



CITY OF CAMPBELL
Community Development Department

October 22, 2021

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 890 Jones Way

Zoning/Area Plan: R-1-6 / San Tomas Area Neighborhood Plan

Neighborhood Association(s): San Tomas Area Community Coalition

File No.: PLN-2021-151

APN: 406-04-030

Applicant: AP&H Construction

Property Owner: Diana L Neuby

Application Type: Administrative Site and Architectural Review Permit

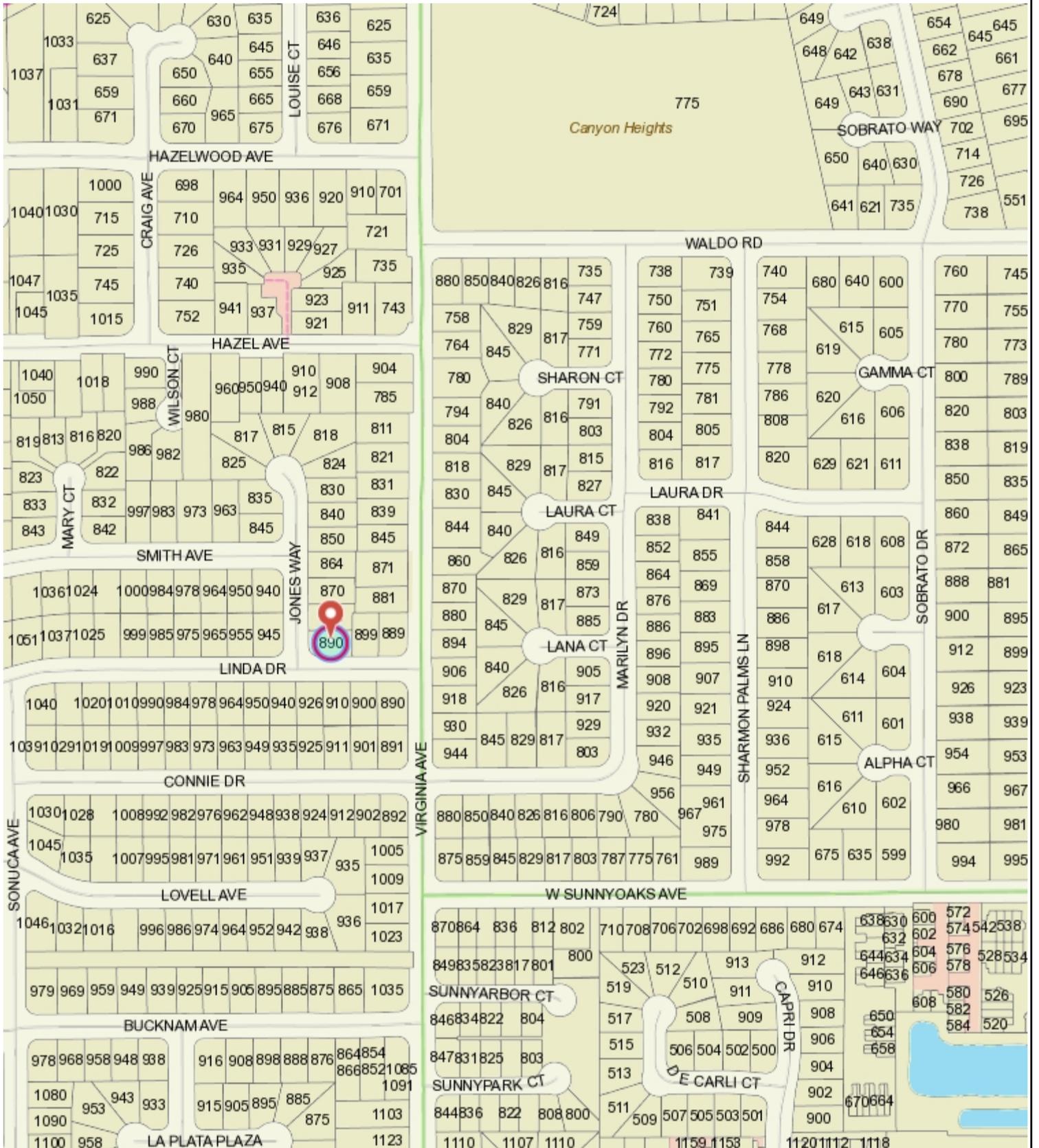
Project Description: Approximately 430 square-foot first-story addition to a single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 22, 2021 and ends on November 1, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 1, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.



