



CITY OF CAMPBELL
Community Development Department

May 28, 2021

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 8, 2021**, for a Public Hearing to consider the application (PLN-2021-63) of Greg Benton for a Site and Architectural Review Permit to allow a reduced second-story side-yard setback for an approximately 850 square-foot addition to an existing single-family residence, on property located at **1204 Monica Lane**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at <https://us02web.zoom.us/j/87516488219?pwd=MmRiRUlFYXd2UEJ2UkI4dJZSGtCQT09>. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, June 4th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, May 28th, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
ROB EASTWOOD
SECRETARY

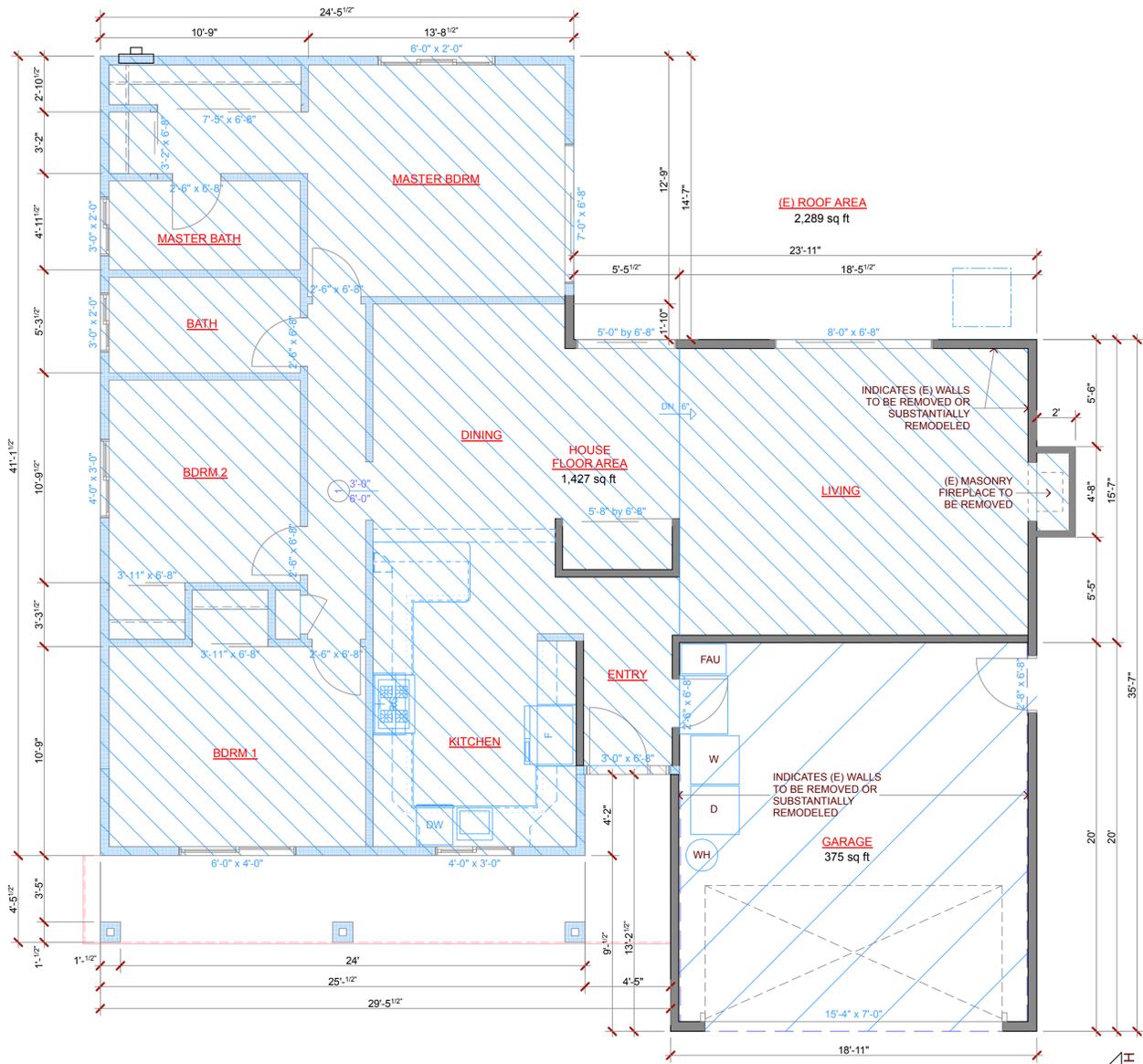
PLEASE NOTE: When calling on this Notice, refer to **1204 Monica Ln**



