



**CITY OF CAMPBELL**  
**Community Development Department**

May 28, 2021

**NOTICE OF PUBLIC HEARING**  
**THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 8, 2021**, for a Public Hearing to consider the application (PLN-2021-63) of Greg Benton for a Site and Architectural Review Permit to allow a reduced second-story side-yard setback for an approximately 850 square-foot addition to an existing single-family residence, on property located at **1204 Monica Lane**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at <https://us02web.zoom.us/j/87516488219?pwd=MmRiRUlFYXd2UEJ2UkI4dJZSGtCQT09>. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, June 4<sup>th</sup>, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to [planning@campbellca.gov](mailto:planning@campbellca.gov). Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, May 28<sup>th</sup>, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

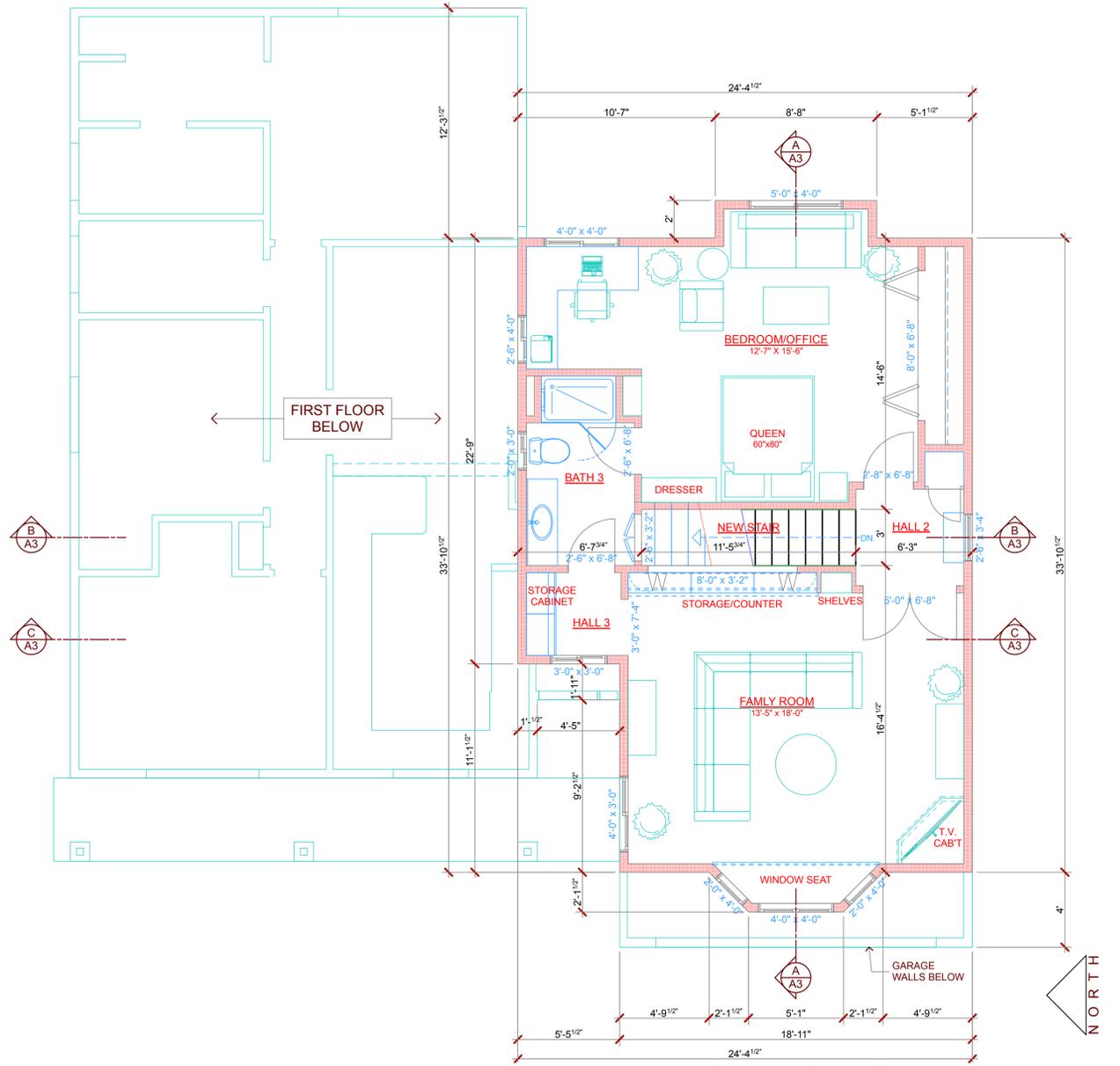
PLANNING COMMISSION  
CITY OF CAMPBELL  
ROB EASTWOOD  
SECRETARY

PLEASE NOTE: When calling on this Notice, refer to **1204 Monica Ln**

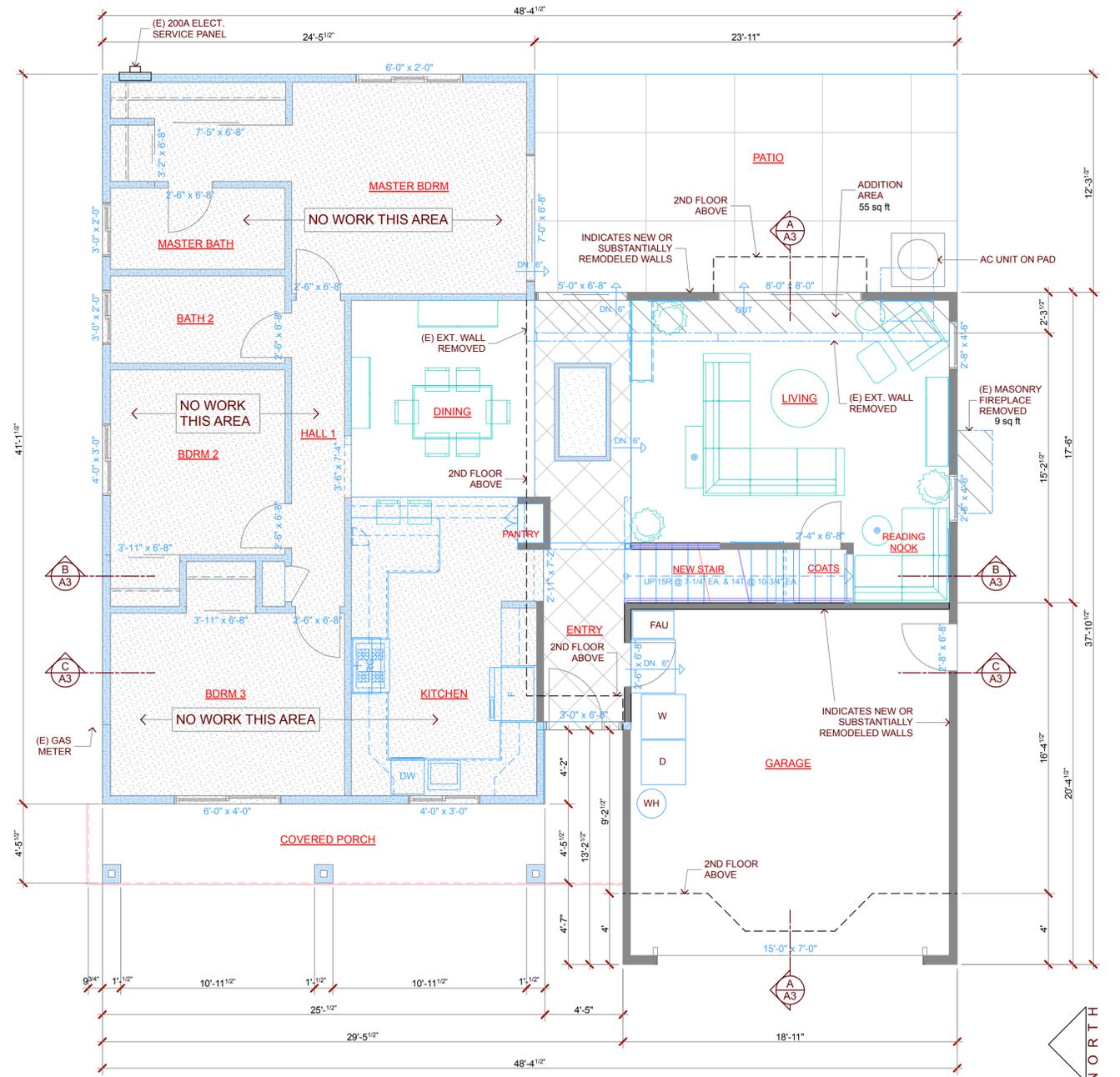








Second Floor Plan 1/4" = 1'-0"



First Floor Plan 1/4" = 1'-0"

