

CITY OF CAMPBELL
Community Development Department

NOTICE OF DECISION

Tree Removal Permit

Notice is hereby given that the Community Development Director of the City of Campbell has **APPROVED** the following application for a Tree Removal Permit:

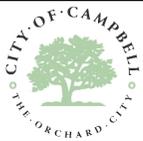
File No.: PLN-2021-116
Applicant: Szu-Tsung Wang
Address: 1147 S. San Tomas Aquino Rd
Tree Species: (1) Walnut Tree
Tree Size: 24" in diameter
Location: Rear Yard
Decision Date: July 7, 2021
Appeal Deadline: July 19, 2021



Basis of Decision: A Walnut tree in the rear yard of the abovementioned property was removed without approval during the demolition of on-site structures. Replacement of the walnut tree with two (2) new trees shall be required consistent with Campbell Municipal Code (CMC) Section 21.32.160 (Violations/penalties).

Appeal Process: Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period (July 19, 2021). A written appeal must be accompanied by the required \$200 appeal filing fee.

City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



Location Map - 1147 S. San Tomas Aquino Rd.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

WONG RESIDENCE

1147 SOUTH SAN TOMAS AQUINO ROAD, CAMPBELL, CA 95008



20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



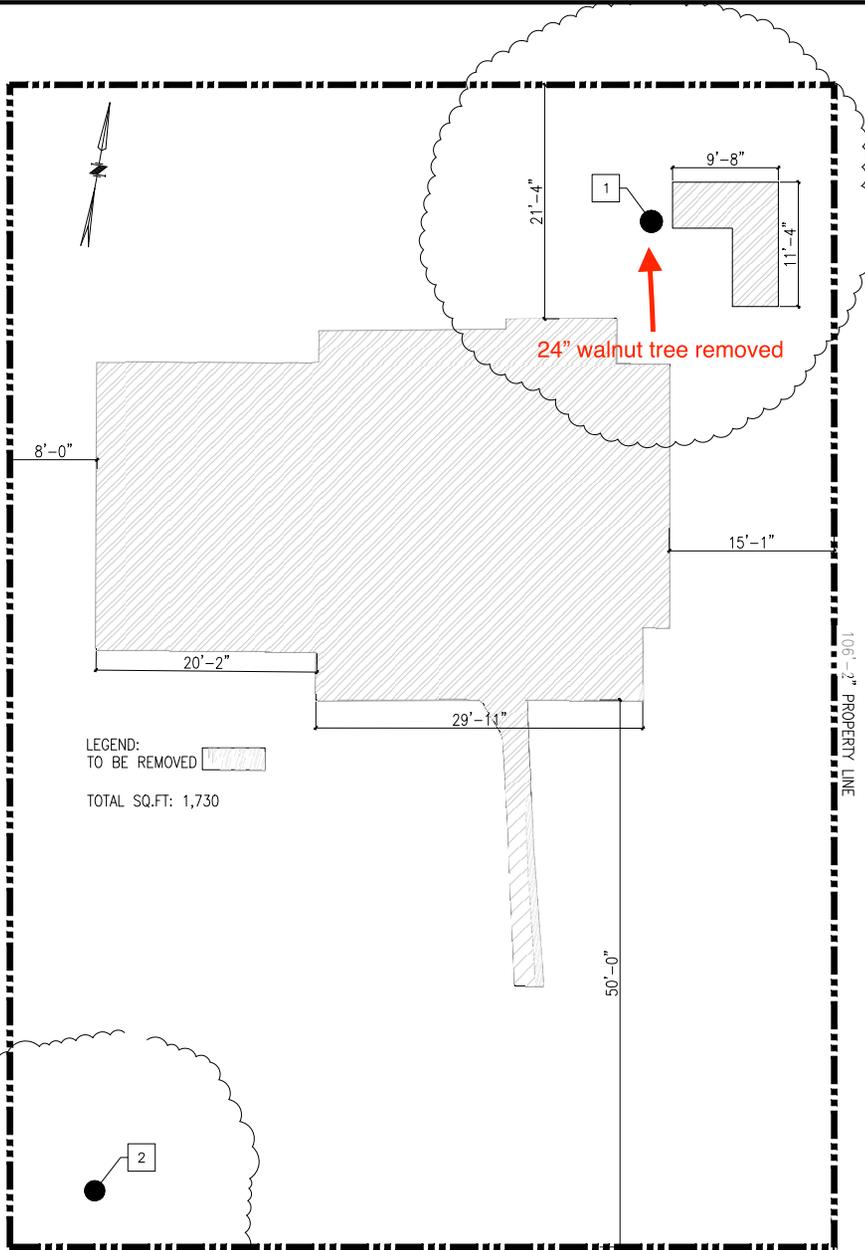
WONG RESIDENCE
1147 SOUTH SAN TOMAS AQUINO ROAD, CAMPBELL

PLAN SUBMITAL	03/2019
1ST PLAN CHECK	08/2019
2ND PLAN CHECK	08/2019
3RD PLAN CHECK	11/2019
BUILDING PLAN	03/20/2020
BUILDING PLAN	09/10/2020
BUILDING PLAN	07/22/2021
BUILDING PLAN	03/12/2021

