



CITY OF CAMPBELL
Community Development Department

October 11, 2021

NOTICE OF FENCE EXCEPTION PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

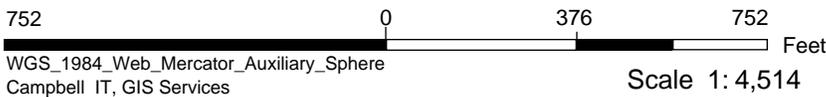
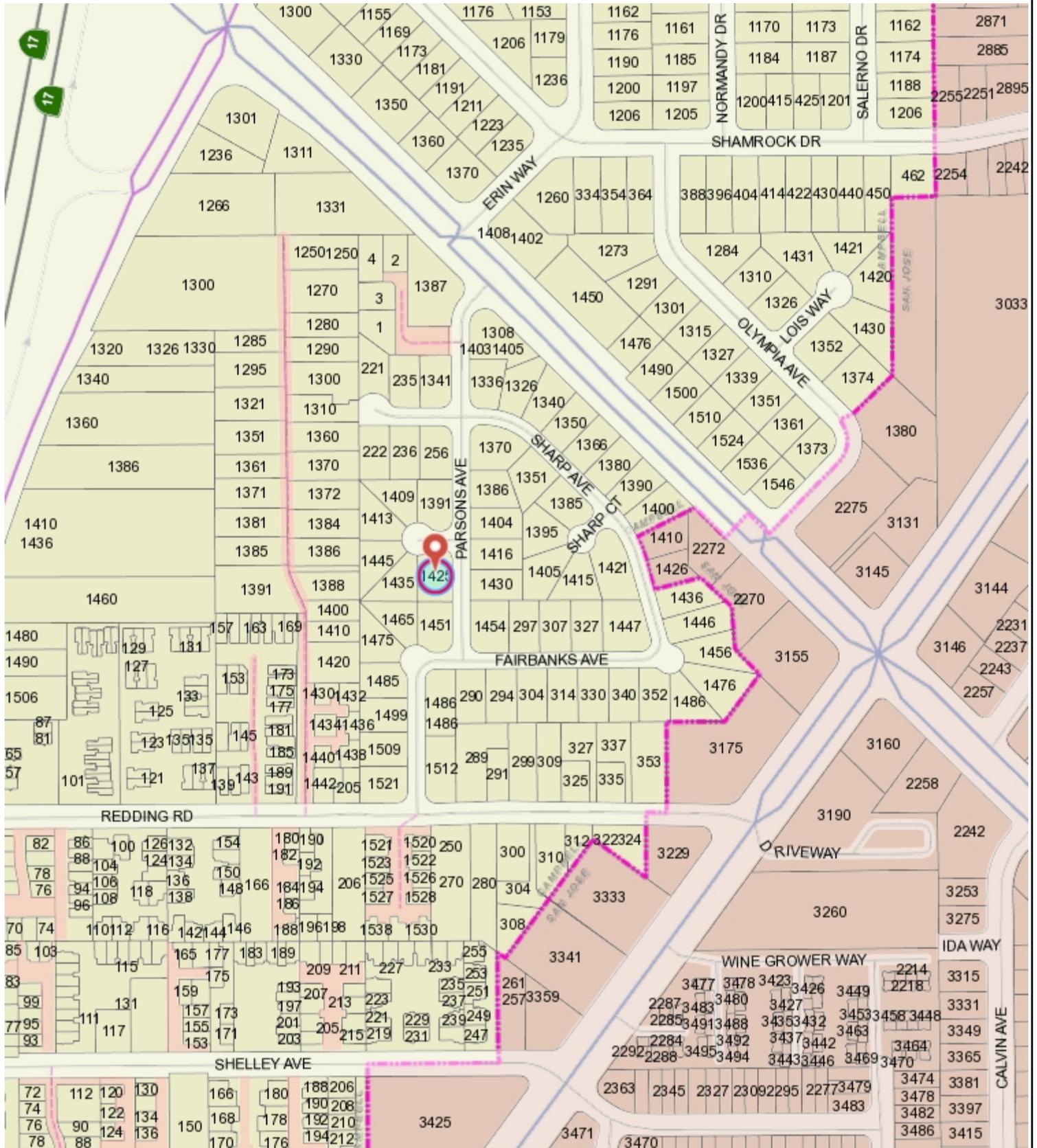
File No.:	PLN-2021-174
Applicant:	Robert Basanty
Project Address:	1425 Parsons Court
Property Owner:	Hongchen Na
Zoning District Area Plan:	R-1-6 (Single Family Residential) None
General Plan:	Low Density Residential
Neighborhood Association(s):	None
Project Description:	Fence exception to allow a six-foot tall fence along a street side property line where otherwise required to be no closer than five feet from the street side property line.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The 10-day comment period for this application begins on October 13, 2021 and ends on October 25, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 25, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Stephen Rose, Senior Planner, in the Community Development Department, at (408) 866-2142 or by email stephenr@campbellca.gov.



