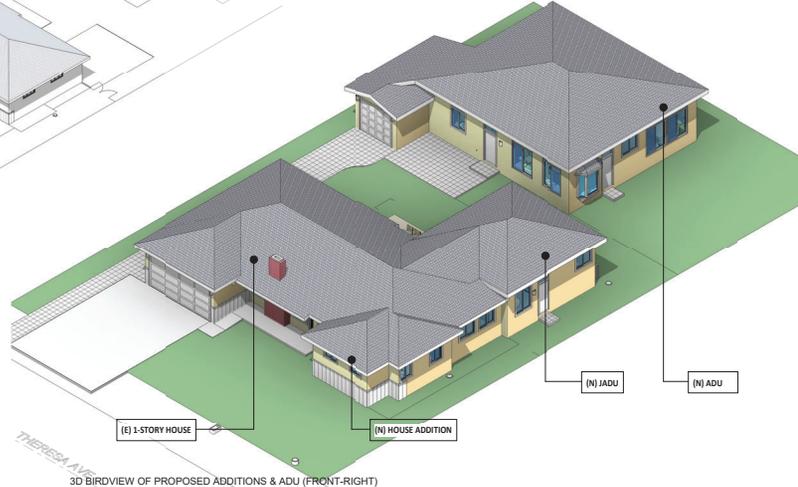
### GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE FORMS OF GOODS AND MATERIALS ON SIDEWALKS AND/OR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNER FOR CONSTRUCTION DEFICIENCIES. MODIFICATIONS OF SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING PIPE IMPROVEMENTS INCLUDING FIVED AREA. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISAPPEAR ITEMS AND CONDITIONS THAT MAY WORKS OUT TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. GENERAL CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND NOTIFY MAJOR ALL OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT SHALL USE LOW-VOC PAINT. USE LOW-VOC ADHESIVES AND USE FIRE-RESISTANT MATERIALS FOR INTERIOR COLOR, FLOOR, WALLS AND CEILING. FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL RESIDENTIAL BUILDINGS, NEW & ADDITION, SHALL COMPLY WITH THE MANUFACTURER REQUIREMENTS OF 2019 CALIFORNIA GREEN BUILDING CODE.
- THE BUILDING ADDRESS SHALL BE MAINLY LOCATED AND VISIBLE FROM THE PUBLIC STREET. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- PAVE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
- TERRACE SHALL BE PROTECTED OR SAVED FOR REUSE AS SPECIFIED. TERRACE DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION. TERRACE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITIES TO THE DESIGNATED AREA.
- GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN ROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G.C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.
- IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE ARCHITECT BEFORE PROCEEDING.
- GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- WEATHER STRIP ALL EXTERIOR DOORS AND WINDOWS.
- CALL OUT OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO EXTERIOR WINDOW AND DOOR FRAMES, BETWEEN GISE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATER-TIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.



### Waste Management Statement (Summary Statement)

Construction waste shall be collected in concrete, masonry, brick, tile, stucco, and plaster and placed in a portable containment pool or in a lined impervious pit. Wash-water shall not enter the storm water system. Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain paints, solvents, glues, taping compound, food products, or easily recyclable plastic discs such as bottles, cans, plastic, or paper. Remaining trash shall be limited to concrete, wood, gravel, roofing, and assorted metals and shall be covered with a waterproof tarp. Trash shall be separated as an approved by area disposal site such as Goodwage Recycling. All trash is to be quickly hauled off site. Retain the receipt and keep with the permit documents, proof of receipt and disposal of the job site trash will be checked periodically and prior to final inspection. Or call West Valley Collection and Recycling (408) 283 8250 will deliver a roll-off debris box and sort the trash off site.



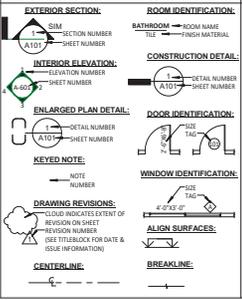
### CITY OF CAMPBELL NOTES

- THE PROJECT SHALL COMPLY WITH THE SUBMITTED WASTE MANAGEMENT PLAN.
- NO PRODUCT MAY BE USED THAT EXCEEDS CALIFORNIA'S MAXIMUM LIMITS ON VOLATILE ORGANIC COMPOUNDS (VOC).
- CONSTRUCTION HOURS ARE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY AND 9 AM TO 3 PM SATURDAY. NO CONSTRUCTION ON SUNDAYS AND HOLIDAYS.

### DEFERRED SUBMITTALS

HVAC SYSTEM, GAS PIPING DIAGRAM, COMPLETE WITH BTU USAGE OF EACH PIECE OF EQUIPMENT AND GAS PIPE DIAMETER AND LENGTH OF EACH PIPE RUN WILL BE A DEFERRED SUBMITTAL BY HVAC/PLUMBING DESIGN-BUILT CONTRACTOR.

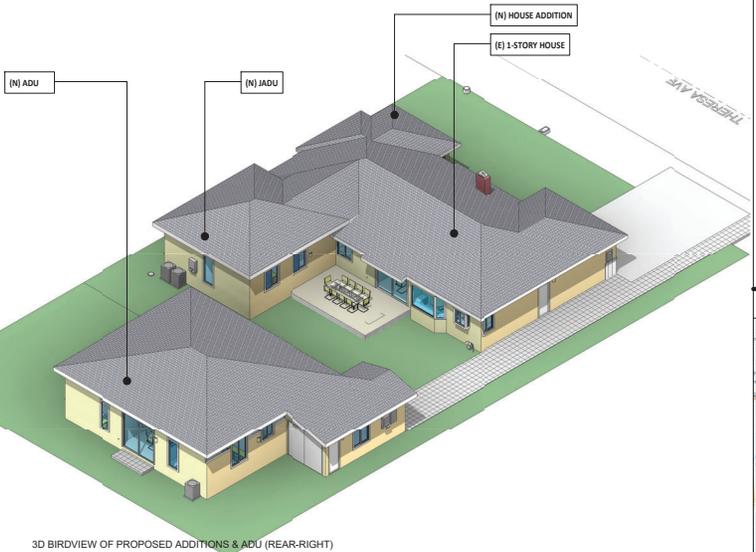
### SYMBOL



### ABBREVIATION

ALT	Alternate
BLK	Block
BM	Beam
CONT	Contour
CONC	Concrete
RET	Retaining
DCK	Decking
DIA	Diameter
E1	Existing
SA	Each
ETC	Etcetera
EXT	Exterior
FIB	Fiber
FR	Floor
FRNG	Framing
FTG	Footing
GA	Galv.
GAUV	Galvanized
G.B.	gypsum board
MFR.	Manufacturer
NI	New
OC	On Center
OPNG	Opening
PRVD	Provided
PT	Pressure Treated
ROND	Reinforced
RECD	Reinforced
RET	Retaining
SHDR	Shedder
SSD	See Structural Document
TYPE	Type
U.O.N.	Unless Otherwise Noted
V.I.F.	Verify in Field (by GC)

**NOTE TO CONTRACTOR:**  
 THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOTIFY THE PROJECT DESIGNER (KEREATIVE) AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILS TO NOTIFY THE PROJECT DESIGNER (KEREATIVE) PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF PROJECT DESIGNER (KEREATIVE). APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE PROJECT DESIGNER (KEREATIVE).