REVISIONS	BY

**Greg W. Benton, Architect**  
 14275 Branham Lane San Jose, CA 95124  
 (408) 605-2707 greg48@aol.com

**Floor Plans**

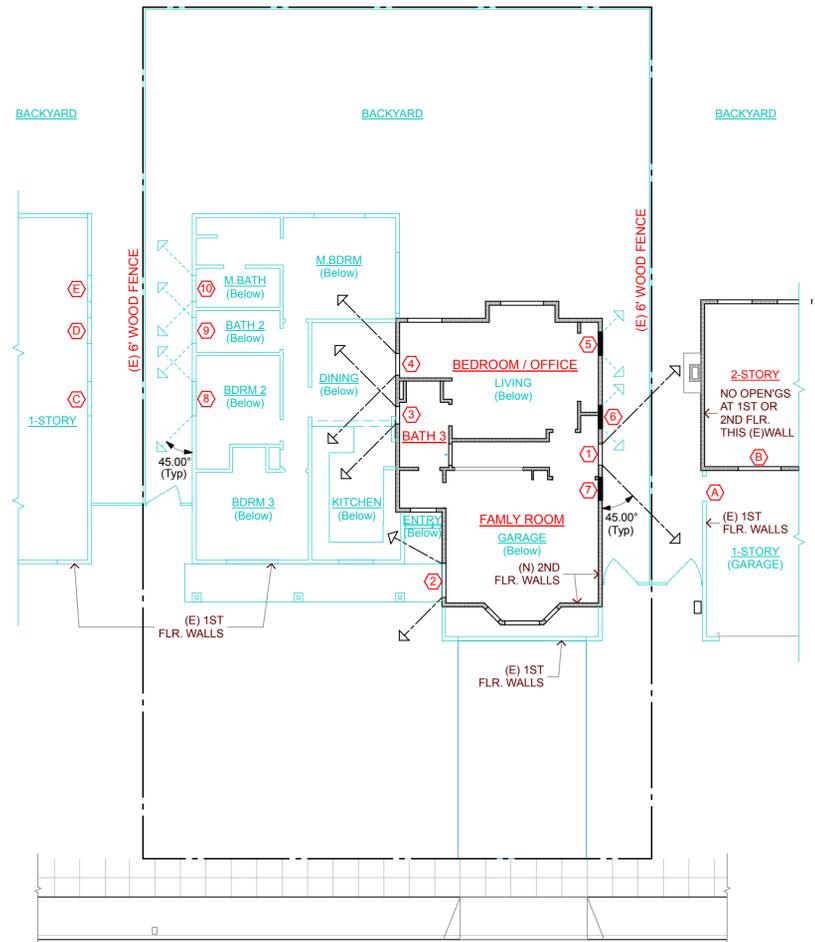
COPYRIGHT: These drawings and related specifications are the property of Greg W. Benton, Architect. No revisions, reproductions or use of these documents in any way shall be made without the consent of Greg W. Benton. Copyright (2021) by Greg W. Benton & Co., Inc., 14275 Branham Lane, CA 95124.

**Sears Residence Addition**  
 Second Floor Addition to a Single Family Residence  
 At 1204 Monica Lane, San Jose, CA 95128  
 (City of Campbell Jurisdiction)

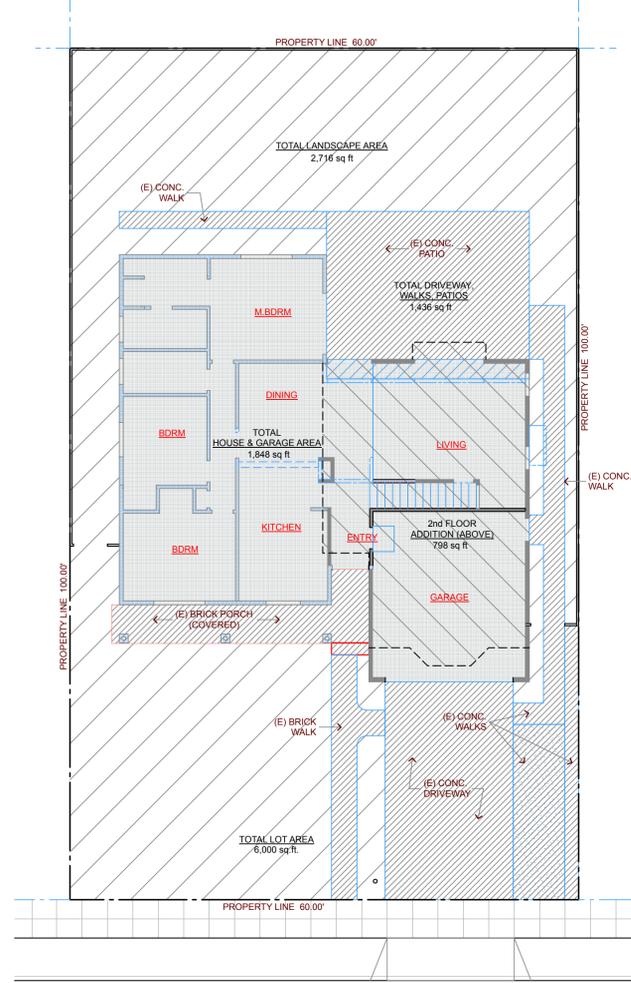
<b>FOR SITE &amp; ARCHITECTURAL REVIEW</b>
Date 3/25/21
Scale AS SHOWN
Drawn G.B.
Sheet <b>A-2</b>
Of 8 Sheets