Location Map - 1425 Parsons Ct.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

Dear officers at Campbell's Planning department:

We're writing to seek for a fence exception, for our single family home at 1425 Parsons Ct, Campbell, 95008.

Current zoning rules says that for street side yard, the fence needs to be no closer than five feet from the street property line. We mistook the curb to be our property line, so we have set up our new fence to be 5 feet from the curb. However, we were told by the city office, after we've built our fence, that our property line is actually 4 feet 11 inch from the curb. We want to respectfully request to keep our new fence.

In 2019, we toured our neighborhood and looked for fence inspirations. A lot of our neighbors have fences very close to the curb. And, almost none of our neighbors in the neighborhood have sidewalks. The street is very wide, and we saw a good amount of neighbors doing walks, runnings in the street, in mornings or nights. We are under the impression that people don't feel unsafe about the current pedestrian safety.

We also went to the city office to ask about fence requirements last year, and we were told to have 5 feet setback from the side street. We looked online for our subdivision map, and it doesn't have any notes about where the curb is in relation to the property line. Almost naturally we were under the impression that our property line is on the curb.

This year, we want to save water usage on our previous lawn in front of our front door, so we converted the lawn to become drought tolerant rock garden. We also want to grow some vegetables in raised beds, especially during the pandemic we have to be at home. So this year together with the fence relocation, we built raised beds ourselves and connected drip irrigation for them, and these 4 large raised beds were put right behind the fences, with some crop already growing in them. It would be huge amount of effort (and heart breaking for us) if we have to relocate them due to the fence relocation.

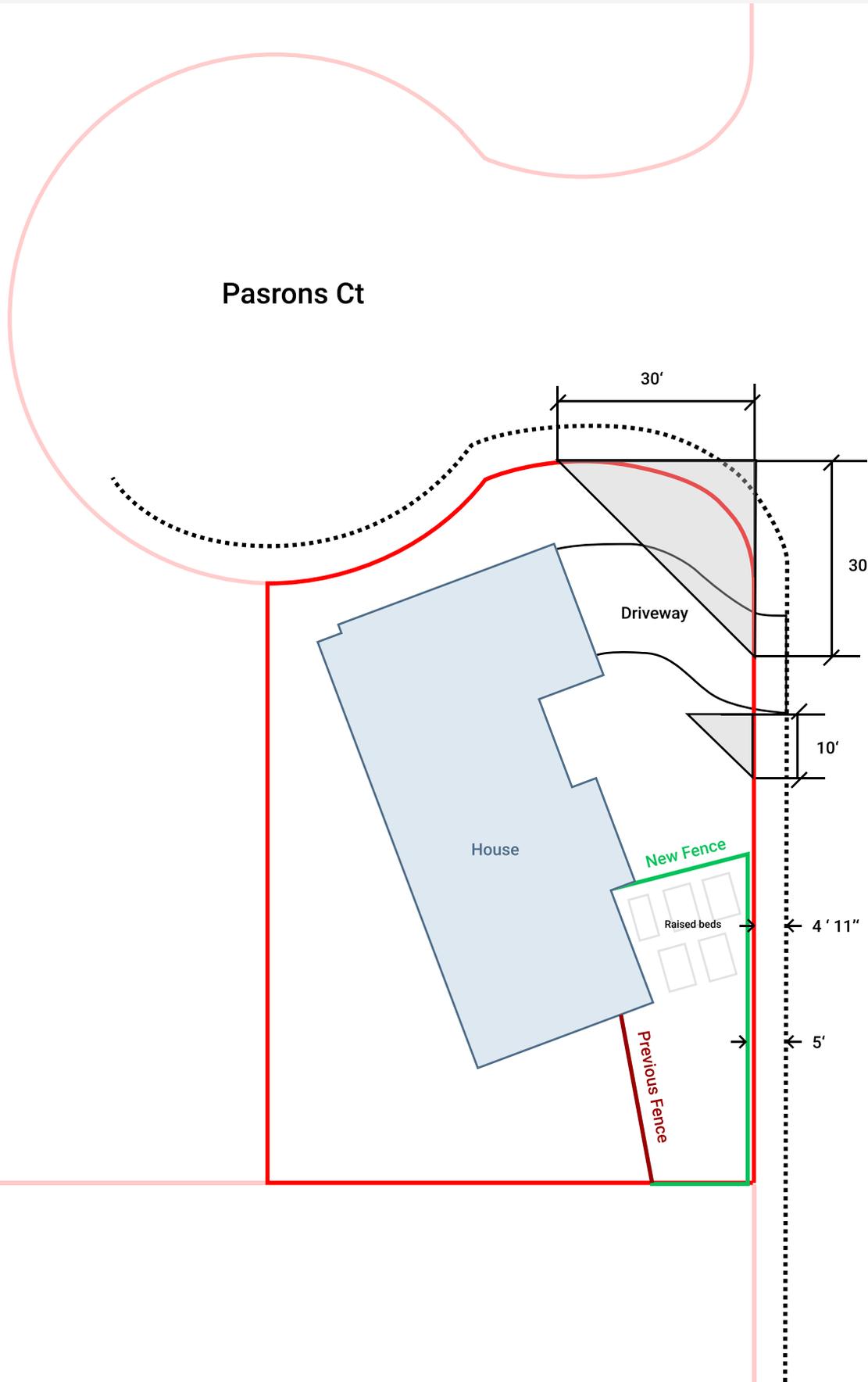
The new fence makes the site layout more ideal for us. It allows us to have a bigger side & back yard. Even though it's close to the curb, we're planning to grow some flowers along the curb so that the street side has some refreshing curb appeal too.