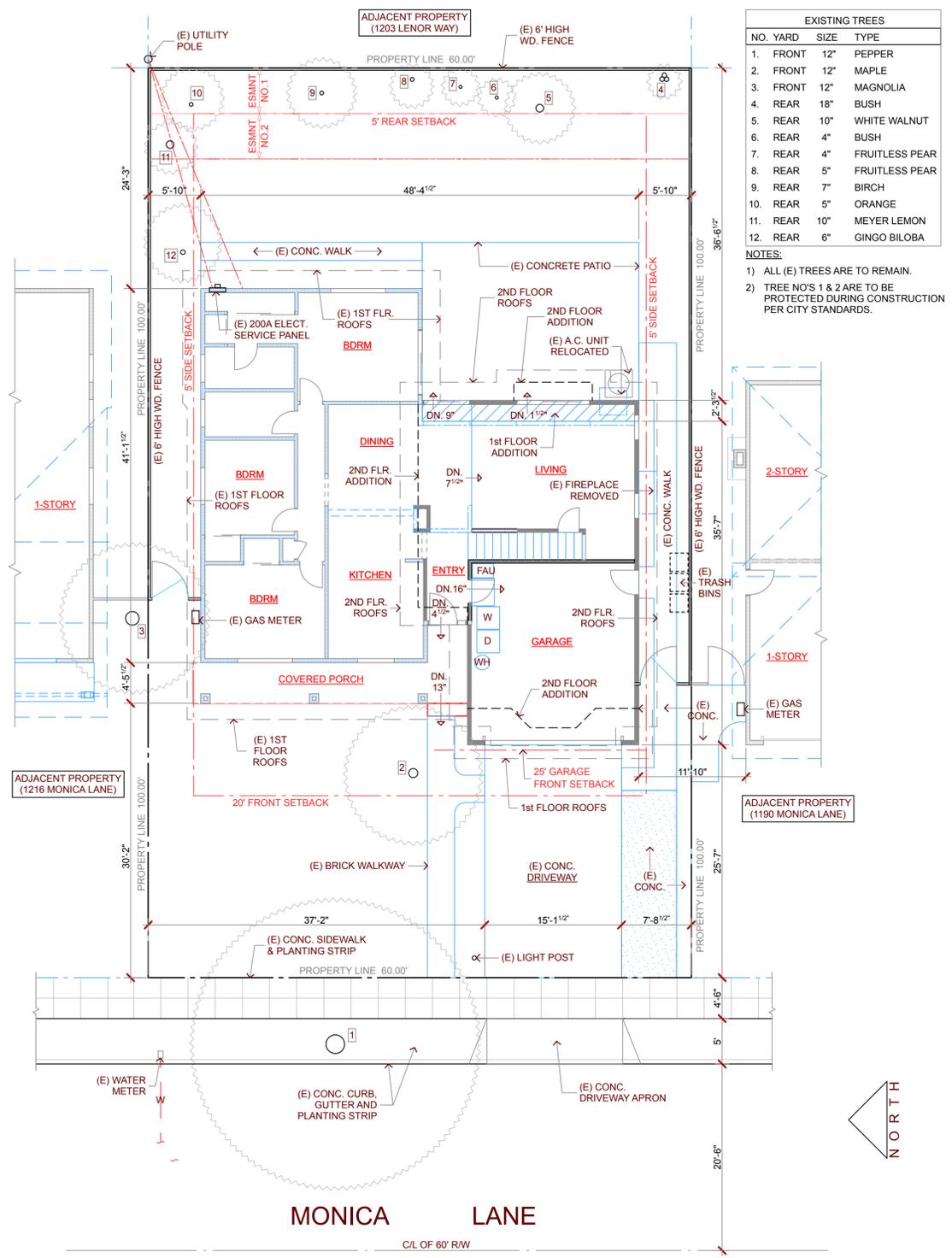
Location Map - 1204 Monica Ln.



