



CITY OF CAMPBELL
Community Development Department

October 15, 2021

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 1700 Dell Ave.

Zoning/Area Plan: P-D

Neighborhood Association(s): N/A

File No.: PLN-2021-188

APN: 424-33-094

Applicant: Dollinger Properties

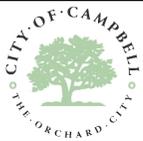
Property Owner: Dollinger Dell Associates LP

Application Type: Extension of Approval

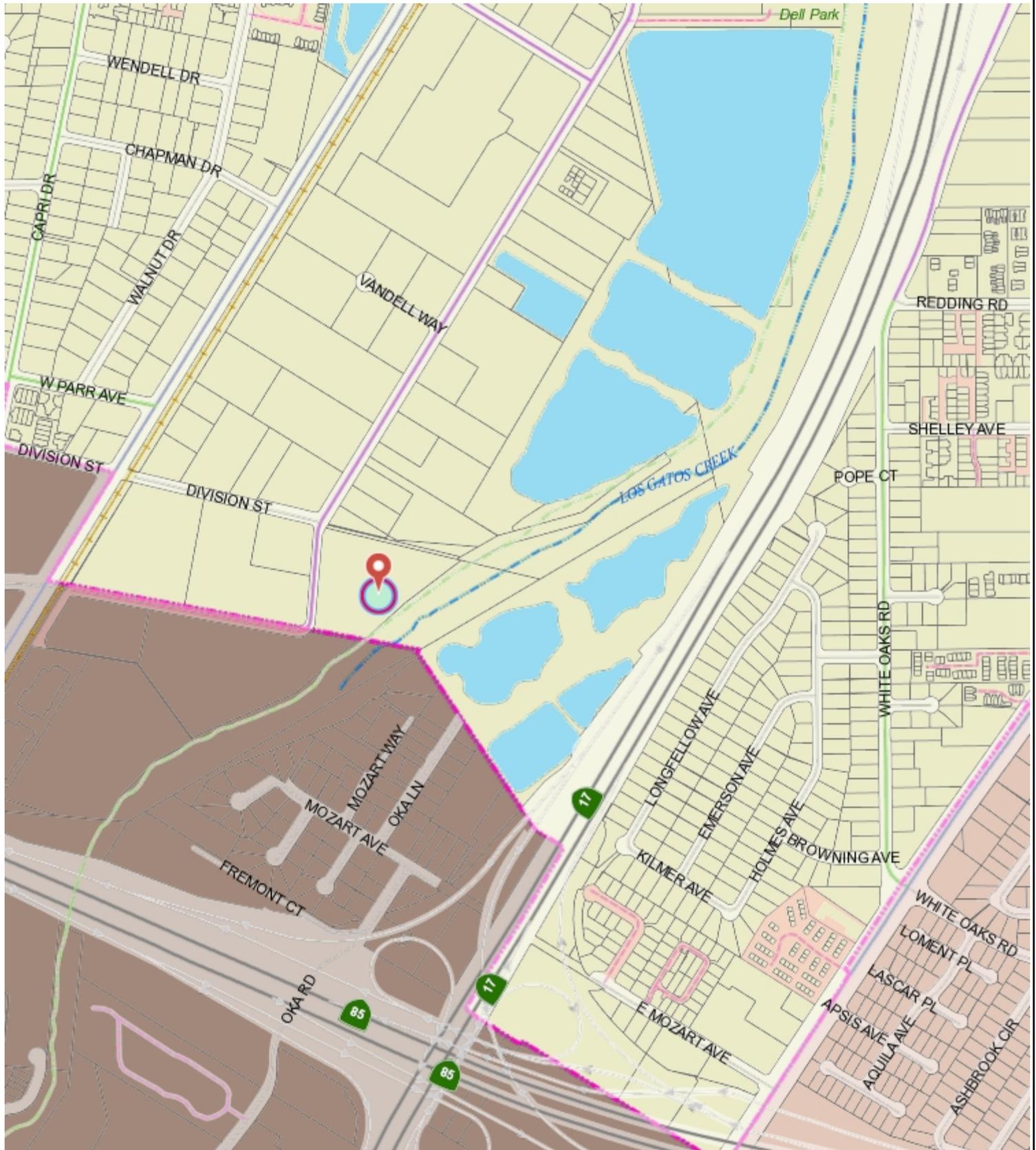
Project Description: Request for a one-year extension of approval of Planned Development Permit No. PLN2017-00381 to allow construction of a 161,870 square-foot four-story office building and a 146,478 square-foot five-story parking garage.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 15, 2021 and ends on October 25, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 25, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.



Location Map - 1700 Dell Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



September 27, 2021

Attn: Naz Pouya Healy
Community Development Department
City of Campbell
70 N. 1st Street
Campbell, CA 95008

RE: 1700 Dell Avenue, Campbell - PLN 2017-381 – Extension Application

Dear Mrs. Pouya Healy,

Please accept this letter as our Extension Application to extend the permit expiration date of Planned Development permit PLN2017-381 from March 17th, 2022, to March 17th, 2023.

We're submitting this Extension Application to ensure adequate time is allowed between the issuance of the building permit and the commencement of substantial construction which may be impacted by wet weather this winter. Unfortunately, the timing of the PD approval in March 2020 directly coincided with the beginning of the COVID-19 pandemic. The County Health Order mandating office closures in 2020 adversely impacted the coordination required to prepare a building permit set of drawings which delayed the building permit submittal process.

As evidence of applicant's good faith effort to fulfill all requirements of approval, applicant is currently in the third round of plan check review. We believe pending new comments a building permit will be issued following this round of review. Below is a summary of the dates of each plan check submission and receipt of plan check comments.

11/04/2020 BLDG PERMIT SUB1 - Comments Received 01/21/2021
04/30/2021 BLDG PERMIT SUB2 - Comments Received 07/23/2021
08/30/2021 BLDG PERMIT SUB3 - Comments Pending

Please let me know if additional information is needed, we're looking forward to breaking ground on this exciting project.

Best Regards,
Dollinger Properties

A handwritten signature in black ink, appearing to read "Derrick Larson", is written over a light blue horizontal line.

Derrick Larson
Senior Development Manager
(650) 766-0999