Of course, we would never want to harm our neighbors, or be detrimental to the health, safety, peace, morals, comfort or welfare of persons residing/working in the neighborhood.

We went around in the neighborhood today and spoke to our neighbors, letting them know our current situation with the fence. Most neighbors kindly signed the petition letter, the letter is scanned and attached at the end of this written request.

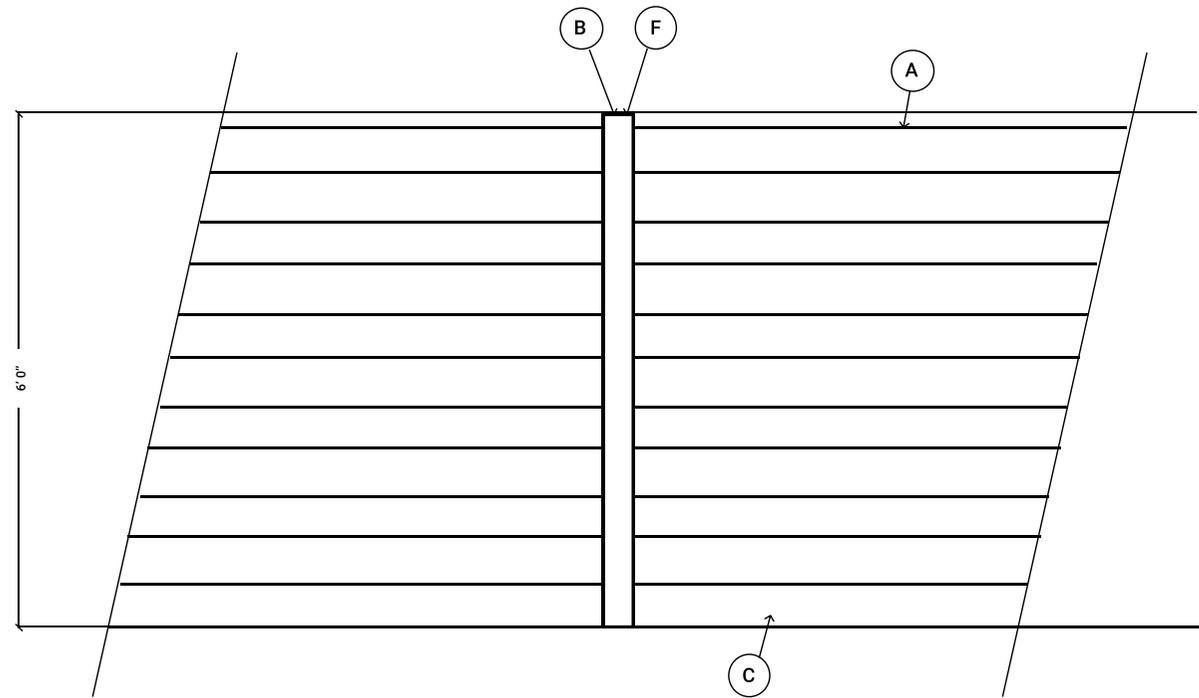
Our new fence is stylish and modern looking. I hope you agree that our request would produce an aesthetically proper addition if not an enhancement to our neighborhood. Should you have any questions, please do not hesitate to contact us at 408-460-9371(Lilian) or 213-910-0505(Hongchen). Thank you for your thoughtful consideration of this request.