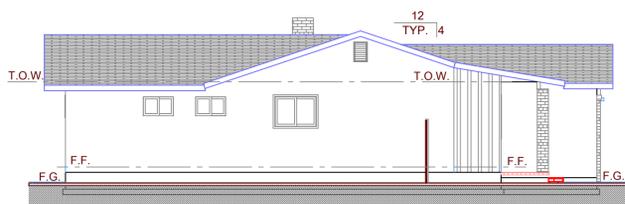
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



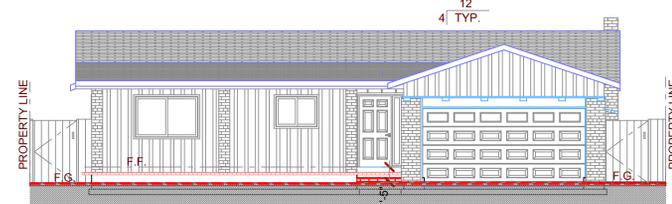
(E) Floor Plan 1/4" = 1'-0"



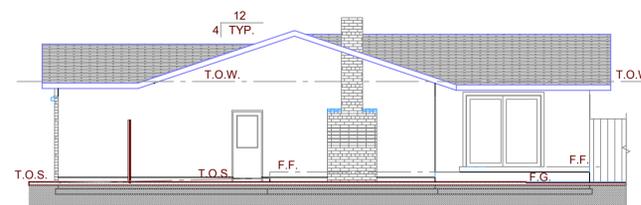
Site Plan 1/8" = 1'-0"



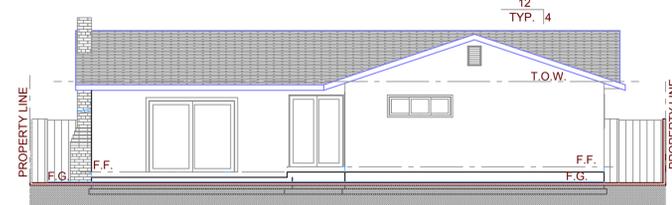
(E) Sears Elev Left (North) 1/8" = 1'-0"



(E) Sears Elev Front (West) 1/8" = 1'-0"



(E) Sears Elev Right (South) 1/8" = 1'-0"



(E) Sears Elev Rear (East) 1/8" = 1'-0"

LEGAL DESCRIPTION
 REAL PROPERTY IN THE CITY OF CAMPBELL, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 LOT 18, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "TRACT NO. 2954 CENTRAL PARK," WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON OCTOBER 11, 1961 IN BOOK 139 OF MAPS, PAGE(S) 5.
 EXCEPTING THEREFROM THE UNDERGROUND WATER WITHOUT RIGHTS OF SURFACE ENTRY AS CONVEYED TO SAN JOSE WATER WORKS, A CALIFORNIA CORPORATION BY DEED RECORDED NOVEMBER 9, 1961 IN BOOK 5358, PAGE 290 OF OFFICIAL RECORDS. APN 279-20-041
 RELATED EXCEPTIONS NOTED BY TITLE COMPANY (REPORT DATED AUGUST 1, 2007) ARE SHOWN ON THESE PLANS AS:
 EASEMENT #1: FOR PUBLIC SERVICE AND INCIDENTAL PURPOSES AFFECTING EASTERLY 5 FEET OF SAID LAND.
 EASEMENT #2: FOR WIRE CLEARANCE AND INCIDENTAL PURPOSES AFFECTING WESTERLY 5 FEET OF EASTERLY 10 FEET OF SAID LAND.

REVISIONS	BY

Greg W. Benton, Architect
 14275 Branham Lane San Jose, CA 95124
 (408) 605-2707 greg48@aol.com