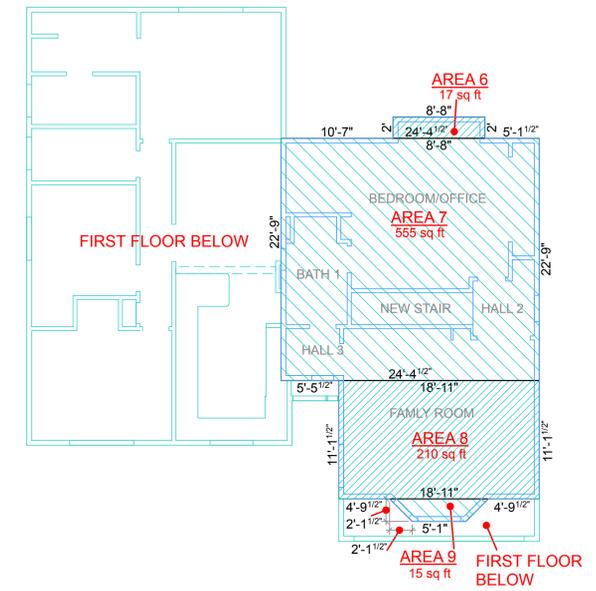




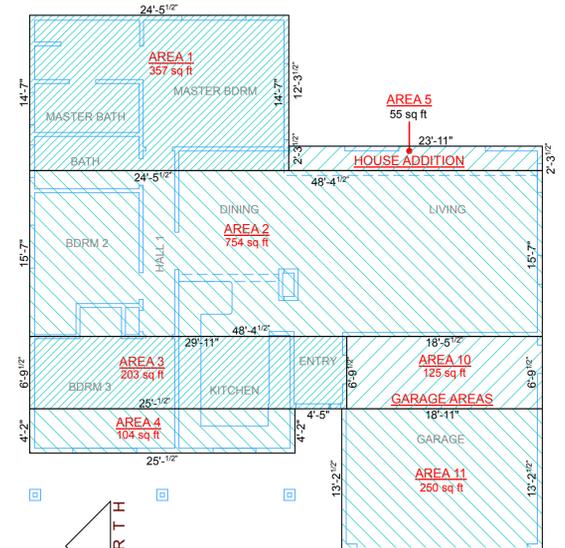
MONICA LANE  
Site Privacy Plan



MONICA LANE  
Site Areas Diagram



Bldg Area Diagram-2nd Flr 1/8" = 1'-0"



Bldg Area Diagram-1st Flr 1/8" = 1'-0"

PRIVACY PLAN NOTES

PROJECT HOME OPENINGS							
NO.	FLOOR LEVEL	EXISTG/NEW	OPENING TYPE	SIZE WxH (in.)	SILL TO FLR. (ft.)	OPENABLE YES/NO	DIST. TO P/L (ft.)
1	2nd	New	Window	2'-6" x 2'-6"	5'-2"	No	5'-10"
2	2nd	New	Window	4'-0" x 3'-0"	2'-8"	Yes	35'-3"
3	2nd	New	Window	2'-0" x 3'-0"	3'-8"	Yes	29'-10"
4	2nd	New	Window	2'-6" x 4'-0"	2'-8"	Yes	29'-10"
5	1st	Existg	Window	2'-8" x 4'-6"	3'-0"	Yes	5'-10"
6	1st	Existg	Window	2'-8" x 4'-6"	3'-0"	Yes	5'-10"
7	1st	Existg	Door	2'-8" x 6'-8"	0"	Yes	5'-10"
8	1st	Existg	Window	4'-0" x 3'-0"	3'-8"	Yes	5'-10"
9	1st	Existg	Window	3'-0" x 2'-0"	4'-8"	Yes	5'-10"
10	1st	Existg	Window	3'-0" x 2'-0"	4'-8"	Yes	5'-10"
ADJACENT HOME OPENINGS (Estimated)							
A	1st	Existg	Door	2'-8" x 6'-8"	0"	Yes	5'-11"
B	2nd	Existg	Window	5'-0" x 3'-0"	3'-8"	Yes	N/A
C	1st	Existg	Window	4'-0" x 3'-0"	3'-8"	Yes	5'-11"
D	1st	Existg	Window	3'-0" x 2'-0"	4'-8"	Yes	5'-11"
E	1st	Existg	Window	3'-0" x 2'-0"	4'-8"	Yes	5'-11"