Location Map - 890 Jones Way



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

PROJECT: RESIDENTIAL ADDITION

890 Jones Way Campbell, CA 95008

GENERAL NOTES	SCOPE OF WORK	PROJECT INFORMATION	VICINITY MAP
<p>1) EMERGENCY EGREES FROM SLEEPING ROOMS, MIN 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 S.Q FT. MIN AREA. TOP OF SILL HEIGHT DIMENSION TO BE 44" MAX A.F.F. AND EGREES WINDOWS FOR BEDROOMS SHALL BE OPENABLE.</p> <p>2) PROVIDE A SMOKE DETECTOR IN EACH EXISTING SLEEPING AREA AND AT A CENTRAL POINT IN HALLWAY SOLELY BATTERY OPERATED</p> <p>3) ALL SMOKE DETECTORS IN NEW CONSTRUCTION AREA TO HAVE PRIMARY POWER AND EQUIPPED WITH A BACK-UP BATTERY.</p> <p>4) SHOWERS AND TUB/SOWER WALLS TO BE A SMOOTH HARD NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBER GLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G.,CEMENT, FIBER CEMENT,OR GLASS MAT GYPSUM BACKER) TO A MINIMUM HEIGT OF 72 INCHES ABOVE THE DRAIN INLET PER SEC. 807.1.3 OF 2019 CBC</p> <p>5) PER SEC. 2406.4 OF 2019 CBC, GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED.</p> <p>a. INGRESS AND EGRESS DOORS</p> <p>b. PANELS IN SLIDING OR SWINGING DOORS</p> <p>c. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)</p> <p>d. IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE</p> <p>e. IN WALL ENCLOSING STAIRWAY LANDING</p>	<p>350 SF RESIDENTIAL ADDITION</p> <p>-NEW BEDROOM</p> <p>-NEW 2 BATHROOMS</p> <p>-EXTEND LIVING AREA</p> <p>-CREATE A NEW OFFICE</p> <p>-REMOVE THE WALL BETWEEN KITCHEN AND LIVING</p> <p>-RELOCATE THE KITCHEN</p>	<p>1) APN # 40604030</p> <p>2) OCCUPANCY GROUP: R-3/U</p> <p>3) BUILDING TYPE: V-B</p> <p>4) ZONING: R1</p> <hr/> <p>APPLICABLE CODES</p> <p>CALIFORNIA BUILDING CODE (BASE CODE 2018 IBC).....2019</p> <p>CALIFORNIA RESIDENTIAL CODE (2018 IRC).....2019</p> <p>CALIFORNIA ELECTRICAL CODE (2017 NEC)2019</p> <p>CALIFORNIA MECHANICAL CODE (2018 UMC)2019</p> <p>CALIFORNIA PLUMBING CODE (2018 UPC) 2019</p> <p>CALIFORNIA ENERGY CODE2019</p> <p>CALIFORNIA FIRE CODE (2018 IFC)2019</p> <p>CALIFORNIA GREEN BUILDING CODE.....2019</p>	

MECHANICAL/PLUMBING/ELECTRICAL NOTES	SITE AREA	DRAWING INDEX																								
<p>ELECTRICAL NOTES</p> <p>1. Arc Fault (AFCI) required in family rooms, dining rooms, parlors, libra bedrooms, sunrooms, rec rooms, closets, and hallways and lighting. GFCI (GECI) is required in bathrooms, garages, accessory areas, exterior, cra basements, dishwashers, and disposals. Combination AFCI/GECI is req kitchens, and laundry areas.</p> <p>2. All new lighting shall be high-efficacy compliant to table 150.0A CECS. S permanently installed light fixtures must contain screw-based JAS (Join 8) compliant lamps. JAS compliant light sources in ceiling recessed down LEDs are to be controlled by vacancy sensors or dimmers.</p> <p>3. Exhaust fans shall be switched separately from lighting. Exterior lighting shall be controlled by photocell and motion per energy 114 At least one fixture in each garage is to be controlled by a vacancy sensor At least one fixture in each laundry room is to be controlled by a vacancy sensor At least one fixture in each utility room is to be controlled by a vacancy sensor At least one fixture in each bathroom is to be controlled by a vacancy sensor Under cabinet lighting shall be controlled by separate switching.</p> <p>PLUMBING NOTES</p> <p>1. On and after January 1, 2014, for all building alterations or improveve family residential real property, as a condition for issuance of a certifica completion and occupancy or final permit approval by the local building department, the permit applicant shall replace all non-compliant plumb with water conserving plumbing fixtures. Some historic buildings may h fixtures</p> <table border="1"> <thead> <tr> <th>Fixture</th> <th>If the water usage exceeds</th> <th>It must</th> </tr> </thead> <tbody> <tr> <td>Water closet</td> <td>1.6 gallon/flush</td> <td>1.28 gallon/flush</td> </tr> <tr> <td>Shower Head</td> <td>2.5 gallon/minute</td> <td>1.8 gallon/minute</td> </tr> <tr> <td>Lavatory Faucet</td> <td>2.2 gallon/minute</td> <td>1.2 gallon/minute</td> </tr> <tr> <td>Kitchen Faucet</td> <td>2.2 gallon/minute</td> <td>1.8 gallon/minute</td> </tr> </tbody> </table> <p>2. Provide backflow devices on all hose bibs. Dishwasher shall be fitted with an air gap or a high loop if the manufacturer's guidelines allow.</p> <p>3. Washing machine shall be fitted with water hammer arrestors.</p> <p>MECHANICAL NOTES</p> <p>1. Bathrooms require 50 cfm minimum humidity controlled exhaust fans (by fan or switch) per R405.6. and be switched separately from lighting systems.</p> <p>2. Kitchen hood vent to have damper and be ducted to the exterior with smooth wall sheet metal per mfg's installation requirements. Exhaust fan must provide a minimum of 100 cfm.</p> <p>3. The scope of this project triggers the requirement for a HERS HVAC testing.</p> <p>4. The dryer moisture exhaust duct shall not exceed 14' min of 4" diameter with a backdraft damper to be metal or moisture rated PVC with a smooth interior surface w/o screws. Duct shall terminate at least 3' from openings into the building.</p> <p>5. Where combustion appliances or solid fuel burning appliances are located inside the pressure boundary, the maximum allowable net exhaust flow of the two largest exhaust fan shall not exceed 15 cfm per 100 sq foot of occupiable space, when operating at full capacity. If the designed total net flow exceeds this limit, the net exhaust flow must be reduced by reducing the exhaust flow or providing compensating outdoor airflow (note: if make-up air fan is installed it must be electrically interlocked with the largest exhaust fan. Combination AFCI/GFCI is required in kitchens and laundry areas.</p> <p>6. Provide 100 cfm intermittent air flow for the kitchen range hood microwave or hood combination.</p> <p>7. Provide min. 50 cfm intermittent airflow for the bathroom exhaust fans. Install seismic tank strapping.</p> <p>BUILDING NOTES</p> <p>Garage wall adjoining the home shall be 1/2" taped sheetrock, concrete-to-raffers: metal electric boxes (16 sq. in max) shall not total more than 100 sq. in within a 100 sq. Ft area. Boxes on opposite walls shall have 24" separation. Ceilings below living space shall be 1/2" type x Sheetrock.</p>	Fixture	If the water usage exceeds	It must	Water closet	1.6 gallon/flush	1.28 gallon/flush	Shower Head	2.5 gallon/minute	1.8 gallon/minute	Lavatory Faucet	2.2 gallon/minute	1.2 gallon/minute	Kitchen Faucet	2.2 gallon/minute	1.8 gallon/minute	<table border="0"> <tr> <td>A) LOT SIZE.</td> <td>5,854 S.F. (APROX.)</td> </tr> <tr> <td>B) EXISTING LIVING AREA</td> <td>1,076 S.F. (APROX.)</td> </tr> <tr> <td>C) PROPOSED ADDITION</td> <td>433 S.F. (APROX.)</td> </tr> <tr> <td>D) EXISTING GARAGE</td> <td>460 S.F. (APROX.)</td> </tr> </table> <p>F.A.R. 32.6 %</p> <hr/> <p>DIRECTORY</p> <p>FERNANDO GUTIERREZ 2451 AUTUMNVALE DR. SAN JOSE CA, 95131</p> <p>msmarketing88@gmail.com</p> <p>(415) 410-1372</p>	A) LOT SIZE.	5,854 S.F. (APROX.)	B) EXISTING LIVING AREA	1,076 S.F. (APROX.)	C) PROPOSED ADDITION	433 S.F. (APROX.)	D) EXISTING GARAGE	460 S.F. (APROX.)	<p>TITLE/INDEX/NOTES</p> <p>SITE PLANN A-1</p> <p>EXISTING/PROPOSED FLOOR PLAN A-2</p> <p>ELEVATIONS PLAN A-3</p> <p>ELECTRICAL PLAN A-4</p> <p>ROOF PLAN A-5</p> <p>FLOOR DIAGRAM A-6</p> <p>A-7.1</p>	<p>PROJECT DESCRIPTION:</p> <p>RESIDENTIAL ADDITION JONES</p> <p>890 JONES WAY</p> <hr/> <p>DRAWINGS PROVIDED BY:</p> <p>FERNANDO GUTIERREZ</p> <p>415 410 1372</p> <hr/> <p>DATE:</p> <p>9/27/21</p> <hr/> <p>SCALE:</p> <hr/> <p>SHEET:</p> <p>A-1</p>
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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SHEET TITLE
TITLE/INDEX/NOTES