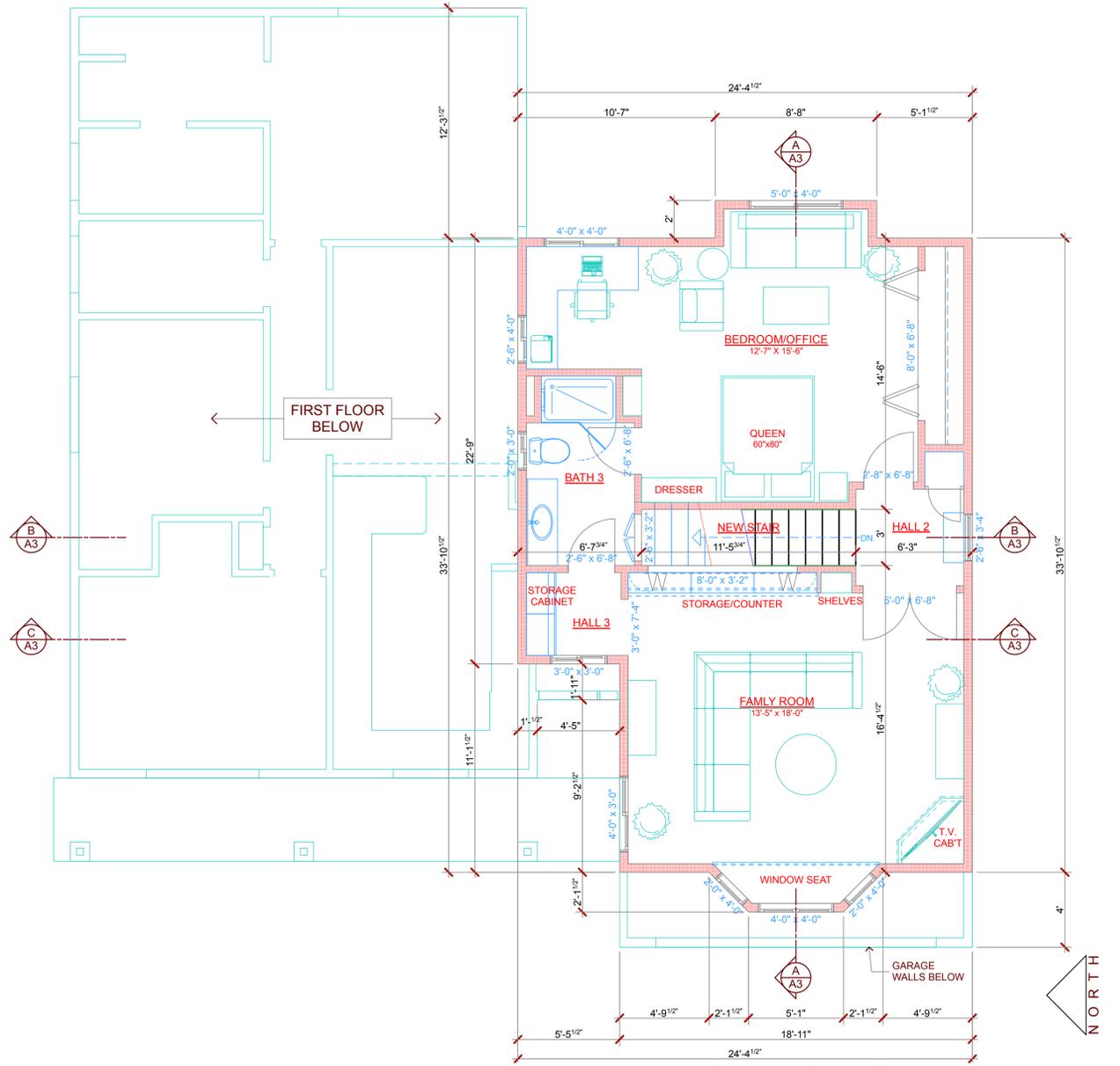
Site Plan, (E) Floor Plan, (E) Exterior Elevations

Sears Residence Addition
 Second Floor Addition to a Single Family Residence
 At 1204 Monica Lane, San Jose, CA 95128
 (City of Campbell Jurisdiction)