SCOPE OF WORK	PROJECT DATA
TOTAL 708 SF ADDITION (508 SF OF EXISTING GROSS FLOOR AREA) TO AN EXISTING ONE STORY HOUSE. ADDED A (N) IN BATHROOM, ENLARGED (E) IN BEDROOM AND (E) KITCHEN, 408 SF OF THE ADDITION IS FOR ADU WITH ONE BEDROOM, ONE BATH.	<b>1321 Theresa Ave, Campbell, CA 95008</b> APRIL 06 10 00 AM PROJECT NO: 1321-2020-0001 PROJECT ADDRESS: 1321 Theresa Ave, Campbell, CA 95008 PROJECT PHONE: 408-316-1474 PROJECT INCLUDES: (N) HEATING/COOLING SYSTEM, UNCOVERED PATIO. *NEW ADU WILL BE A SEPARATE PERMIT

PROJECT TEAM	LOT SIZE:
<b>PROJECT DESIGNER:</b> KERRATIVE DESIGN 3190 VERDANT WAY SAN JOSE, CA 95137 TEL: 408-921-0005	<b>10800 SF</b>

DRAWING INDEX	CODE & ORDINANCE
--- ARCHITECTURAL (HOUSE) --- A-0.1 COVER SHEET (HOUSE ADDITION & ADU) A-0.2 BLUEPRINT FOR A CLEAR BAY A-0.3 SITE PHOTOGRAPHY A-0.1.1 SITE PLANS, TREE SURVEY & FLOOR PLAN GENERAL NOTES A-1.2 DEMO PLANS A-1.3 FLOOR AREA DIAGRAM, AREA CALCULATION & NET SPECS A-2.1 PROPOSED HOUSE FLOOR PLAN & DOOR/WINDOW SCHEDULES A-2.2 PROPOSED HOUSE ROOF PLAN & DETAILS A-2.0 FRONT ELEVATION & COLOR CHART A-3.1 HOUSE SECTIONS & EXTERIOR ELEVATIONS A-4 HOUSE REFLECTED CEILING & MEP PLANS A-8 DETAILS	<b>PROPOSED GROSS FLOOR AREA (HOUSE, INCLUDE COVERED PORCH)</b> (E) LIVING SPACE 1136.6 SF (E) GARAGE 469.4 SF (E) COVERED PORCH 47.8 SF *MAX LOT COVERAGE: 10800 * 35% = 3780 SF <b>PROPOSED GROSS FLOOR AREA (HOUSE, INCLUDE COVERED PORCH)</b> (E) LIVING SPACE 1133.0 SF (E) PARTIAL GARAGE CONVERTED 194.3 SF (N) BEDROOM ADDITION 117.5 SF (N) ADU 180.5 SF (N) GARAGE 365.4 SF (E) COVERED PORCH 47.8 SF 2355.0 SF *ADDITION/EXISTING GROSS FLOOR AREA: (2357.7-3683.8)/3683.8 = 37.91% > 42.8%

--- ENERGY REPORT (HOUSE) ---	--- STRUCTURAL (HOUSE) ---
T24.1 HOUSE ADDITION - ENERGY REPORT -01 T24.2 HOUSE ADDITION - ENERGY REPORT -02 T24.3 HOUSE ADDITION - ENERGY REPORT -03	S-1 GENERAL NOTES & ABBREVIATIONS S-2 STRUCTURAL DETAILS S-3 STRUCTURAL DETAILS S-4 FOUNDATION PLAN (MAIN HOUSE) S-5 CEILING FRAMING PLAN (MAIN HOUSE) S-6 ROOF FRAMING PLAN (MAIN HOUSE)

PROPOSED GROSS FLOOR AREA (DETACHED ADU)	PROPOSED GROSS FLOOR AREA (NEW ATTACHED GARAGE)	TOTAL PROPOSED GROSS FLOOR AREA ON THE SITE
(N) ADU 1199.4 SF	(N) GARAGE 222.3 SF	(E) HOUSE TOTAL GROSS FLOOR AREA 3955.0 SF (E) ADU TOTAL GROSS FLOOR AREA 1199.4 SF (E) NEW ATTACHED GARAGE 222.3 SF 5376.7 SF

PROPOSED LOT COVERAGE RATIO	PROPOSED HOUSE FLOOR AREA (HOUSE, INCLUDE COVERED PORCH)	PROPOSED HOUSE FLOOR AREA (NEW ATTACHED GARAGE)
37.91% (376.7/10000)	376.7 SF	376.7 SF

BUILDING SETBACKS	EXISTING/PROPOSED
FRONT 30'	(E) 12' 0" NO CHANGE
SIDE/REAR 5'	(E) 13' 0" PROUSE, NO CHANGE; (N) ADU 5' 0"
REAR 30'	(E) 12' 0" (N) 8' 0" (N) ADU 10' 0"

VICINITY MAP
Map showing the project location at 1321 Theresa Avenue, Campbell, CA, near Central Park and San Tomas.

**NORDYKE RESIDENCE ADDITIONS (HOUSE ADDITION & JADU)**  
 MR./MRS. NORDYKE  
 1321 Theresa Ave, Campbell, CA 95008

No.	Description	Date
1	CLIENT REVIEW	03.30.20
2	ISSUED FOR PERMIT	10.19.20
1	PLAN CHECK-1 RESPONSE	01.11.21
2	PLANNING REVIEW RESPONSE	04.20.21