PROJECT DESCRIPTION:
RESIDENTIAL ADDITION JONES
890 JONES WAY

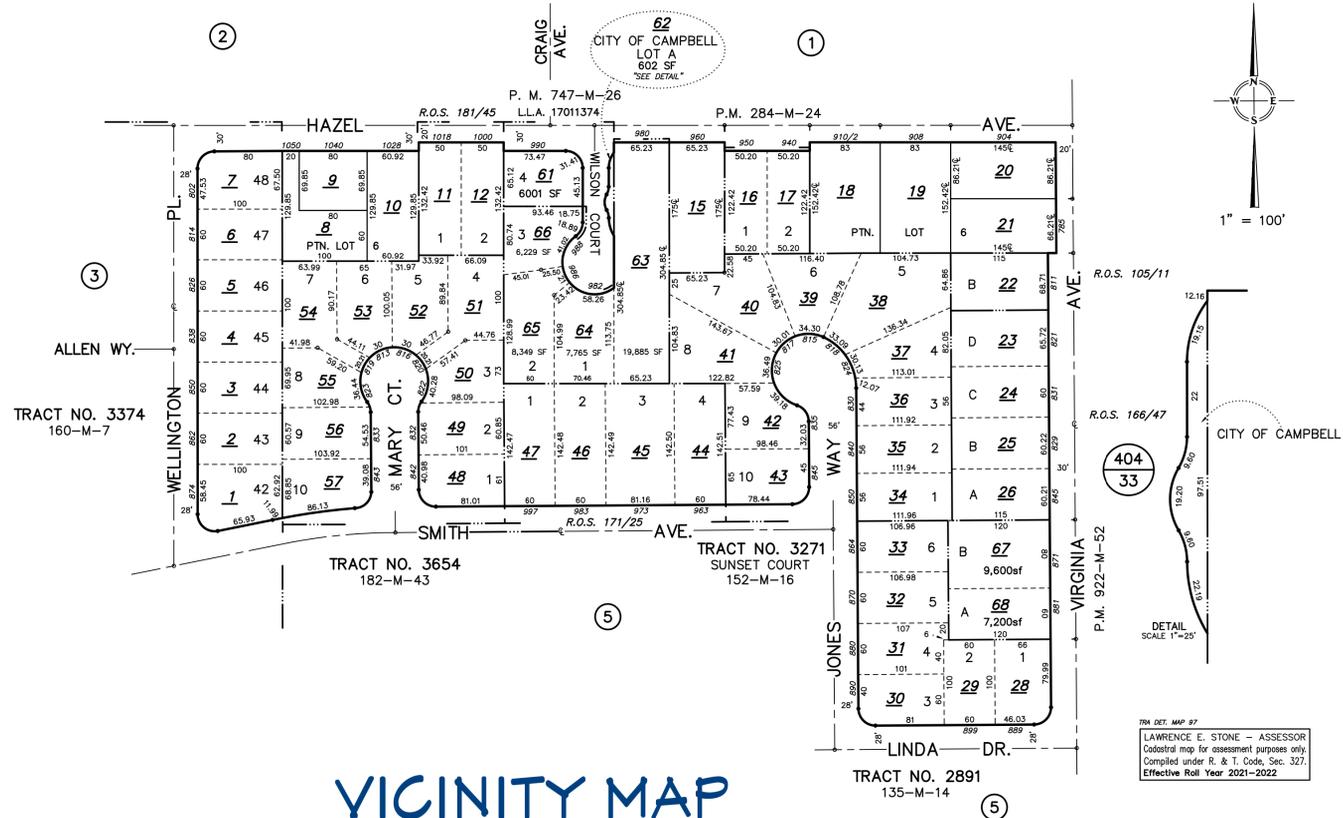
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FERNANDO GUTIERREZ
415 410 1372