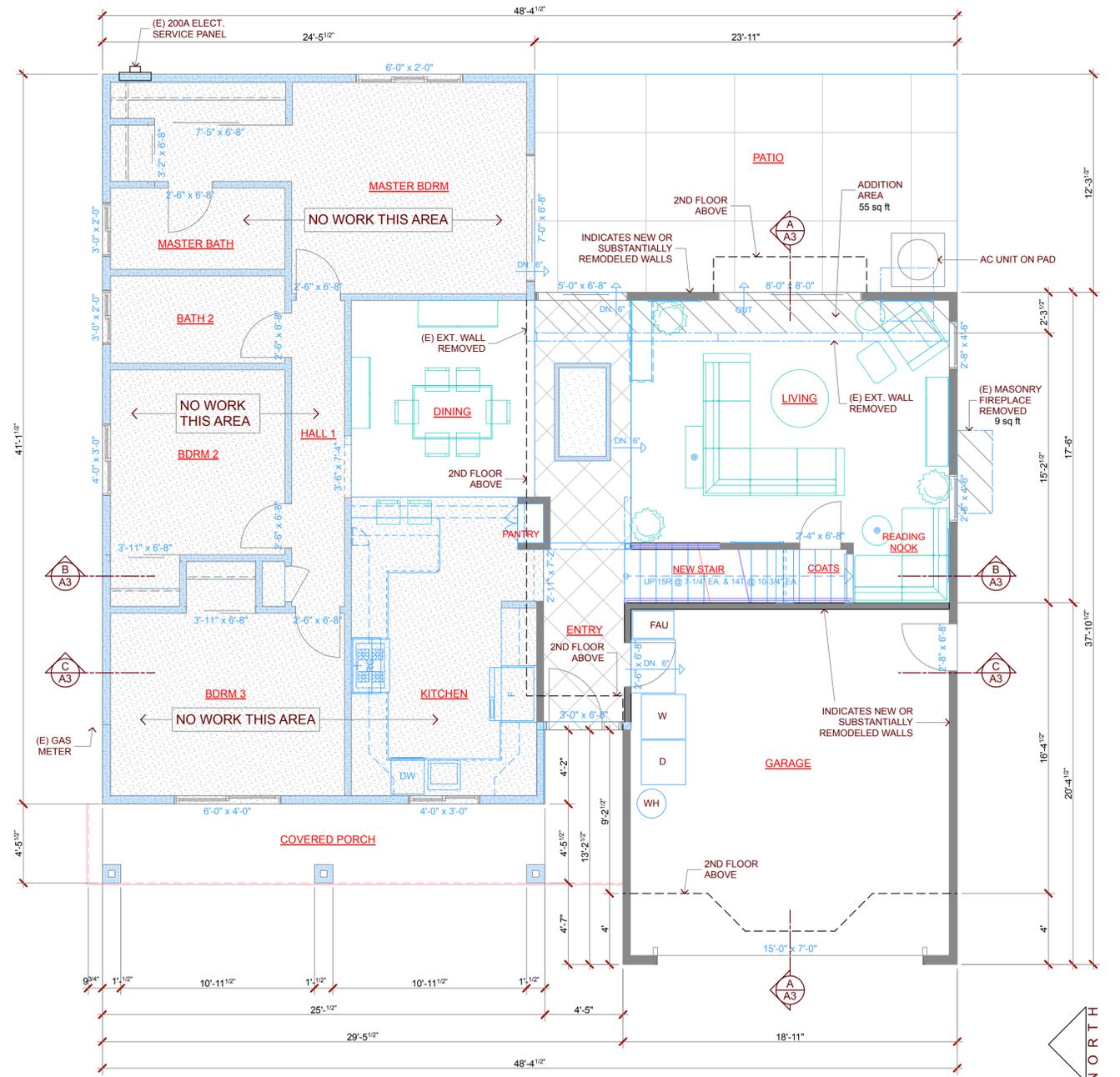
FOR SITE & ARCHITECTURAL REVIEW

Date 3/25/21
 Scale AS SHOWN
 Drawn G.B.
 Sheet **A-1**

Of 8 Sheets



Second Floor Plan 1/4" = 1'-0"



First Floor Plan 1/4" = 1'-0"