SITE COVERAGE AREAS

Name	Type	Areas sq.ft.	Ratio %
House & Garage	Impervious	1,848.00	31%
Driveway, Walks, Patios	Impervious	1,436.00	24%
	Impervious Total	3,284.00	55%
Landscaping	Pervious	2,716.00	45%
	Area Total	6,000.00	100%

FLOOR AREA CALCULATIONS

Section Name	Section Type	Dimensions (ft.)	Areas (sq.ft.)	
1	(E) House	14.58 x 24.46	357	
2	(E) House	15.58 x 48.37	754	
3	(E) House	6.79 x 29.92	203	
4	(E) House	4.17 x 25.04	104	
Total (E) House				1,418
Total (E) House & Garage				1,793
5	(N) House	2.29 x 23.92	55	
Total (N) 1st Floor w/Gar.				1,848
6	(N) House	2.00 x 8.67	17	
7	(N) House	22.75 x 24.38	555	
8	(N) House	11.12 x 18.92	210	
9	(N) House	2.12 x 7.2	15	
Total (N) 2nd Floor				798
Total (N) House w/Gar.				2,646
10	Garage	6.79 x 18.46	125	
11	Garage	13.21 x 18.92	250	
Total Garage				375
Total Addition Area				853
Addition/Existing Ratio				48%

REVISIONS	BY

**Greg W. Benton, Architect**  
14275 Branham Lane San Jose, CA 95124  
(408) 605-2707 greg48@aol.com

**Area Diagrams, Site Privacy Plan**  
COPYRIGHT: These drawings and related specifications are the property of Greg W. Benton, Architect. No revisions, reproductions or use of these documents in any way shall be made without the consent of Greg W. Benton. Copyright (2021) by Greg W. Benton & Co., Inc., 14275 Branham Lane, CA 95124.

**Sears Residence Addition**  
Second Floor Addition to a Single Family Residence  
At 1204 Monica Lane, San Jose, CA 95128  
(City of Campbell Jurisdiction)