DATE:
9/27/21

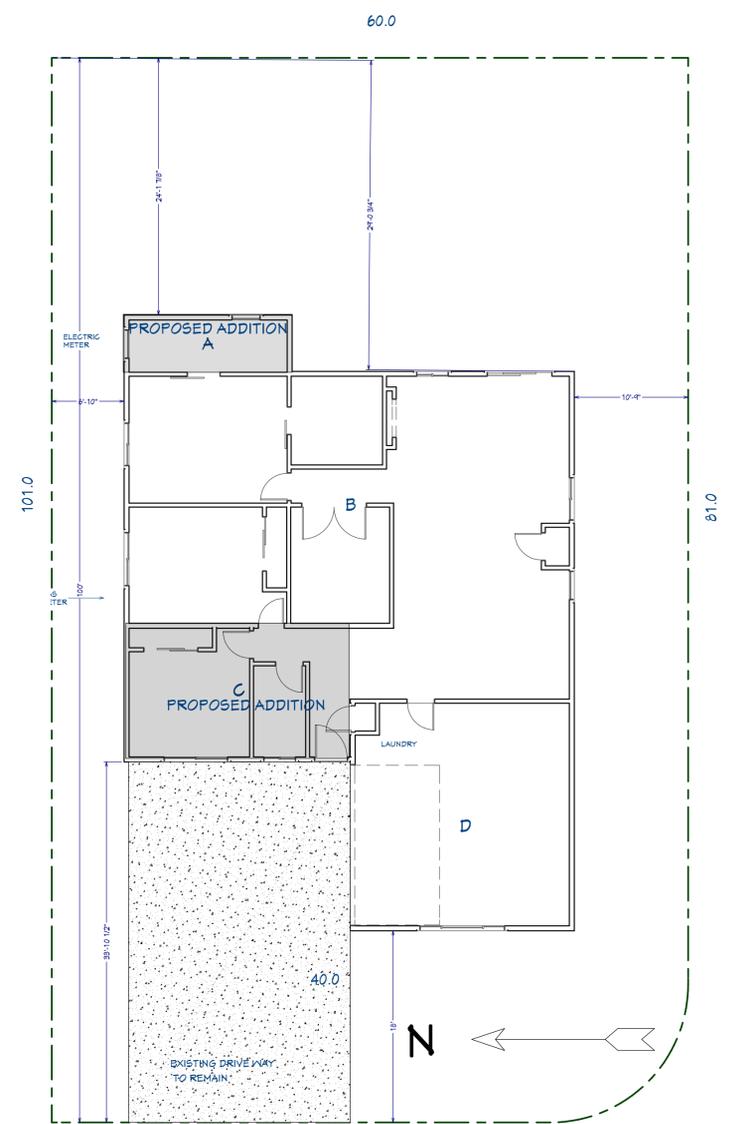
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SHEET:
A-1

E. N. PARR TRACT



VICINITY MAP



SITE PLAN
SCALE 1/8"=1'-0"

NUMBER	DATE	REVISED BY	DESCRIPTION

SITE PLAN

RESIDENTIAL ADDITION
890 JONES WAY
CAMPBELL CA 95008

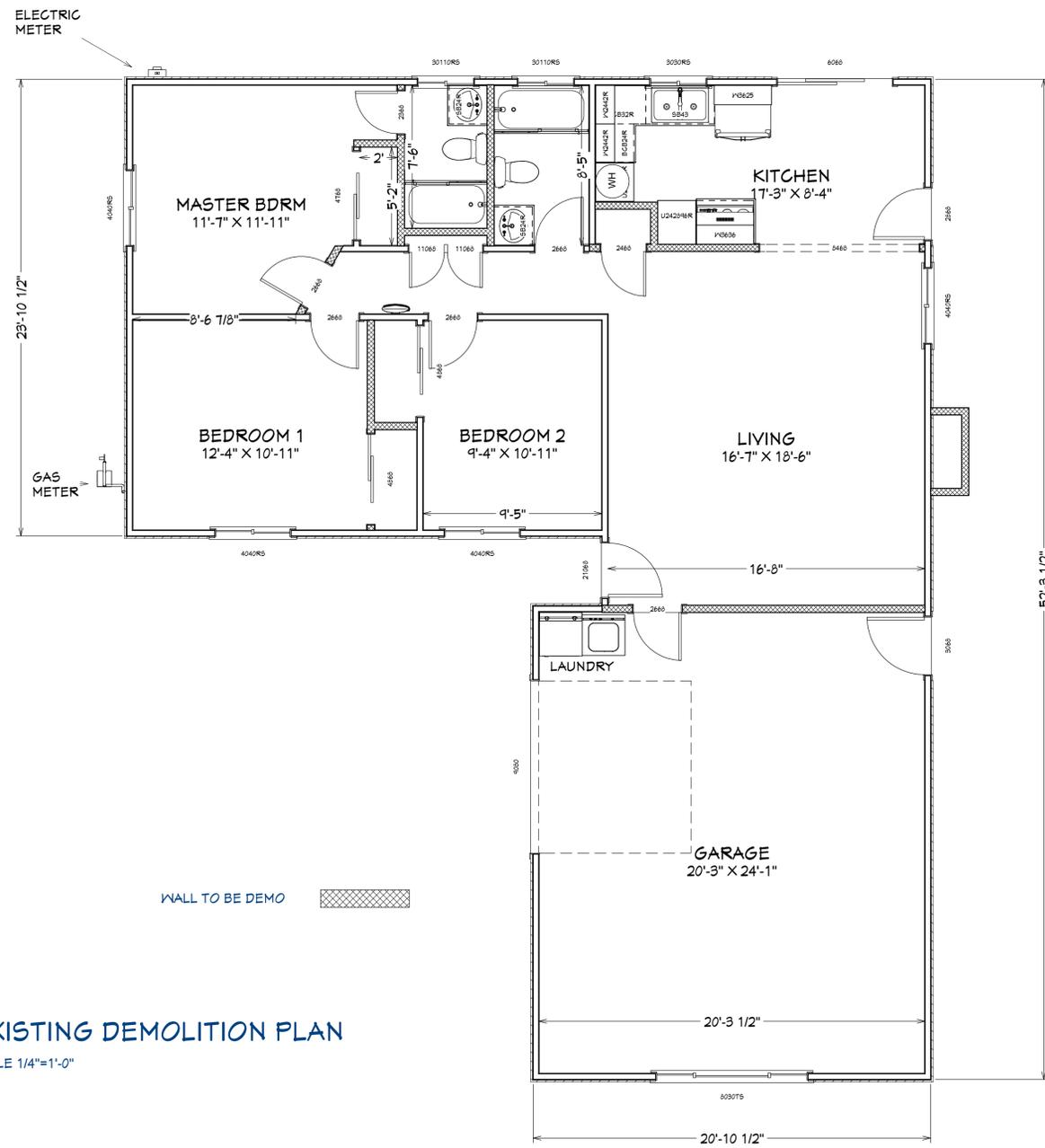
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415 410 1372