COVERSHEET (HOUSE ADDITION & JADU)
SCALE As indicated
PROJECT NO K0200603
SHEET NUMBER A-0.1





1 - FRONT ARIEL



2 - REAR ARIEL



3 - FRONT YARD



4 - BACKYARD PATIO



5 - BACKYARD



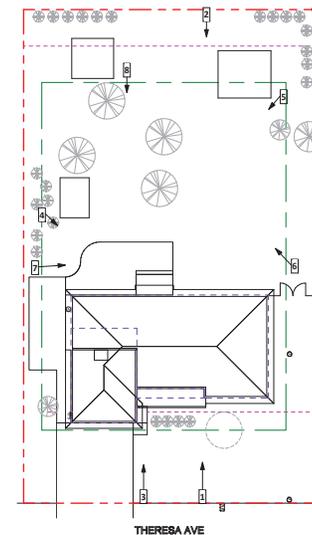
6 - BACKYARD



7 - BACKYARD



8 - BACKYARD



SITE PHOTOGRAPHY KEY/LEGEND

*[Signature]*

**NORDYKE RESIDENCE  
 ADDITIONS**

MR./MRS. NORDYKE  
 1321 Theresa Ave, Campbell, CA 95008

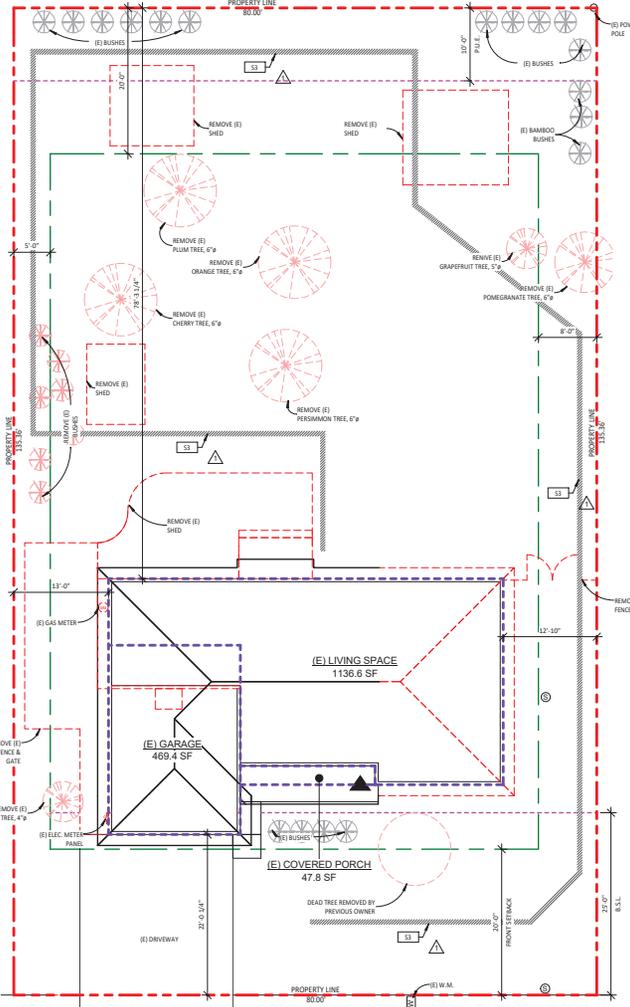
No.	Description	Date
	CLIENT REVIEW	03.30.20
	ISSUED FOR PERMIT	10.19.20

**SITE PHOTOGRAPHY**

SCALE	As indicated
PROJECT NO	KD200603
SHEET NUMBER	<b>A-0.3</b>

**FLOOR PLAN - GENERAL NOTES**

- REFER TO OTHER PLANS AND ELEVATIONS FOR ADDITIONAL NOTES AND INFORMATION.
- NEW INTERIOR WALL TO BE 2x4 OR 2x6 WOOD STUDS @ 16" O.C. WITH 1/2" THK GYP BD ON BOTH SIDES USE WIR GREEN GYP BD. 8" MET WALLS 1/2" GYP WOOD STUDS @ 16" O.C. SHARPLY W/IN. INTERIOR WALLS RECEIVE SMOOTH FINISH TO MATCH EXISTING. PAINT ALL INTERIOR AREAS OF NEW CONSTRUCTION AND AREAS AFFECTED BY NEW CONSTRUCTION. VIVID COLORS TO BE DETERMINED.
- NEW EXTERIOR WALL TO BE 2x4 OR 2x6 WOOD STUDS @ 16" O.C. WITH 1/2" THK GYP BD. INTERIOR SIDE 7/8" CEMENT PLASTER OVER PAPER BACKED LATH OR WOOD SIDING OVER #15 BLDG PAPER (PAINTED) OVER 1/2" CON PLASTER (SEE ELEVATION FOR EXTERIOR FINISH).
- INSTALL NEW HARDWOOD FLOOR THROUGHOUT AREAS OF NEW CONSTRUCTION TO MATCH EXISTING.
- PROVIDE NEW PLUMBING SURFS, DRAINS AND WATER FIXTURES TO ACCOMMODATE NEW FLOOR PLAN LAYOUT.
- ALL WORK SHOULD CONFORM TO LOCAL AND STATE BUILDING CODES.
- ALL BEDROOM SHOULD HAVE EGRESS WINDOWS. EGRESS WINDOWS SHALL HAVE A MIN NET CLEAR OPERABLE AREA OF 5.7 SQ FT. THE MIN NET CLEAR OPERABLE AREA SHALL BE 20" AND THE MIN NET CLEAR OPERABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 42" ABOVE THE FLOOR.
- CONTRACTOR SHALL PROVIDE NEW AIR DISTRIBUTION THROUGHOUT AREAS OF NEW CONSTRUCTION.
- PROVIDE NEW DOORS THROUGHOUT AT AREA OF WORK.
- PROVIDE NEW ASPHALT SHINGLE ROOFING AT NEW ROOF TO MATCH EXISTING.
- PROVIDE NEW PAINTED 5/4" WOOD BASE AT ALL HARDWOOD FLOORING TO MATCH EXISTING.
- PROVIDE SMOOTH HARD, NON-ABSORBENT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 7/2" AT ALL SKIRTS & TUBESHOWER WALLS.
- PER CALIFORNIA CIVIL CODE ARTICLE 1901.4 AND CALSRENS SECTION 3011, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE-FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPM WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MINIMUM FLOW RATE OF 2.0 GPM. SHOWERHEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWERHEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM OR 1.8 GPM FOR KITCHEN FAUCETS.
- PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.
- CEMENT USE IN FOUNDATION MIX DESIGN IS REDUCED - NOT LESS THAN A 2% REDUCTION.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT W/ VOC LIMITS.
- 80% OF FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY W/ SPECIFIED VOC CRITERIA.
- PARTICLEBOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- AT LEAST 90% OF INSTALLED RESIDENT FLOORING SHALL COMPLY VOC COMPLIANT.
- INSTALL THERMAL INSULATION IN COMPLIANCE WITH VOC LIMITS.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: 1. ESTIMATE HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ASHRAE 2 MANUAL J 2004 OR EQUAL; 2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ASHRAE 2 MANUAL D 2004 OR EQUAL; SELECT HEATING EQUIPMENT ACCORDING TO ANSI/ASHRAE 2 MANUAL J 2004 OR EQUAL.
- HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
- SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THEIR INSPECTED DISCIPLINE.
- VERIFICATION OF COMPLIANCE WITH 2019 CALIFORNIA GREEN CHECKLIST MAY INCLUDE CD, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY (WHICH SHOW SUBSTANTIAL CONFORMANCE).
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE-BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 60% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE.
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
- CONTRACTOR TO DEVELOP AND IMPLEMENT TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION (DCC 4.109.2 & 4.109.3).
- PROVIDE CAPABILITY FOR ELECTRIC VEHICLE CHARGING IN GARAGE.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE-BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (DCC 4.109.1).
- ANY WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH EPA PHASE I EMISSION LIMITS (DCC 4.109.1).
- AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC SHEET METAL, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS, WHICH MAY ENTER THE SYSTEM (DCC 4.109.1).
- ADHESIVE, SEALANTS AND CAULKS SHALL MEET THE VOC OR OTHER TOXIC COMPOUND LIMITS (DCC 4.109.2).
- A GULLPARY BRUSH SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF 1/4" THICK BASE OF 1" OR LARGER CLEAN AGGREGATE UNDER A MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED (DCC 4.109.2, CRC FR692.3).
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED (DCC 4.109.3).
- GO TO SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN MEETING ITEMS 1 - 5 IN SECTION 4.089.2 COB. PLANS SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE FOR EXAMINATION DURING CONSTRUCTION.
- UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFICATION DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQS (DCC 4.109.1).
- GO TO GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED IN LANDFILLS THAT IS EQUAL TO OR LESS THAN 1 POUNDS PER SQUARE FOOT OF THE BUILDING AREA.
- AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED. TAPE, PLASTIC SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS ENTERING THE SYSTEM MAY BE USED.