**FOR SITE & ARCHITECTURAL REVIEW**

Date 3/25/21

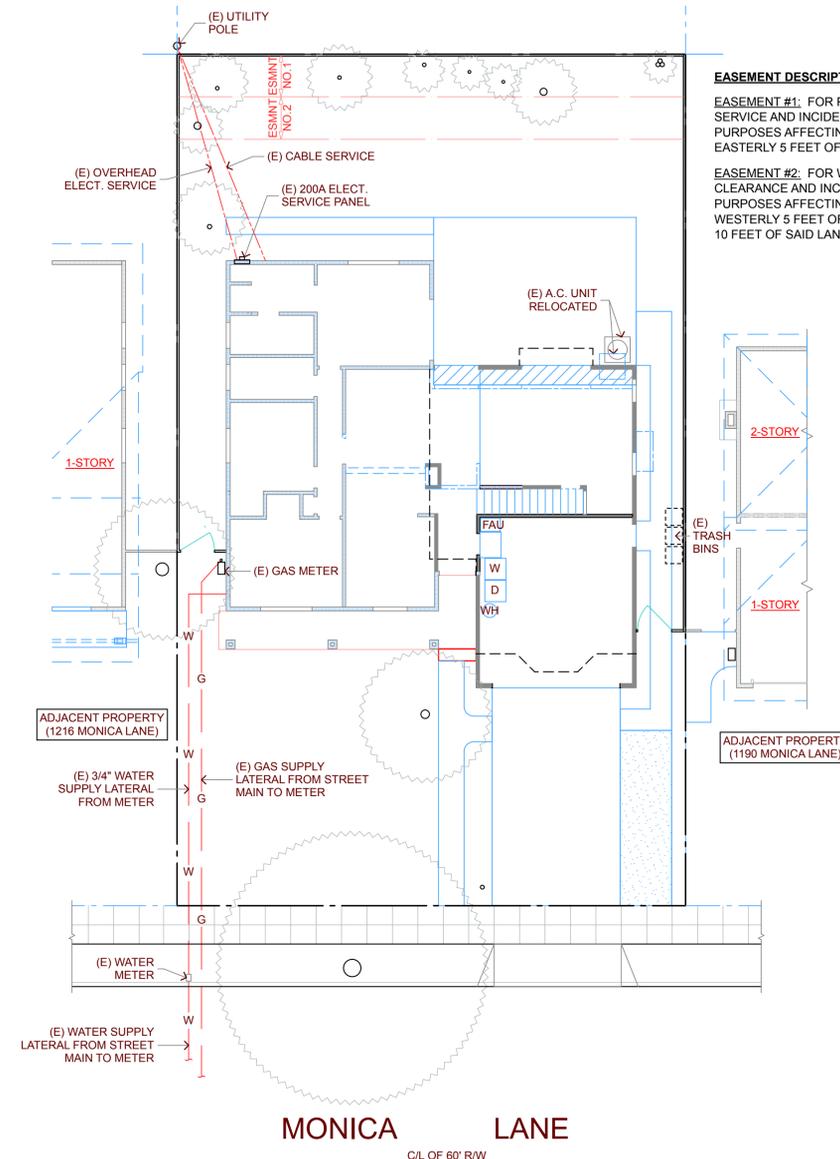
Scale AS SHOWN

Drawn G.B.

Sheet

**A-5**

Of 8 Sheets



Site Utilities Plan 1" = 10'

REVISIONS	BY

**Greg W. Benton, Architect**  
 14275 Branham Lane San Jose, CA 95124  
 (408) 605-2707 greg48@aol.com

**Site Utility Plan**

COPYRIGHT: These Drawings and related specifications are the property of Greg W. Benton, Architect. No revisions, reproductions or use of these documents in any way shall be made without the consent of Greg W. Benton. Copyright (2021) by Greg W. Benton & Co., Inc., 14275 Branham Lane, CA 95124

**Sears Residence Addition**  
 Second Floor Addition to a Single Family Residence  
 At 1204 Monica Lane, San Jose, CA 95128  
 (City of Campbell Jurisdiction)

**FOR SITE & ARCHITECTURAL REVIEW**

Date 3/25/21  
 Scale AS SHOWN  
 Drawn G.B.