DATE:
9/29/21

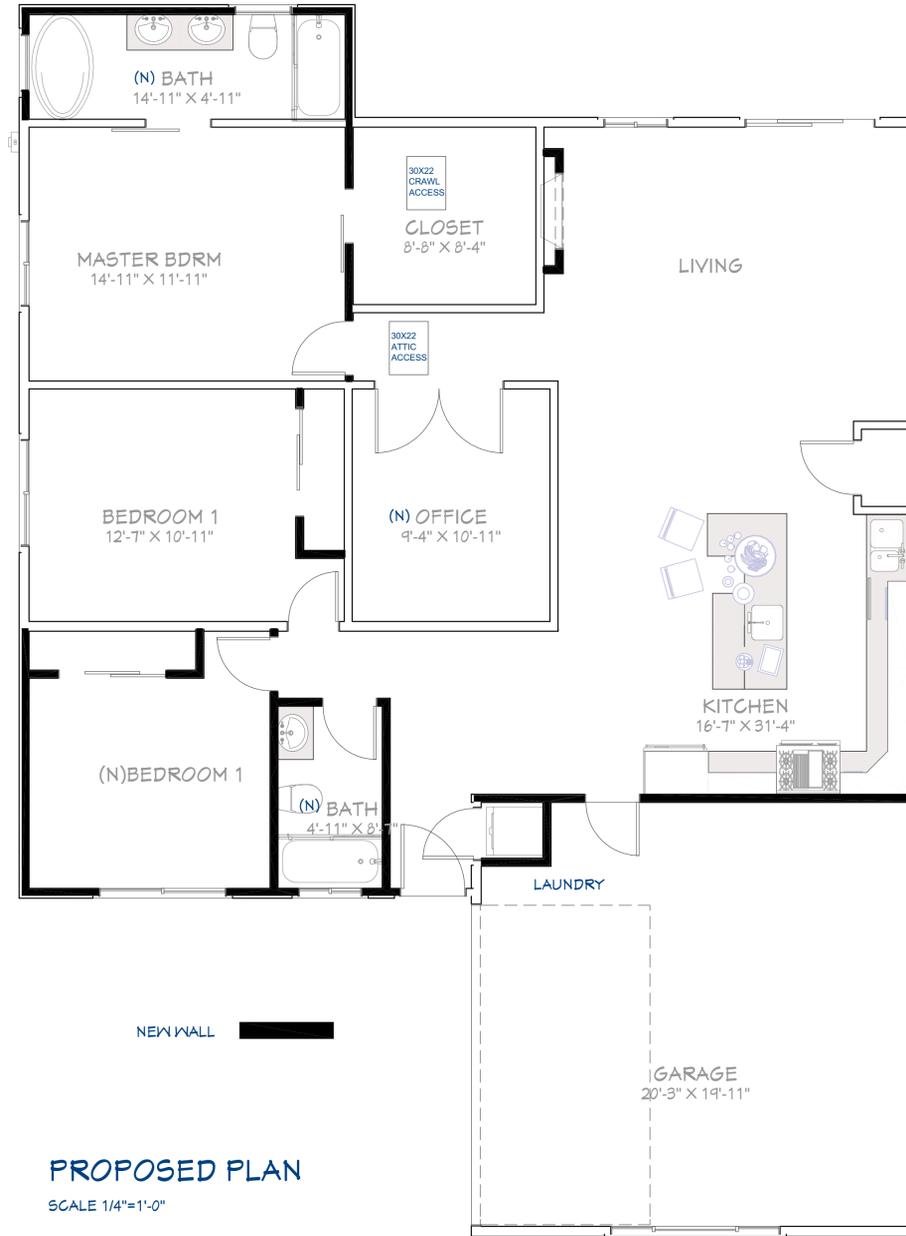
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A-2



Working Plan View



Working Plan View

NUMBER	DATE	REVISION BY	DESCRIPTION

**EXISTING/DEMOLITION
PROPOSED
FLOOR PLAN**

**RESIDENTIAL ADDITION
890 JONES WAY
CAMPBELL CA 95008**

DRAWINGS PROVIDED BY:
FERNANDO GUTIERREZ
415 410 1372

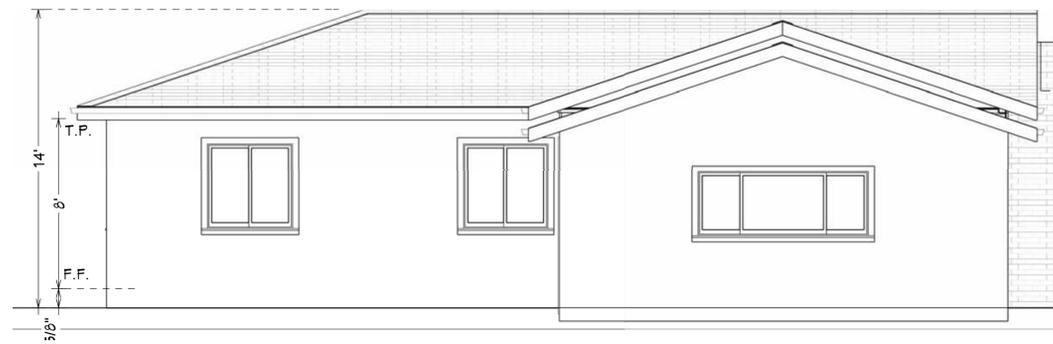
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7/27/21