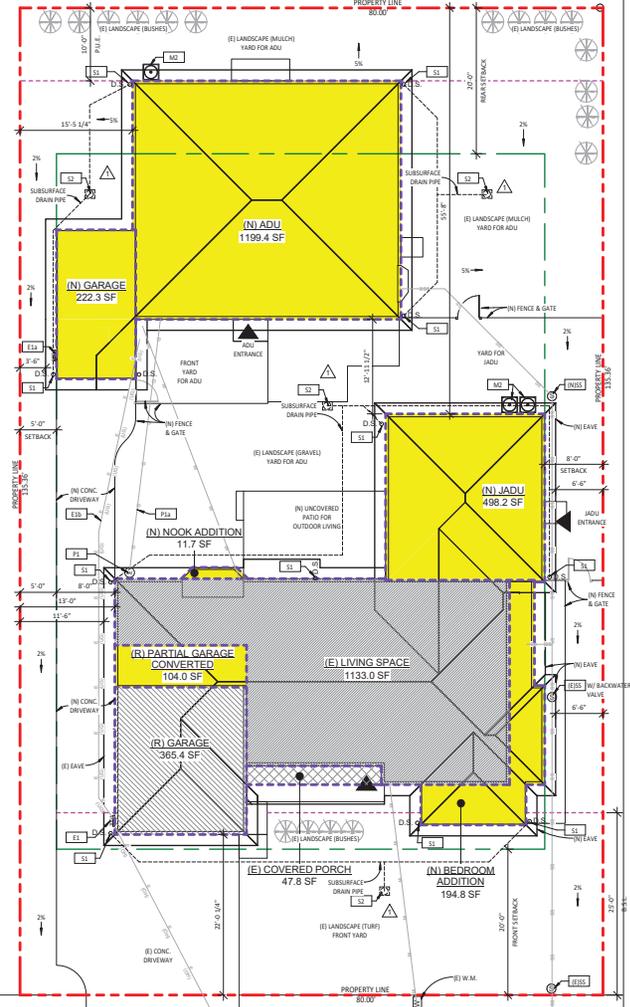


**THERESA AVE**

EXISTING SITE PLAN, TREE SURVEY & STORM WATER DRAINAGE MANAGEMENT DURING CONSTRUCTION  
1/8" = 1'-0"

**SITE PLAN - GENERAL NOTES**

- AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.
- A WATER BUDGET SHALL BE DEVELOPED FOR LANDSCAPE IRRIGATION.
- CONTRACTOR PROVIDE WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN THAT REDUCES THE USE OF POTABLE WATER CODE NOT EXCEED 65% OF ETO TIMES THE LANDSCAPE AREA.
- NO WORK IN FRONT YARD, (E) CONC. CURB CUT, (E) DRIVEWAY, (E) WALKWAY ALL REMAIN.
- IF THE WATER AND SEWER LINES ARE TO SHARE THE TRENCH, THERE SHOULD BE 12" MIN. SEPARATION VERTICALLY AND HORIZONTALLY.



**THERESA AVE**

PROPOSED SITE PLAN  
1/8" = 1'-0"

**SITE PLAN - KEYED NOTES**

- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPE AREA. DOWNSPOUTS MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING. THRU-CURB DRAINS ARE NOT ALLOWED.
  - CONTRACTOR PROVIDE WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN THAT REDUCES THE USE OF POTABLE WATER CODE NOT EXCEED 65% OF ETO TIMES THE LANDSCAPE AREA.
  - NO WORK IN FRONT YARD, (E) CONC. CURB CUT, (E) DRIVEWAY, (E) WALKWAY ALL REMAIN.
  - DURING CONSTRUCTION, INSTALL S1 FENCE OR FIBER ROLL/WAFTLES (TEMPERARY SEDIMENT BARRIER).
- (E)S (E) SSCO  
 (N)S (N) SSCO  
 S1 UPGRADE SERVICE PANEL TO 100 AMP ELECTRICAL PANEL & METER  
 E1a (N) 100AMP ELECTRICAL SUB PANEL  
 E2 UNDERGROUND CONDUIT TO SUB PANEL  
 M2 (N) AC CONDENSER, SECURED ON 2" SLAB OR APPROVED PLATFORM  
 P1 APP. LOCATION OF RELOCATED GAS METER & SHUT-OFF VALVE  
 P1a 1" STEEL BLACK/IN G PIPE

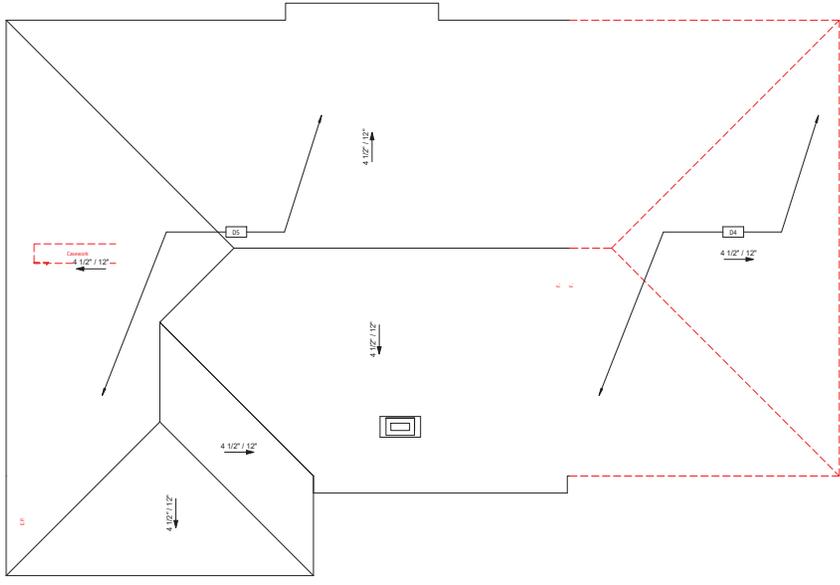
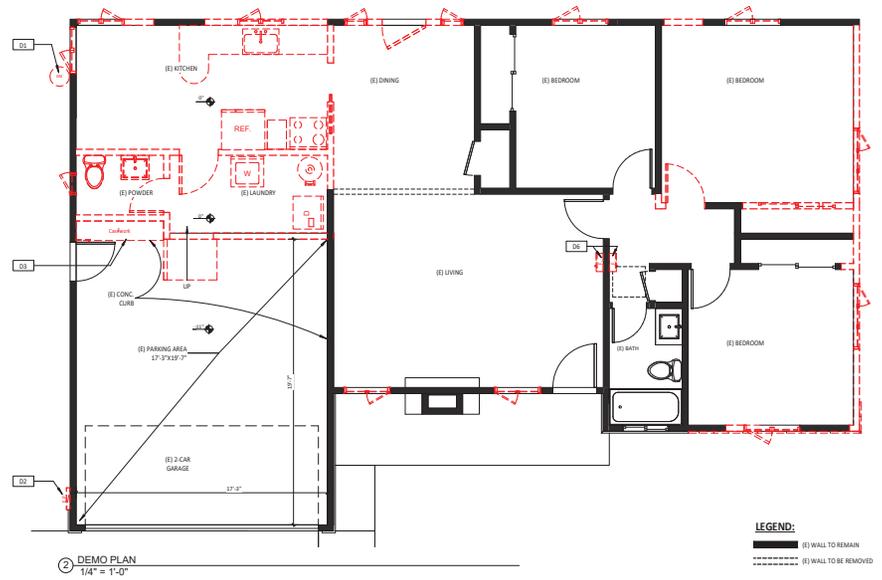
**NORDYKE RESIDENCE  
 ADDITIONS**  
 MR./MRS. NORDYKE  
 1321 Theresa Ave, Campbell, CA 95008