PROJECT NO. 1808 DATE 10.01.19
DRAWN BY: MEY MAPLE

EXISTING/DEMOLITION PLAN

D-1.0



LEGEND:
TO BE REMOVED [hatched box]
TOTAL SQ.FT: 1,730

1. MONTEREY PINE	24"	APPROVED TO BE REMOVED
2. WALNUT TREE	24"	FOLLOW CITY'S STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION WITH PROTECTIVE FENCING

DEMOLITION NOTES:

- DEMOLITION PLAN IS PROVIDED FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL CAREFULLY COORDINATE DEMOLITION AND REMOVAL WITH NOTES AND DIMENSIONS INDICATING THE EXTENT AND NATURE OF NEW CONSTRUCTION SHOWN ELSEWHERE IN THESE DOCUMENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURELY SHORING IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVAL OF ANY EXISTING SUPPORT STRUCTURES.
- CAP-OFF PLUMBING, GAS AND ELECTRICAL LINES AS REQUIRED.
- INSTALLATION OF BMP POLLUTION CONTROL MEASURES AS ATTACHED.

1-0 EXISTING / DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

FRONT SETBACK LANDSCAPE COVERAGE

Front setback area: 1800 sf
 Available coverage: 90% or 1790 sf
 Proposed coverage:
 Driveway: 429 sf
 Entry Walk: 199 sf
 Total: 628 sf



LAGERSTROEMIA PISTACHIA JUNIPERUS

In the landscape design.



TULBAGHIA CAREX ECHEVERIA LOROPETALUM



PHORMIUM PITTOSPORUM COTINUS LAVANDULA LOMANDRA

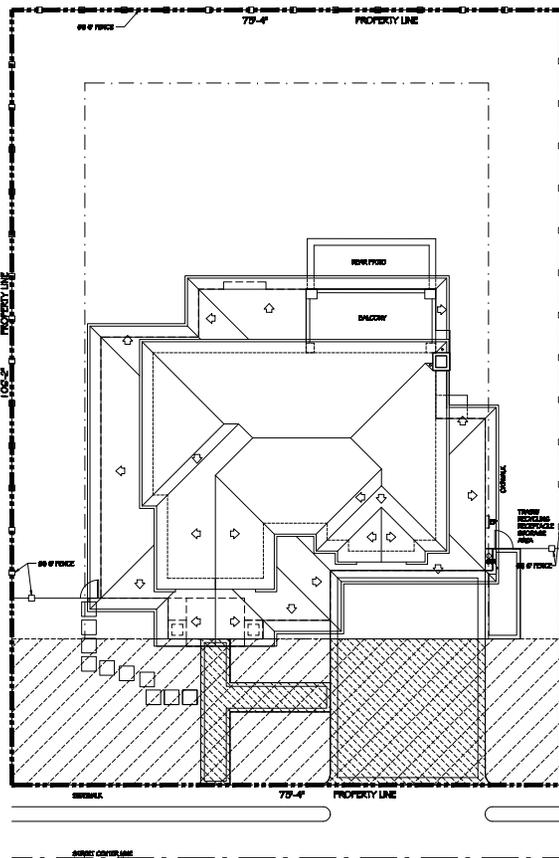
W. Jeffrey Heid
 Landscape Architect
 C-2228

6179 Chula Drive
 San Jose, California 95125
 Tel: 408 691-9207
 Fax: 408 228-6005
 Email: wjheid@earthlink.net

OWNERSHIP AND USE OF DRAWINGS

All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain the property. They are to be used only with respect to the Project and are not to be used on any other project. Distribution or disclosure to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of W. Jeffrey Heid Landscape Architect - common law, copyright or other reserved rights.

REVISED 3/22/19
 REVISED 4/1/19
 REVISED 8/18/20



SITE PLAN

FRONT YARD COVERAGE

1/8" = 1'-0"

PLANNING FINAL REQUIRED
 THE NEW LANDSCAPING INDICATED ON THE PLANS MUST BE INSTALLED PRIOR TO FINAL INSPECTION. CHANGES TO THE LANDSCAPING PLAN REQUIRE PLANNING APPROVAL.