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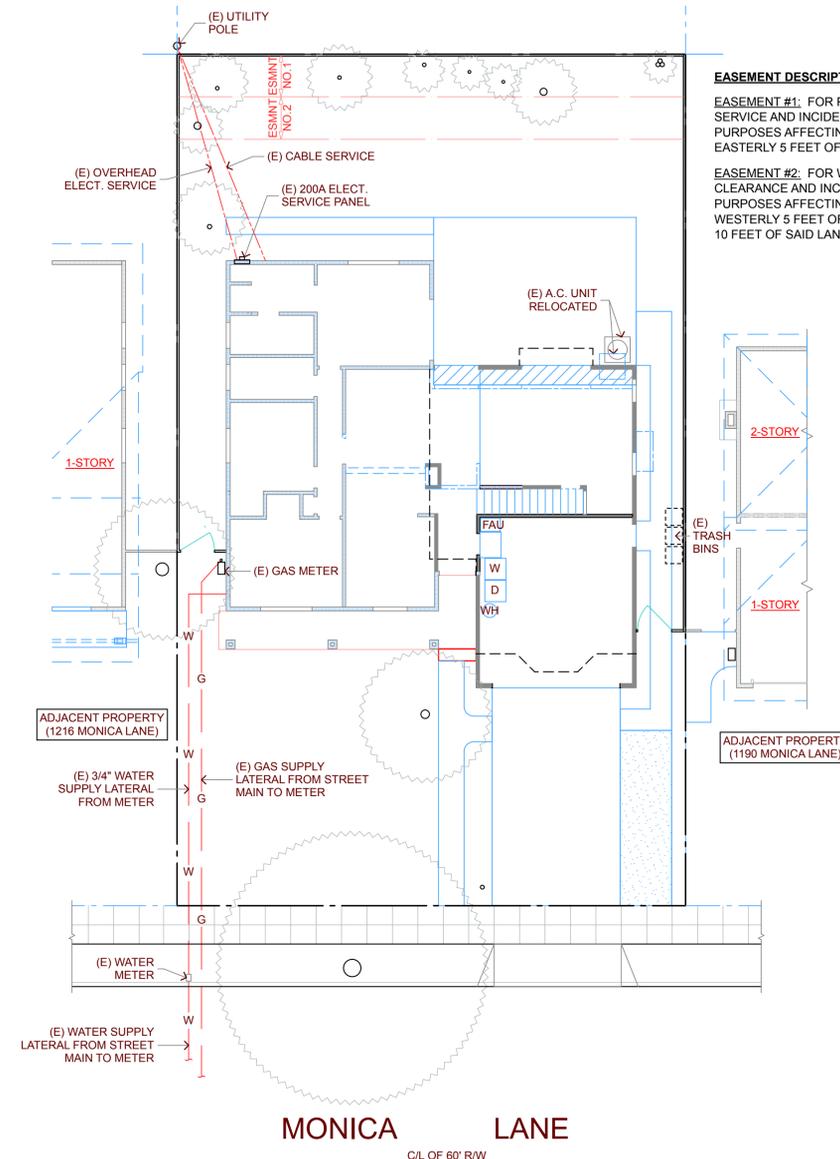
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Floor Plans

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Scale AS SHOWN
Drawn G.B.
Sheet
A-2
Of 8 Sheets



EASEMENT DESCRIPTION(S)

EASEMENT #1: FOR PUBLIC SERVICE AND INCIDENTAL PURPOSES AFFECTING EASTERLY 5 FEET OF SAID LAND.

EASEMENT #2: FOR WIRE CLEARANCE AND INCIDENTAL PURPOSES AFFECTING WESTERLY 5 FEET OF EASTERLY 10 FEET OF SAID LAND.

MONICA LANE
C/L OF 60' R/W



Site Utilities Plan 1" = 10'

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Site Utility Plan

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Scale AS SHOWN
Drawn G.B.