Sheet  
**A-6**  
 Of 8 Sheets



Street Photo-North Neighbor



Street Photo-Project



Street Photo-South Neighbor



(E) Site Photo 1



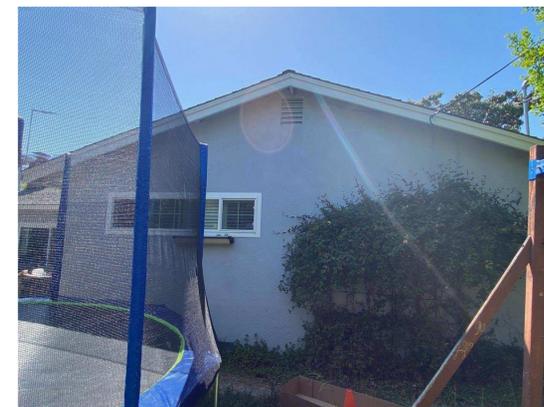
(E) Site Photo 2



(E) Site Photo 3



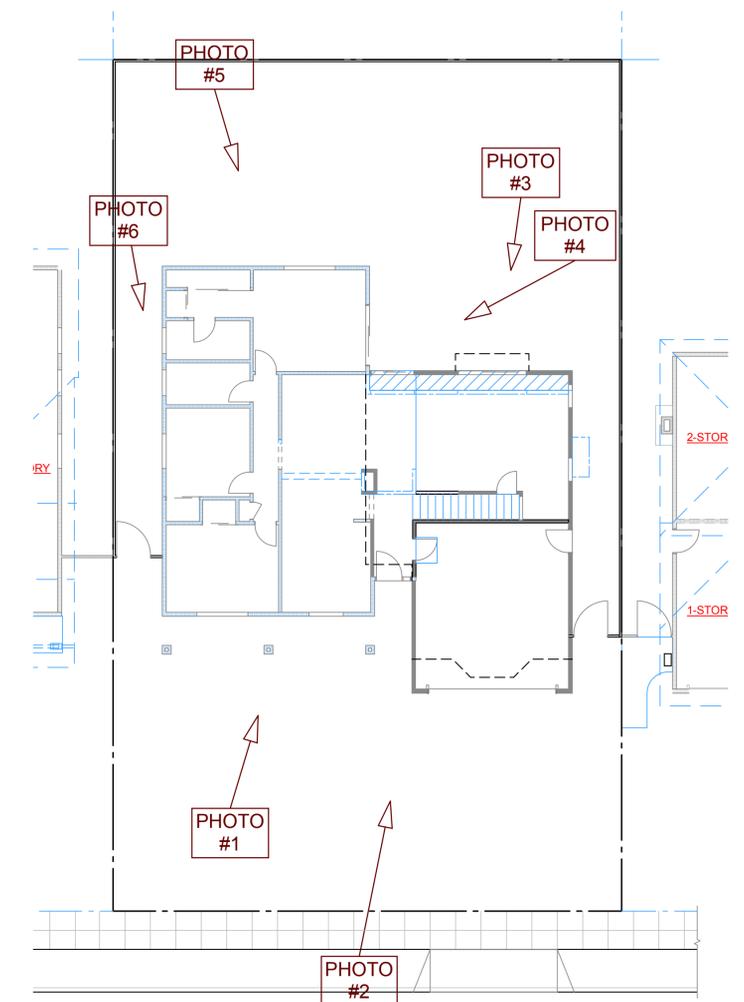
(E) Site Photo 4



(E) Site Photo 5



(E) Site Photo 6



MONICA LANE  
C/L OF 60' R/W

(E) Site Photos Diagram

1" = 10'

REVISIONS	BY

**Greg W. Benton, Architect**  
14275 Branham Lane San Jose, CA 95124  
(408) 605-2707 greg48@aol.com

**(E) Streetscape Photos,  
(E) Site Photos**  
COPYRIGHT: These drawings and related specifications are the property of Greg W. Benton, Architect. No revisions, reproductions or use of these documents in any way shall be made without the consent of Greg W. Benton. Copyright (2021) by Greg W. Benton & Co., Inc., 14275 Branham Lane, CA 95124

**Sears Residence Addition**  
Second Floor Addition to a Single Family Residence  
At 1204 Monica Lane, San Jose, CA 95128  
(City of Campbell Jurisdiction)

FOR SITE &  
ARCHITECTURAL  
REVIEW

Date 3/25/21

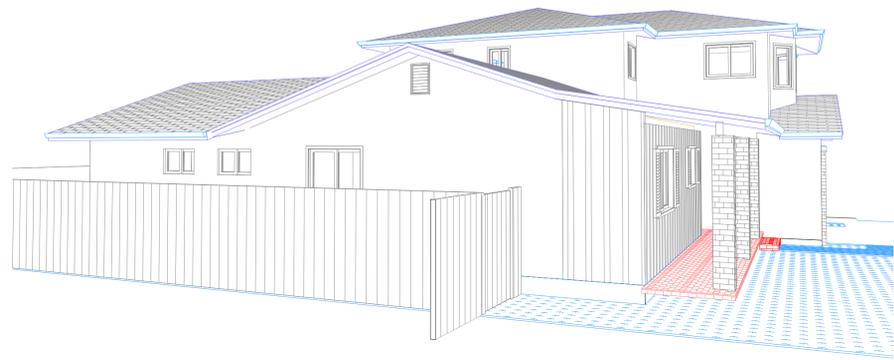
Scale AS SHOWN

Drawn G.B.