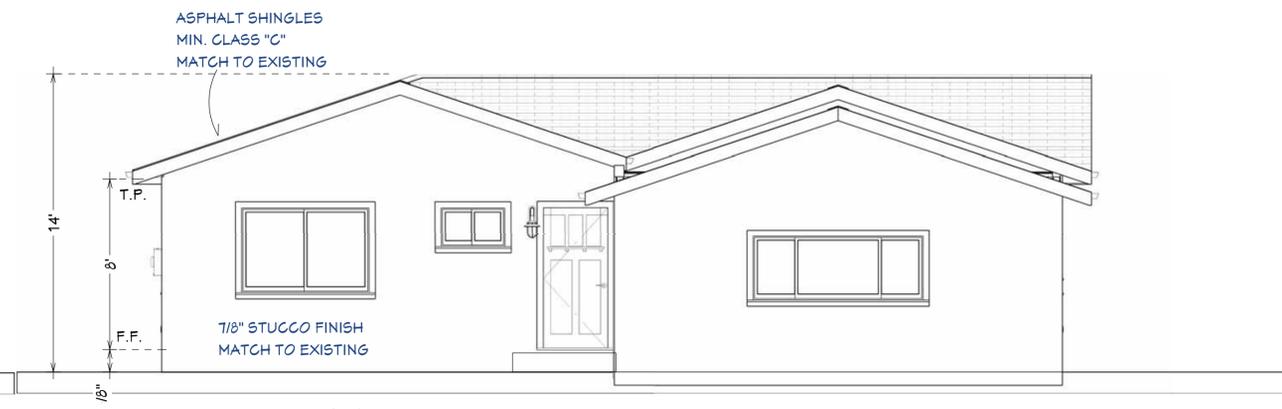
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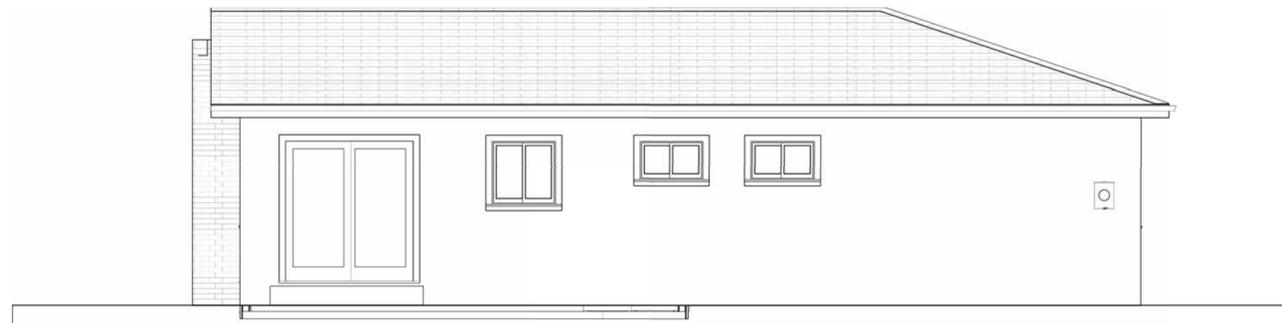
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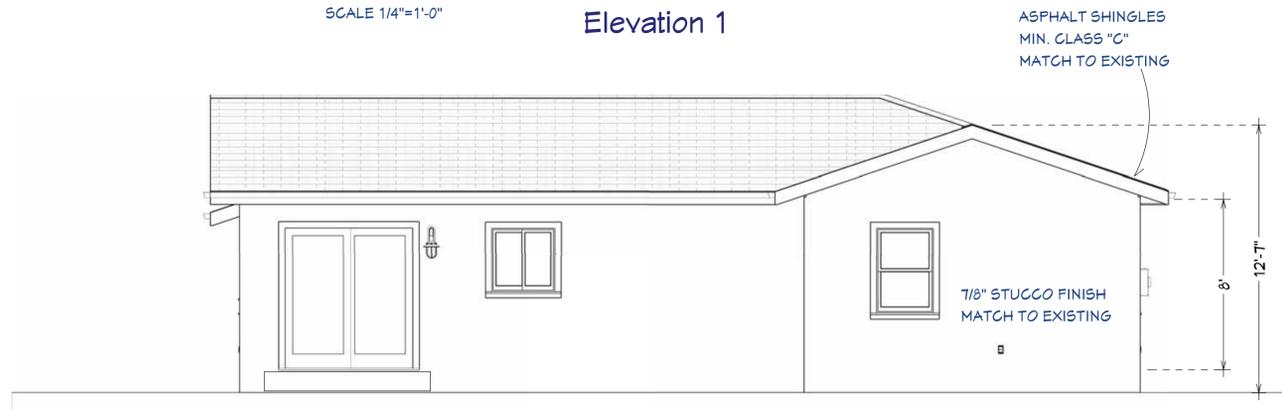
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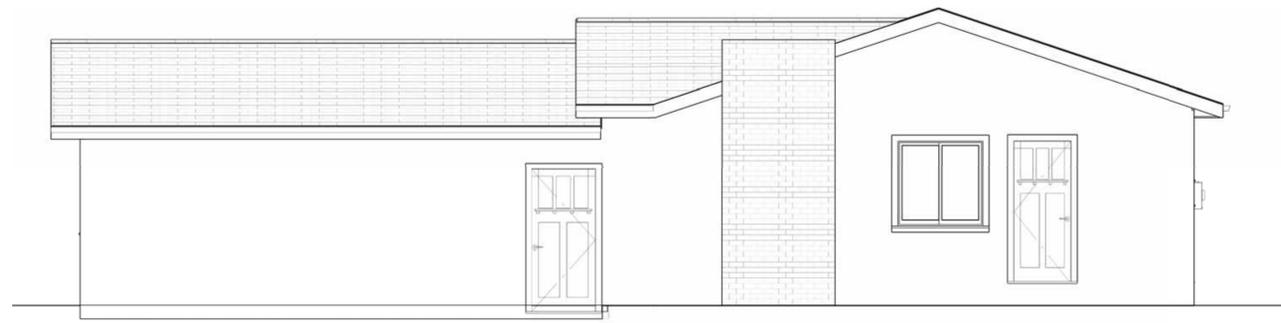
(N) FRONT Elevation 1
SCALE 1/4"=1'-0"