Sheet
A-6
Of 8 Sheets



Street Photo-North Neighbor



Street Photo-Project



Street Photo-South Neighbor



(E) Site Photo 1



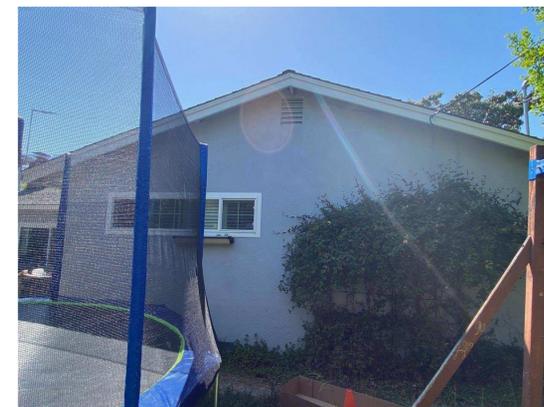
(E) Site Photo 2



(E) Site Photo 3



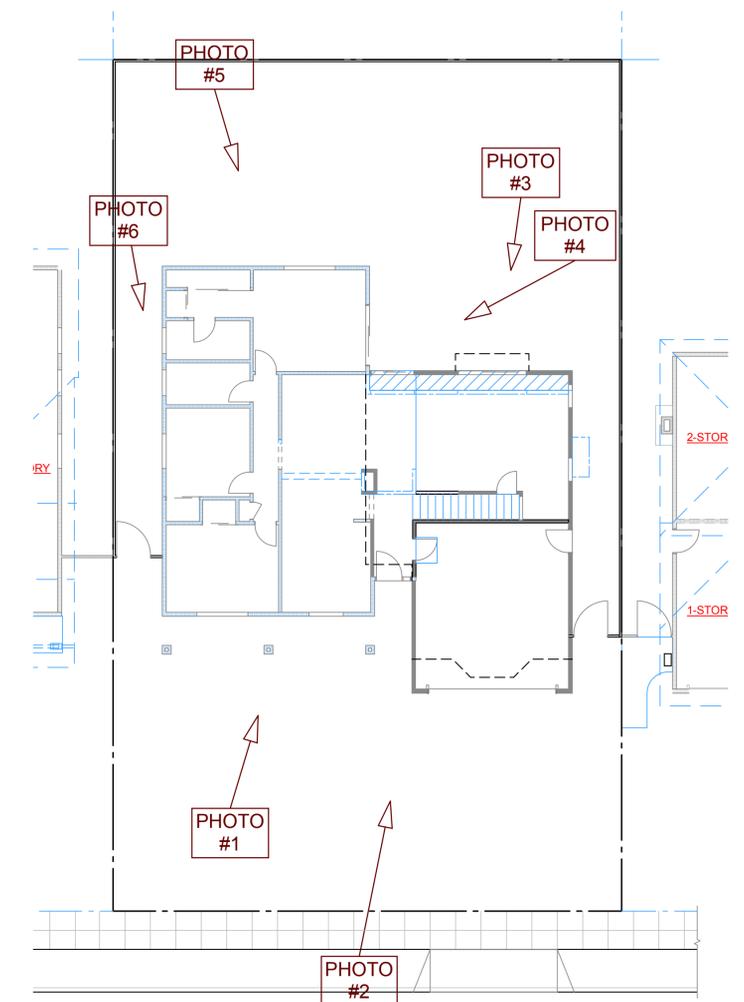
(E) Site Photo 4



(E) Site Photo 5



(E) Site Photo 6



MONICA LANE
C/L OF 60' R/W

(E) Site Photos Diagram

1" = 10'

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**(E) Streetscape Photos,
(E) Site Photos**
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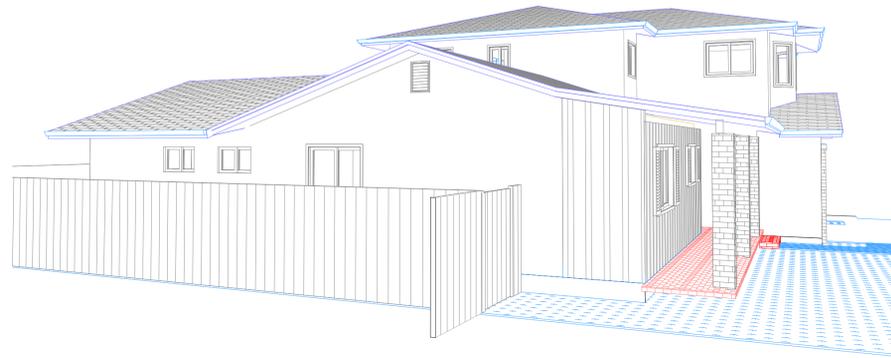
Scale AS SHOWN

Drawn G.B.