PROJECT INFORMATION

The proposed front yard and screening landscape area is under 2500 sf, thus Prescriptive Compliance with the local MHELO has been selected.

Applicant: Steven Wang
 Project Address: 1147 South San Tomas Aquino
 Total Landscape Area: 1609 sf
 Project Type: New
 Water Supply: Potable

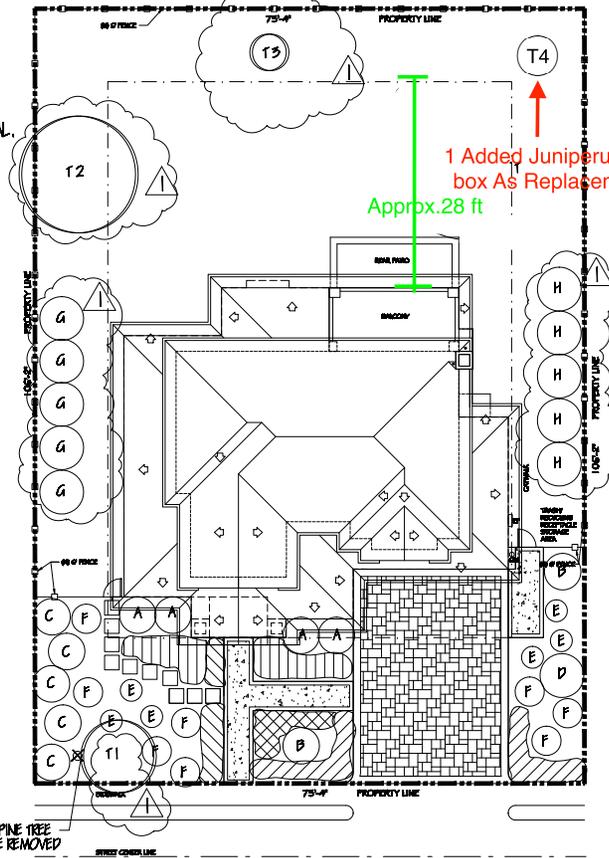
1) Agree to comply with the requirements of the prescriptive compliance option for the MHELO¹

Applicant	Date
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PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	MHELO-5
	Tillandsia veloxia @ 24" oc	1 gallon low	5	5
	Carex diandra/ Perichloa Salsp @ 56" oc	1 gallon low	5	5
	Echeveria variegata/ Succulent @ 16" oc	1 gallon low	5	5
A	Loropetalum Sczarenz	5 gallon low	5	5
B	Phormium Approx Queen/ Flax	5 gallon low	5	5
C	Pittosporum tobira Variegata	5 gallon low	5	5
D	Cobaea Golden Spark/ Snake Tree	15 gallon low	5	5
E	Lomandra Grasses/ Lomandra	5 gallon low	5	5
F	Lomandra Phoebe	5 gallon low	5	5
G	Pittosporum brevidens 5 @ 6' oc center	15 gallon low	5	5
H	Podocarpus macrophylla Male/ Yew Pine 5 @ 6' oc center	15 gallon low	5	5
T-1	Lagerstroemia Ficusora sdb./ Crepe Myrtle	24" low low	5	5
T-2	Pistacia chinensis Keith Pansy/ Chinese Pistache	24" low low	5	5
T-3	Japane Sky Rockb 10'-15' lb at planting	24" low low	5	5

- 1) Verify placement of all new plant material.
- 2) Protect Walks from foot damage through construction.
- 3) Contractor shall have soil sample analyzed with recommendations for preparation prior to planting.
- 4) Incorporate 4 cu ft compost per 1000 sq ft, 6" into native soil, except for water canopy of Walks trees.
- 5) Spread 5" of wood chip mulch, Preempt overflows or erosion, after planting.
- 6) 1) Insure compliance with the criteria of the ordinance and applied them for the efficient use of water in the landscape design.



SITE PLAN

MASTER/ PLANTING PLAN

1/8" = 1'-0"

1 Added Juniperus 24" box As Replacement
 Approx. 28 ft

WANG RESIDENCE

for:

1147 SOUTH SAN TOMAS AQUINO CAMPBELL, CA. 95008

MASTER PLANTING PLAN FRONT YARD COVERAGE

date: 2/19/19
 scale: NOTED
 drawn by: WJH
 job no. 21911
 sheet

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Written Statement

When demolishing the existing structure, the walnut tree in the backyard was totally removed by accident when demo contractor doing their work.