No.	Description	Date
1	CLIENT REVIEW	05.30.20
2	ISSUED FOR PERMIT	10.19.20
3	PLAN CHECK-1 RESPONSE	01.11.21

**SITE PLANS, TREE SURVEY & FLOOR PLAN GENERAL NOTES**

SCALE	1/8" = 1'-0"
PROJECT NO	KD200603
SHEET NUMBER	A-1.1

**NORDYKE RESIDENCE  
 ADDITIONS (HOUSE ADDITION & JADU)**  
 MR./MRS. NORDYKE  
 1321 Theresa Ave, Campbell, CA 95008



**DEMO PLAN - GENERAL NOTES**

- 1 CONTRACTOR SHALL PATCH AND REPAIR ALL CONSTRUCTION SCHEDULED TO REMAIN WHICH IS AFFECTED DURING DEMOLITION
- 2 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE.
- 3 SALVAGE REUSABLE BUILDING MATERIALS.
- 4 MINIMIZE DISRUPTION OF EXISTING PLANTS & TREES.

**DEMO PLAN - KEYED NOTES**

D1	RELOCATED (E) ATTIC ACCESS
D2	REPAIR (E) DOWN SPACE ACCESS COVER
D3	REMOVE (E) CONC. FOOTING & STEM WALL
D4	REMOVE (E) ROOF FRAMING AND ROOFINGS
D5	REMOVE (E) ROOFING ONLY
D6	REMOVE (E) WALL MTD FURNACE (GAS)

No.	Description	Date
	CLIENT REVIEW	03.30.20
	ISSUED FOR PERMIT	10.19.20

**DEMO PLANS**

SCALE	1/4" = 1'-0"
PROJECT NO	KD200603
SHEET NUMBER	<b>A-1.2</b>



*[Signature]*

**NORDYKE RESIDENCE  
 ADDITIONS (HOUSE ADDITION & JADU)**  
 MR./MRS. NORDYKE  
 1321 Theresa Ave, Campbell, CA 95008

**WINDOW & DOOR NOTES**

- GENERAL**
- ALL DOOR AND WINDOW SIZES ARE APPROXIMATE DIMENSIONS.
  - THE CONTRACTOR SHALL VERIFY EXACT UNIT SIZES AND ROUGH OPENING DIMENSIONS PRIOR TO PURCHASES OR INSTALLATION OF WINDOWS AND DOORS.
  - TEMPERED GLAZING AT BATH SHOWER AND TUB.
  - ALL WINDOW GLAZING TO BE DUAL PANELED, LOW 'E' GLAZING W/ 1/2" AIR GAP.
  - ALL EXTERIOR DOORS SHALL BE FULLY WEATHERSTRIPPED AND CALKED.
  - ALL DOOR GLAZING TO BE TEMPERED.
  - ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/4" THK. U.O.N.
  - ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THK.
  - PROVIDE NEW DOOR HARDWARE PER OWNERS SPECIFICATIONS.

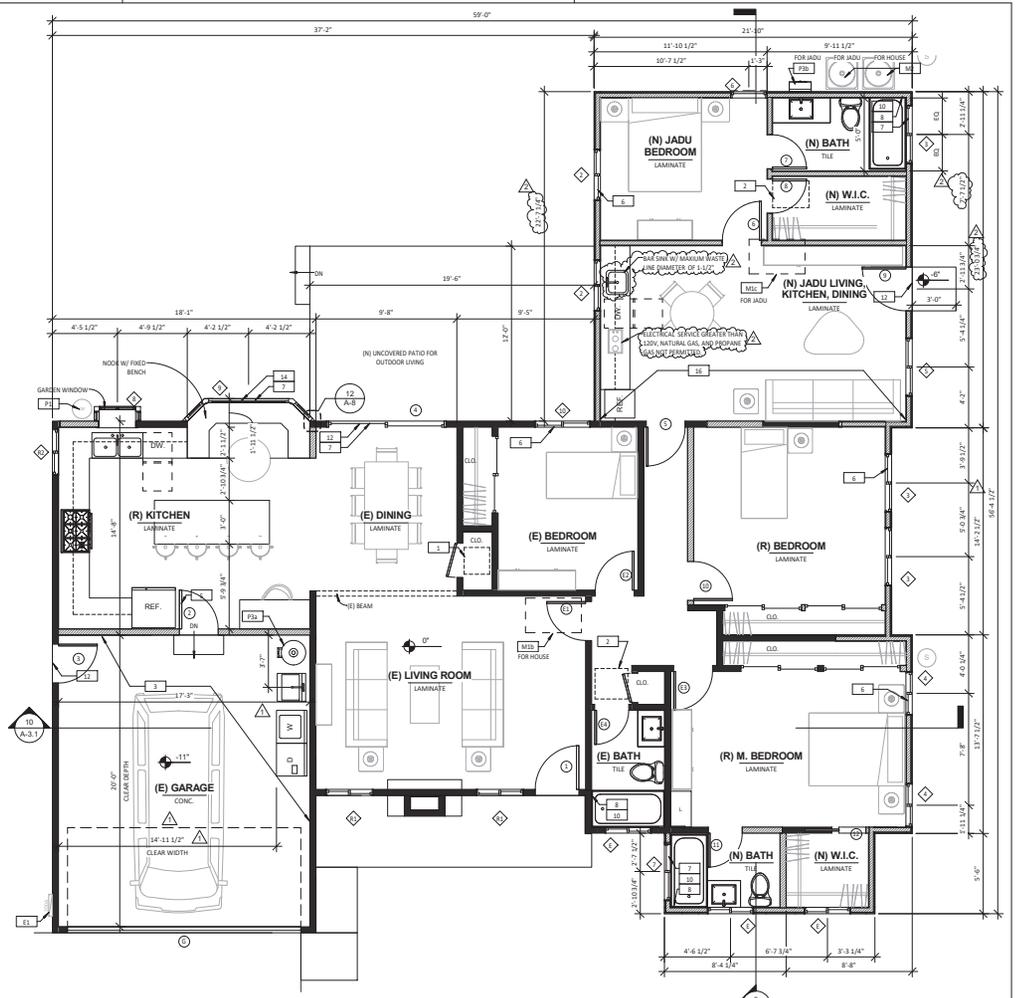
- TYP. WINDOW & DOOR DETAILS:**
- WINDOW OPENING FLASHING DETAIL: 13 / J, A-B
  - SLIDING WINDOW DETAILS: 4 / A-B
  - EGRESS WINDOW REQUIREMENTS: 15 / J, A-B
  - DOOR FLASHING DETAIL: 9 / A-B
  - EXT. DOOR HEAD/HAMB DETAIL: 4 / J, A-B
  - EXT. DOOR SILL W/ RAISED FLR DETAIL: 3 / J, A-B
  - SLIDING DOOR HEAD/HAMB DETAIL: 6 / J, A-B
  - SLIDING DOOR SILL W/ RAISED FLR DETAIL: 7 / J, A-B
  - GARAGE DOOR HEAD DETAIL: 8 / J, A-B
  - GARAGE DOOR JAMB DETAIL: 8 / ADU-3
- FOR ADU ADDITION ONLY, A SEPARATE PERMIT