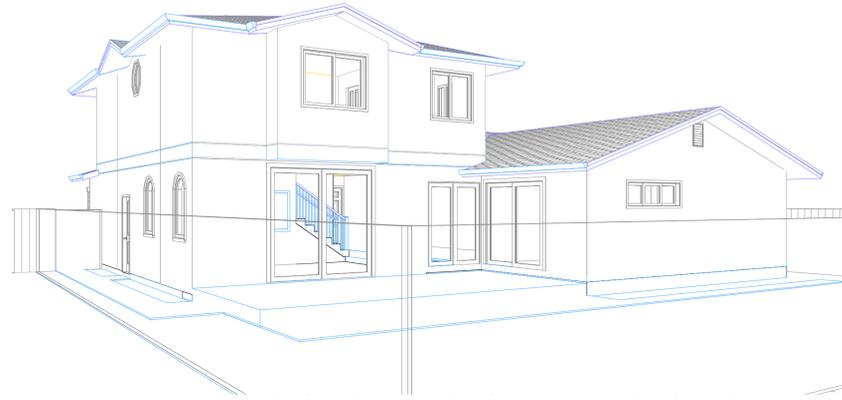
Sheet

A-7

Of 8 Sheets



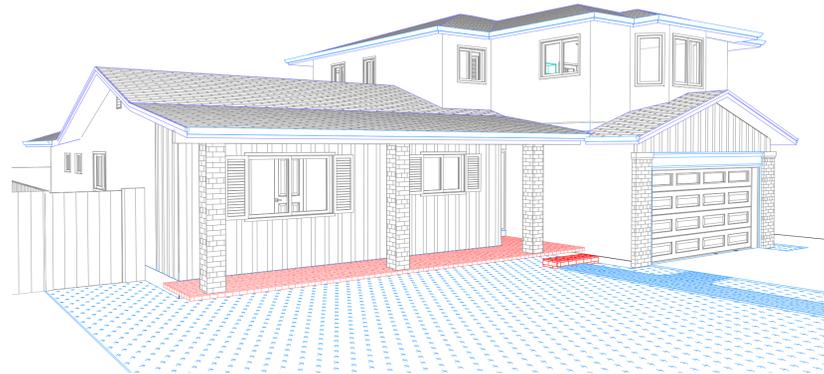
Exterior Model 5



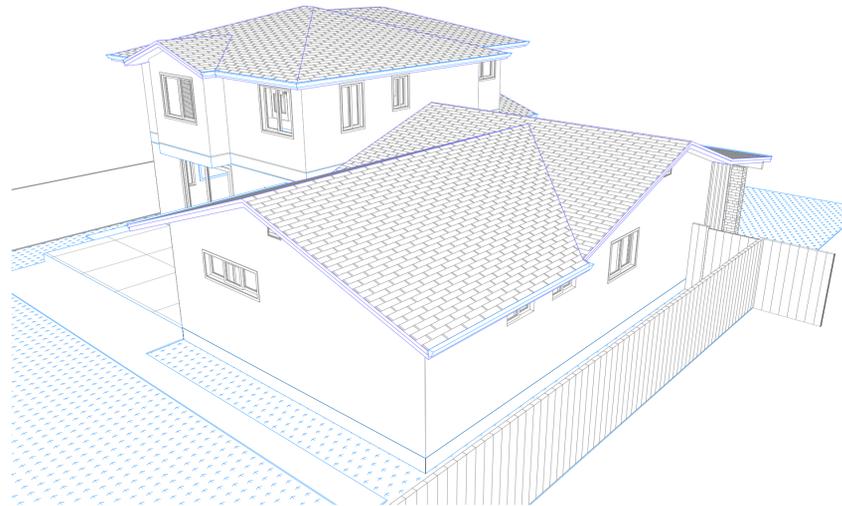
Exterior Model 3



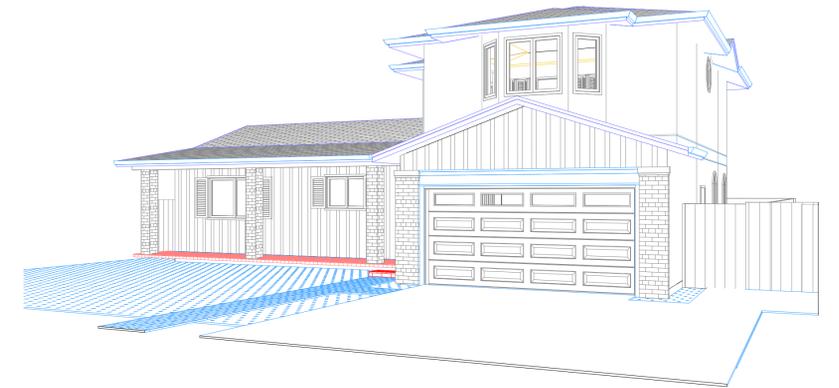
Exterior Model 1



Exterior Model 6



Exterior Model 4



Exterior Model 2



NOTE:
NEW AND (E) WALL, ROOF AND TRIM MATERIALS AND
COLORS ARE TO MATCH (E). SEE (E) STREETScape AND
SITE PHOTOS, SHEET A-7.

Streetscape Elevations 1/8" = 1'-0"

REVISIONS	BY

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**Exterior Model Views,
Streetscape Elevations**

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Sheet
A-8
Of 8 Sheets