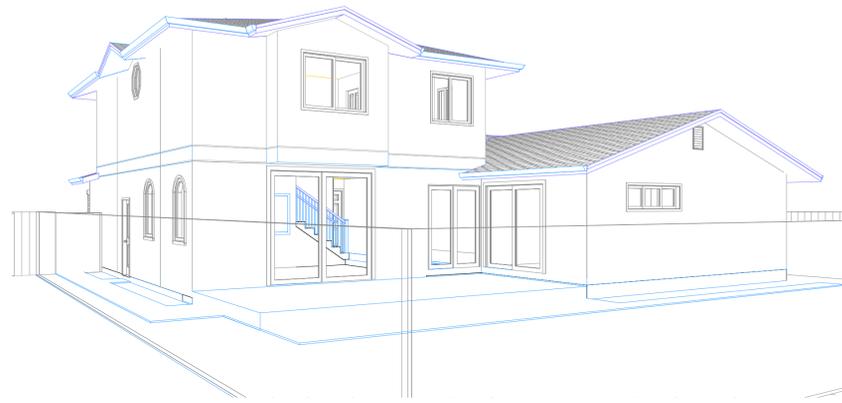
Sheet

**A-7**

Of 8 Sheets



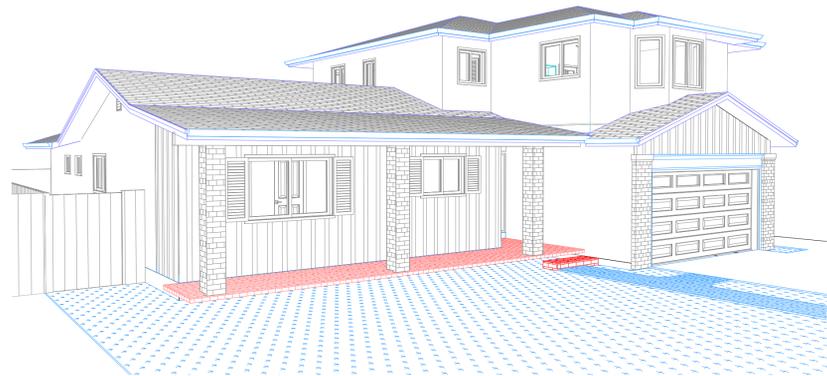
Exterior Model 5



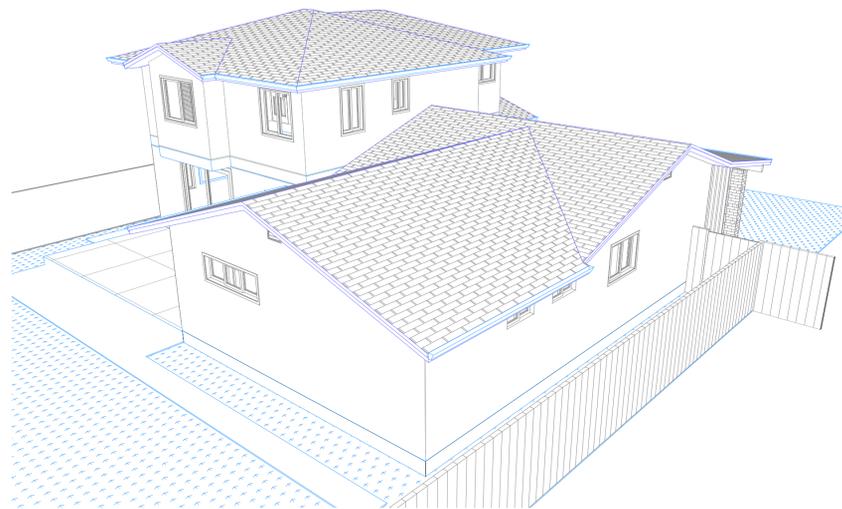
Exterior Model 3



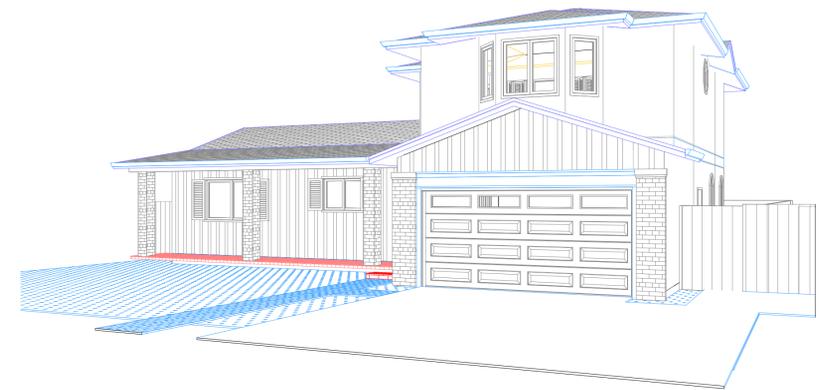
Exterior Model 1



Exterior Model 6



Exterior Model 4



Exterior Model 2



NOTE:  
NEW AND (E) WALL, ROOF AND TRIM MATERIALS AND  
COLORS ARE TO MATCH (E). SEE (E) STREETScape AND  
SITE PHOTOS, SHEET A-7.

Streetscape Elevations 1/8" = 1'-0"

REVISIONS	BY

**Greg W. Benton, Architect**  
14275 Branham Lane San Jose, CA 95124  
(408) 605-2707 greg48@aol.com

**Exterior Model Views,  
Streetscape Elevations**  
COPYRIGHT: These drawings and related specifications are the property of Greg W. Benton, Architect. No revisions, reproductions or use of these documents in any way shall be made without the consent of Greg W. Benton. Copyright (2021) by Greg W. Benton & Co., Inc., 14275 Branham Lane, CA 95124.

**Sears Residence Addition**  
Second Floor Addition to a Single Family Residence  
At 1204 Monica Lane, San Jose, CA 95128  
(City of Campbell Jurisdiction)

**FOR SITE &  
ARCHITECTURAL  
REVIEW**  
Date 3/25/21  
Scale AS SHOWN  
Drawn G.B.  
Sheet  
**A-8**  
Of 8 Sheets