WINDOW SCHEDULE (HOUSE)							
TYPE #	W	H	MATERIAL	STYLE	DESCRIPTION	REMARKS	CNT
2	2'-6"	4'-2"	WYNL	SLIDER			2
3	2'-0"	4'-0"	WYNL	SLIDER			1
4	3'-2"	4'-0"	WYNL	SLIDER			2
5	4'-0"	4'-0"	WYNL	SLIDER			1
6	2'-0"	4'-0"	WYNL	FIXED			1
7	4'-0"	2'-0"	WYNL	SLIDER			1
8	3'-2"	3'-0"	WYNL	BOX WINDOW	GARDEN WINDOW		1
9	3'-0"	3'-0"	WYNL	SLIDER	BAY WINDOW W/ FLOOR & FOOTING		1
10	3'-10"	4'-0"	WYNL	SLIDER			1
E	3'-4"	4'-0"	WYNL	SLIDER	(E) WINDOW TO REMAIN		2
E1	3'-3"	3'-0"	WYNL	SLIDER	(E) WINDOW REPLACEMENT		2
E2	3'-2"	4'-0"	WYNL	SLIDER	(E) WINDOW REPLACEMENT		1

Grand Total: 19

DOOR SCHEDULE (HOUSE)					
DOOR #	W	H	MATERIAL	STYLE	DESCRIPTION
1	3'-0"	6'-8"	WOOD	SINGLE DOOR	ENTRY DOOR
2	2'-4"	6'-8"	WOOD	SINGLE DOOR	EMBOSED PANEL 20 MIN FIRE RATED WOOD DOOR, SELF-CLOSING AND SELF-LATCHING (IBC SECTION R302.5.1)
3	2'-4"	6'-8"	WOOD	SINGLE DOOR	EXTERIOR DOOR
4	7'-3 1/2"	6'-8"	ALUM	SLIDING DOOR	EXTERIOR SLIDING DOOR
5	2'-4"	6'-8"	WOOD	SINGLE DOOR	
6	2'-4"	6'-8"	WOOD	SINGLE DOOR	
7	2'-4"	6'-8"	WOOD	SINGLE DOOR	
8	2'-4"	6'-8"	WOOD	SINGLE DOOR	
9	2'-4"	6'-8"	WOOD	SINGLE DOOR	ENTRY DOOR
10	2'-4"	6'-8"	WOOD	SINGLE DOOR	
11	2'-4"	6'-8"	WOOD	SINGLE DOOR	POCKET DOOR
12	2'-4"	6'-8"	WOOD	SINGLE DOOR	
13	2'-4"	6'-8"	WOOD	SINGLE DOOR	EXISTING DOOR TO REMAIN
14	2'-4"	6'-8"	WOOD	SINGLE DOOR	EXISTING DOOR TO REMAIN
15	2'-4"	6'-8"	WOOD	SINGLE DOOR	EXISTING DOOR TO REMAIN
16	10'-0"	7'-0"	STEEL	ROLL-UP	EXISTING GARAGE ROLL-UP DOOR TO REMAIN

Grand Total: 17



**1 PROPOSED HOUSE FLOOR PLAN**  
 1/4" = 1'-0"

**FLOOR PLAN - KEYED NOTES**

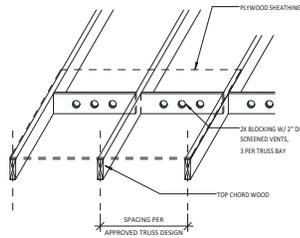
- SEE ALL ELECTRICAL, MECHANICAL, PLUMBING KEYED NOTES ON SHEETS A-4 (HOUSE), A-7 (ADU)
- 1" x 4" CRAWL SPACE ACCESS: 18"x24" MIN.
  - 2" ATIC ACCESS: 22"x30" MIN. (IBC 801.1, IRC 1209.2)
  - GARAGE WALL ADJOINING THE ADU SHALL BE 1/2" TAPERED SHEETROCK, CONCRETE TO RAFTERS; METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SQ FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 2" SEPARATION. DOOR FROM THE DWELLING INTO THE GARAGE IS TO BE A SOLID, AIR TIGHT AND SELF-CLOSING. (IBC SECTION R302.5)
  - EMBOSED PANEL, 20 MIN FIRE RATED WOOD DOOR, SELF-CLOSING AND SELF-LATCHING (IBC SECTION R302.5.1)
  - EMERGENCY EGRESS WINDOW IS MAXIMUM 4" ABOVE FINISHED FLOOR TO BOTTOM OF OPERABLE OPENING (IBC SECTION 1020)
  - TEMPERED SAFETY GLASS
  - CERAMIC TILE FINISH WITH CEMENTITIOUS BACKING MATERIAL OR GYPSUM BOARD APPROVED, SUCH AS WOODBOARD OR DUROCK
  - 9" x 9" TUB W/ CERAMIC TILE TO 2" U.O.N.
  - SHOWER PAN WITH A MINIMUM AREA 100 SQUARE INCHES AND A MINIMUM FINISH DIMENSION OF 30" IN ANY DIRECTION, PER CPC 606.1, TILE TO 2" U.O.N.
  - ALL EXTERIOR DOORS W/ MIN. 30" DEEP CLEAR CONCRETE LANDING IN THE DIRECTION OF TRAVEL, W/ 7" MAX. RISER (IBC 1009.3, IRC R311.3.2)
  - BUMP-OUT BOX WINDOW FRAME, 6:50
  - BRICK FULL-HIGHT LOUVER DOOR REWAY, PROVIDE MIN. OPENING OF 100 SQ. IN. FOR MAKEUP AIR (CMC 504.1.1)
  - OCCUPANCY SEPARATION WALL BETWEEN JADU & ADU SHALL HAVE 1/2" TYPE X ON EACH SIDE W/ ATIC DRAFTSTOP BARRIER, USE METAL ELECTRIC BOXES (16 SQ IN MAX) SHALL NOT TOTAL MORE THAN 100 SQ IN WITHIN A 100 SF FT AREA. BOXES ON OPPOSITE WALLS SHALL HAVE 2" SEPARATION. DOOR BETWEEN DWELLING UNITS IS TO BE A SOLID, AIR TIGHT, AND SELF-CLOSING.
  - UPGRADE SERVICE PANEL TO (N) 200AMP ELECTRICAL PANEL & METER
  - (N) 10AMP ELECTRIC SUB-PANEL
  - (N) NO CONDENSER, SECURED ON 1" SLAB OR APPROVED PLATFORM
  - APP. LOCATION OF RELOCATED GAS METER & SHUT OFF VALVE
  - (E) TANK WATER HEATER (GAS) 60 GAL, RELOCATED
  - (N) TANKLESS WATER HEATER ELECTRICAL, ADU (TRAMP)