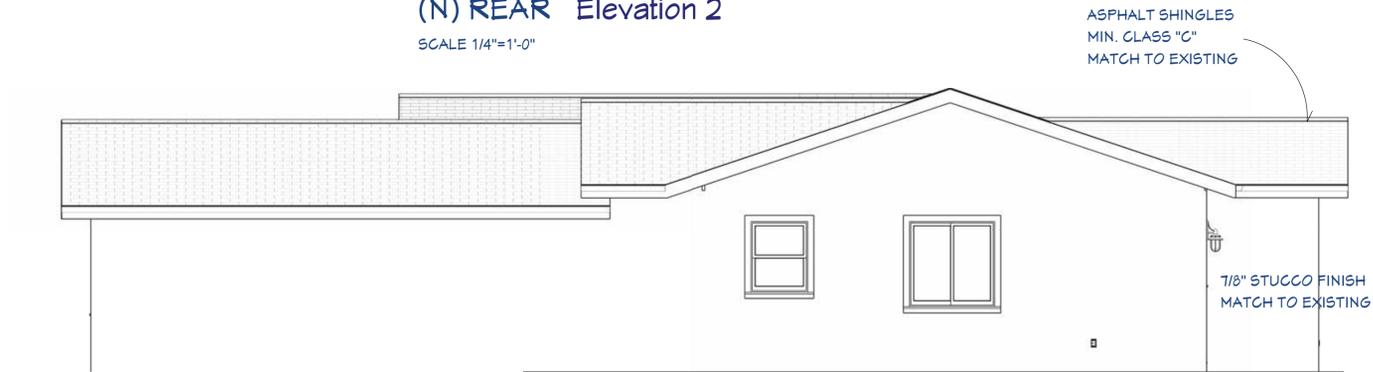
(E) REAR Elevation 2
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(N) REAR Elevation 2
SCALE 1/4"=1'-0"



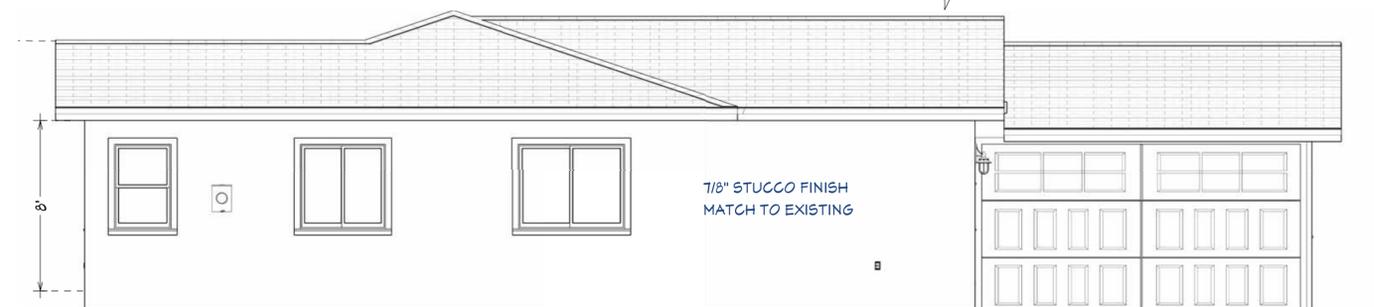
(E) RIGHT Elevation 3
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(N) RIGHT Elevation 3
SCALE 1/4"=1'-0"



(E) LEFT Elevation 4
SCALE 1/4"=1'-0"



(N) LEFT Elevation 4
SCALE 1/4"=1'-0"

NUMBER	DATE	REVISION BY	DESCRIPTION

ELEVATIONS PLAN

RESIDENTIAL ADDITION
890 JONES WAY
CAMPBELL CA 95008

DRAWINGS PROVIDED BY:
FERNANDO GUTIERREZ
415.410.1312

DATE:

7/27/21

SCALE:

SHEET:

A-4

ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELECTRICAL NOTES

- Arc Fault (AFCI)** required in family rooms, dining rooms, parlors, libraries, dens, bedrooms, sunrooms, rec rooms, closets, and hallways and lighting. **Ground fault (GFCI)** is required in bathrooms, garages, accessory areas, exterior, crawl spaces, basements, dishwashers, and disposals. **Combination AFCI/GFCI** is required in kitchens, and laundry areas.
- All new lighting shall be high-efficiency compliant to table 150.0A CEC. Screw-based permanently installed light fixtures must contain screw-based JAS (Joint Appendix 8) compliant lamps. JAS compliant light sources in ceiling recessed downlights and LEDs are to be controlled by vacancy sensors or dimmers.
- Exhaust fans shall be switched separately from lighting. Exterior lighting shall be controlled by photocell and motion per energy 110.9 At least one fixture in each garage is to be controlled by a vacancy sensor At least one fixture in each laundry room is to be controlled by a vacancy sensor At least one fixture in each utility room is to be controlled by a vacancy sensor At least one fixture in each bathroom is to be controlled by a vacancy sensor Under cabinet lighting shall be controlled by separate switching.