Yours truly,
Lilian Qian & Hongchen Na
Home owners of 1425 Parsons Ct, Campbell, CA

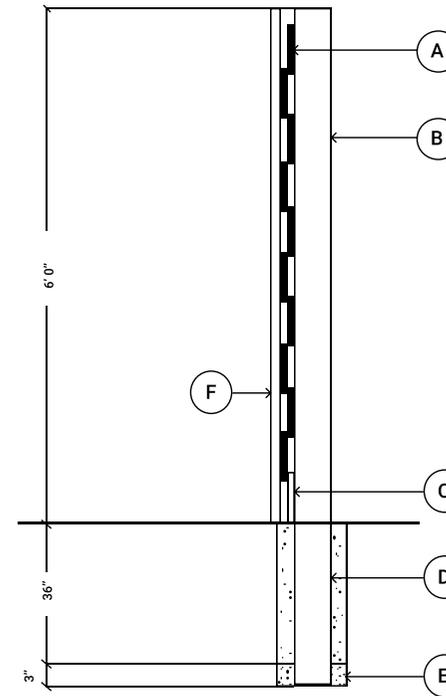


Parsons Ave -- Side street

-  House
-  property line
-  Fence free zone
-  Previous Fence
-  New Fence
-  Street curb
- no previous public side walk



Elevation



Section

- A - 1X7 Rough Redwood horizontal board, overlap 1".
- B - 4X4 PTFD posts at 8 feet
- C - 2X6 treated wood kicker between posts.
- D - 18" diameter, 24" deep concrete footing at posts.
- E - Wood post extend 3" through bottom of concrete footing.
- F - 2X4 vertical trim board in front of posts to cover gap between horizontal boards

1. Intersection of Parsons Ave & Parsons Ct, looking in fairbanks Ave direction



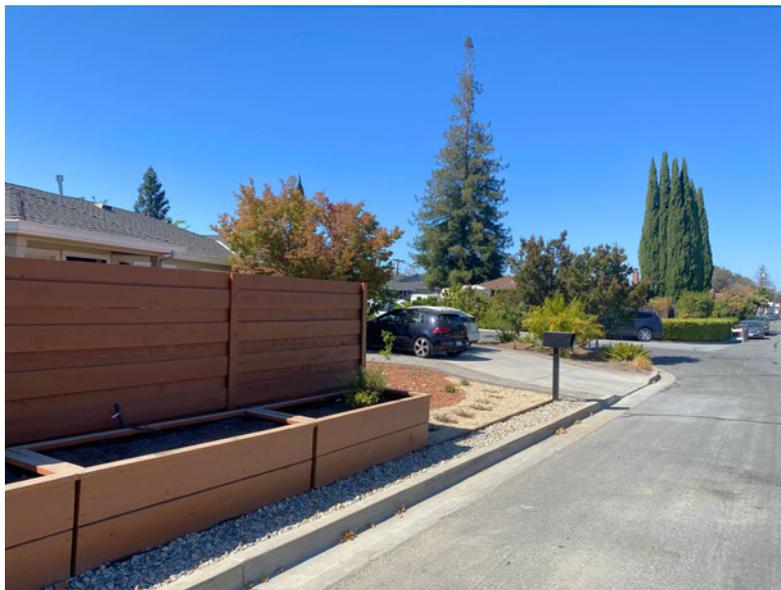
2. Parsons Ave, close up of the fence



3. Parsons Ave, in front of the fence



4. Parsons Ave, looking towards Driveway & Parsons Ct



4. Parsons Ave, the other side of the fence. Looking in Parsons Ct direction.



4. Parsons Ave, very close to the fence. Looking in Parsons Ct direction.