- LEGEND:**
- (E) WALL TO REMAIN (HOUSE ONLY)
  - (N) 2X4 STUD EXTERIOR WALL W/ STUCCO FINISH, U.O.N.
  - (N) 2X4 STUD INTERIOR WALL
- \*SEE FLOOR PLAN GENERAL NOTES ON A-1.1

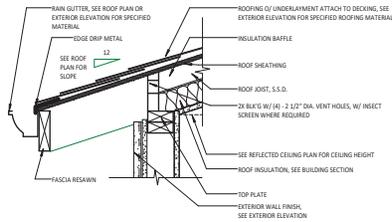
No.	Description	Date
	CLIENT REVIEW	03.30.20
	ISSUED FOR PERMIT	10.19.20
1	PLAN CHECK-1 RESPONSE	01.11.21
2	PLANNING REVIEW RESPONSE	04.20.21

**PROPOSED HOUSE FLOOR PLAN & DOOR/ WINDOW SCHEDULES**

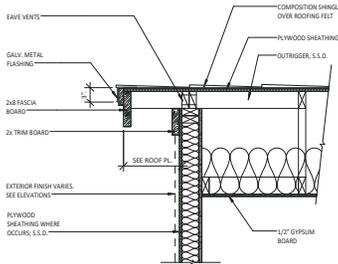
PROJECT	1/4" = 1'-0"
NO	KD 200603
SHEET NUMBER	A-2.1



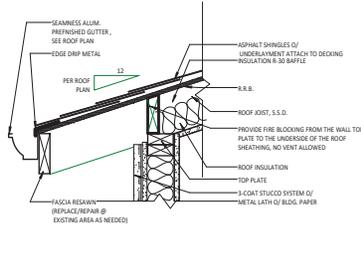
16 EAVE VENT DIAGRAM  
3/4" = 1'-0"



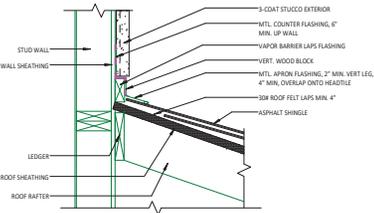
12 TYP. EAVE W/ VENT  
1 1/2" = 1'-0"



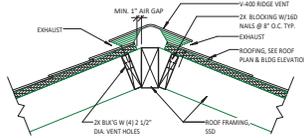
15 TYP. ROOF RAKE  
1" = 1'-0"



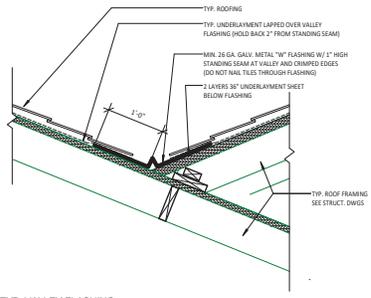
11 BLOCKED EAVE  
1 1/2" = 1'-0"



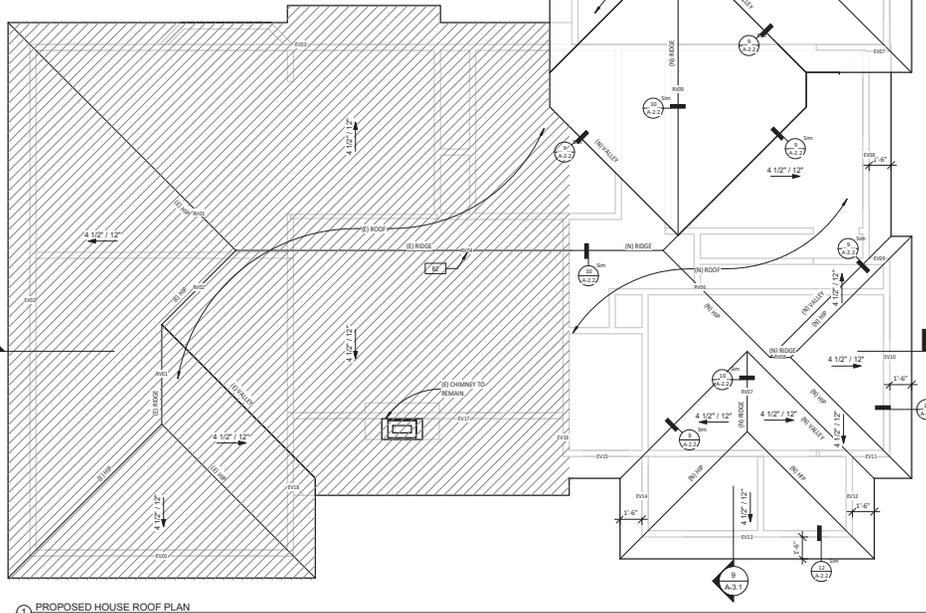
14 TYP. ROOF TO WALL DETAIL  
5" = 1'-0"



10 TYP. RIDGE VENT @ VENTED ATTIC  
1" = 1'-0"



9 TYP. VALLEY FLASHING  
1" = 1'-0"



1 PROPOSED HOUSE ROOF PLAN  
1/4" = 1'-0"

ROOF VENT CALCULATION (HOUSE)				
MARK	TYPE	LENGTH	VENT AREA PER LINEAR FT.	SUB-TOTAL
EV01	Roof Vent Eave (HOUSE)	18'-1"	0.102	1.84
EV02	Roof Vent Eave (HOUSE)	30'-1"	0.102	3.08
EV03	Roof Vent Eave (HOUSE)	17'-2"	0.102	1.76
EV04	Roof Vent Eave (HOUSE)	22'-3 3/4"	0.102	2.32
EV05	Roof Vent Eave (HOUSE)	21'-3"	0.102	2.17
EV06	Roof Vent Eave (HOUSE)	12'-2 1/4"	0.102	1.25
EV07	Roof Vent Eave (HOUSE)	1'-5"	0.102	0.14
EV08	Roof Vent Eave (HOUSE)	14'-2 1/2"	0.102	1.45
EV09	Roof Vent Eave (HOUSE)	11'-0"	0.102	1.14
EV10	Roof Vent Eave (HOUSE)	13'-7 1/4"	0.102	1.39
EV11	Roof Vent Eave (HOUSE)	6'-8 3/4"	0.102	0.70
EV12	Roof Vent Eave (HOUSE)	0'-6 1/4"	0.102	0.06
EV13	Roof Vent Eave (HOUSE)	0'-6 1/4"	0.102	0.06
EV14	Roof Vent Eave (HOUSE)	14'-5 1/2"	0.102	1.47
EV15	Roof Vent Eave (HOUSE)	6'-8 1/4"	0.102	0.70
EV16	Roof Vent Eave (HOUSE)	2'-7"	0.102	0.28
EV17	Roof Vent Eave (HOUSE)	18'-0"	0.102	1.84
EV18	Roof Vent Eave (HOUSE)	0'-5"	0.102	0.06

TOTAL REQUIRED ROOF VENT AREA (HOUSE):  
1945 SF / 150 SF = 12.96 SF  
SEE CALCULATION BELOW, TOTAL ROOF VENT PROVIDED:  
39.06 SF > 12.96 SF [OK]

ROOF VENT CALCULATION (HOUSE)				
MARK	TYPE	LENGTH	VENT AREA PER LINEAR FT.	SUB-TOTAL
RV01	Roof Vent Ridge (HOUSE)	0'-10"	0.125	0.85
RV02	Roof Vent Ridge (HOUSE)	7'-2 1/4"	0.125	0.90
RV03	Roof Vent Ridge (HOUSE)	7'-2 1/4"	0.125	0.90
RV04	Roof Vent Ridge (HOUSE)	22'-3 3/4"	0.125	2.80
RV05	Roof Vent Ridge (HOUSE)	7'-2 1/4"	0.125	0.90
RV06	Roof Vent Ridge (HOUSE)	7'-2 1/4"	0.125	0.90
RV07	Roof Vent Ridge (HOUSE)	0'-0"	0.125	0.00
RV08	Roof Vent Ridge (HOUSE)	1'-0"	0.125	0.13
RV09	Roof Vent Ridge (HOUSE)	10'-11 1/2"	0.125	2.49
RV10	Roof Vent Ridge (HOUSE)	1'-4"	0.125	0.17
RV11	Roof Vent Ridge (HOUSE)	0'-1 1/8"	0.125	0.04
RV12	Roof Vent Ridge (HOUSE)	0'-1 1/8"	0.125	0.04
RV13	Roof Vent Ridge (HOUSE)	0'-1 1/8"	0.125	0.04
RV14	Roof Vent Ridge (HOUSE)	0'-1 1/8"	0.125	0.04
Grand Total		309'-0"		39.06

ROOF PLAN - KEYED NOTES		
R1	EAVE VENT (2) 2 1/2" DIA. HOLE PER LF @ 102 SF.	
R2	CERTAINTEED RIDGE VENT (FOR SHINGLES) 3/8 SQ IN. NET FREE AREA PER LF @ 125 SF.	
R3	INSULATION AREA OF SCALDS IS 25% MIN. (SEE TITLE 19.101.01)	
R4	MINIMUM 3 FEET ACCESS PATHWAY (SPC 304.6)	

ROOF PLAN - GENERAL NOTES		
1	GO TO VERIFY IN FIELD THE EXISTING SLOPE OF THE ROOF. NOTICE THE PROJECT DESIGNER IF DIFFERENT THAN ON THE DRAWINGS. (FOR HOUSE ADDITION ONLY, A SEPARATE PERMIT)	
2	NEW ROOF SLOPE TO MATCH EXISTING FOR THE HOUSE, U.O.N.	
3	PROVIDE NEW ROOF MATERIAL, ASPHALT SHINGLE THROUGHOUT AREA OF ADDITION WORK WITH R-30 INSULATION ABOVE CEILING (SEE TITLE 24 REPORT).	
4	ROOFING MATERIALS SHALL HAVE A MINIMUM 3 YEAR AGED SOLAR REFLECTANCE AND THERMAL EMITTANCE OR A MINIMUM SOLAR REFLECTANCE INDEX (SRI) EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN TABLE A4.106.5 (1), WHICH IS SRI >= 19 (CALGREEN 4.106.5)	
5	ALL FLASHING VENTS SHALL TERMINATE NOT LESS THAN 6" ABOVE THE ROOF NOR LESS THAN 1' FROM ANY VERTICAL SURFACE. VENTS SHALL TERMINATE NOT LESS THAN 12" FROM OR 3' ABOVE ANY WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT NOOK 3' FROM LOT LINE (SPC 306)	

**NORDYKE RESIDENCE  
ADDITIONS (HOUSE ADDITION & JADU)**  
MR./MRS. NORDYKE  
1321 Theresa Ave, Campbell, CA 95008

No.	Description	Date
	CLIENT REVIEW	03.30.20
	ISSUED FOR PERMIT	10.19.20

PROPOSED HOUSE ROOF PLAN & DETAILS	
SCALE	As indicated
PROJECT NO	KD200603
SHEET NUMBER	A-2.2



① FRONT ELEVATION (colored)  
 1/4" = 1'-0"



4 GARAGE DOOR  
 EXISTING, WHITE COLOR



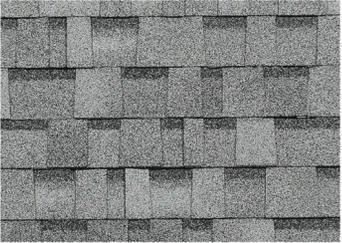
3 FRONT DOOR  
 EXISTING, DARK GRAY COLOR



2 WOOD SIDING  
 EXISTING, WHITE COLOR



1 STUCCO  
 BROWN GRAY COLOR



8 ROOF SHINGLE  
 GRAY COLOR, MATCH EXISTING ON THE HOUSE



7 WINDOW/DOOR TRIM  
 PAINTED WHITE, MATCH EXISTING



6 CHIMNEY  
 EXISTING, RED BRICK



5 GUTTER  
 PAINTED WHITE, MATCH EXISTING

**NORDYKE RESIDENCE  
 ADDITIONS**

MR./MRS. NORDYKE  
 1321 Theresa Ave, Campbell, CA 95008

No.	Description	Date
	CLIENT REVIEW	03.30.20
	ISSUED FOR PERMIT	10.19.20

**FRONT ELEVATION &  
 COLOR CHART**

SCALE	1/4" = 1'-0"
PROJECT NO	KD200603
SHEET NUMBER	<b>A-3.0</b>