PLUMBING NOTES

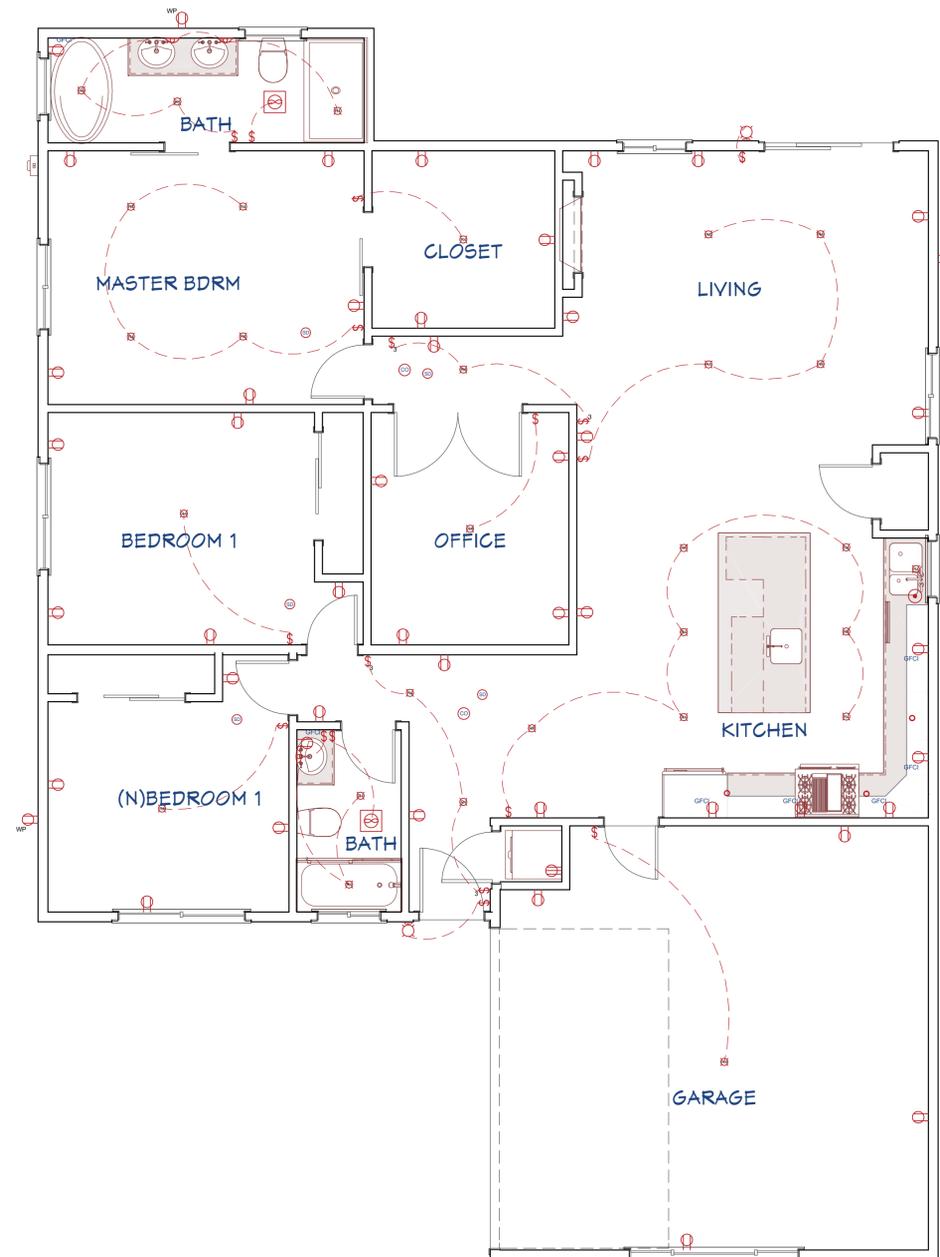
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Shower Head	2.5 gallon/minute	1.8 gallon/minute
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Kitchen Faucet	2.2 gallon/minute	1.8 gallon/minute

- Provide backflow devices on all hose bibs. Dishwasher shall be fitted with an air gap or a high loop if the manufacturer's installation guidelines allow.
- Washing machine shall be fitted with water hammer arrestors.

MECHANICAL NOTES

- Bathrooms require 50 cfm minimum humidity controlled exhaust fans (by fan or switch) per R405.6. and be switched separately from lighting systems.
 - Kitchen hood vent to have damper and be ducted to the exterior with smooth wall sheet metal per mfg's installation requirements. Exhaust fan must provide a minimum of 100 cfm.
 - The scope of this project triggers the requirement for a HERS HVAC testing.
 - The dryer moisture exhaust duct shall not exceed 14' min of 4" diameter with a backdraft damper to be metal or moisture rated PVC with a smooth interior surface w/o screws. Duct shall terminate at least 3' from openings into the building.
 - Where combustion appliances or solid fuel burning appliances are located inside the pressure boundary, the maximum allowable net exhaust flow of the two largest exhaust fan shall not exceed 15 cfm per 100 sq foot of occupiable space, when operating at full capacity. If the designed total net flow exceeds this limit, the net exhaust flow must be reduced by reducing the exhaust flow or providing compensating outdoor airflow (note: if make-up air fan is installed it must be electrically interlocked with the largest exhaust fan. Combination AFCI/GFCI is required in kitchens and laundry areas.
 - Provide 100 cfm intermittent air flow for the kitchen range hood microwave or hood combination.
 - Provide min. 50 cfm intermittent airflow for the bathroom exhaust fans. Install seismic tank strapping.
- BUILDING NOTES**
Garage wall adjoining the home shall be ½" taped sheetrock, concrete-to-rafters: metal electric boxes (16 sq. in max) shall not total more than 100 sq. in within a 100 sq. Ft area. Boxes on opposite walls shall have 24" separation. Ceilings below living space shall be ¾" type x Sheetrock.



Working Plan View

NUMBER	DATE	REVISION BY	DESCRIPTION

ELECTRICAL PLAN

RESIDENTIAL ADDITION
890 JONES WAY
CAMPBELL CA 95008

DRAWINGS PROVIDED BY:
FERNANDO GUTIERREZ
415-410-1372

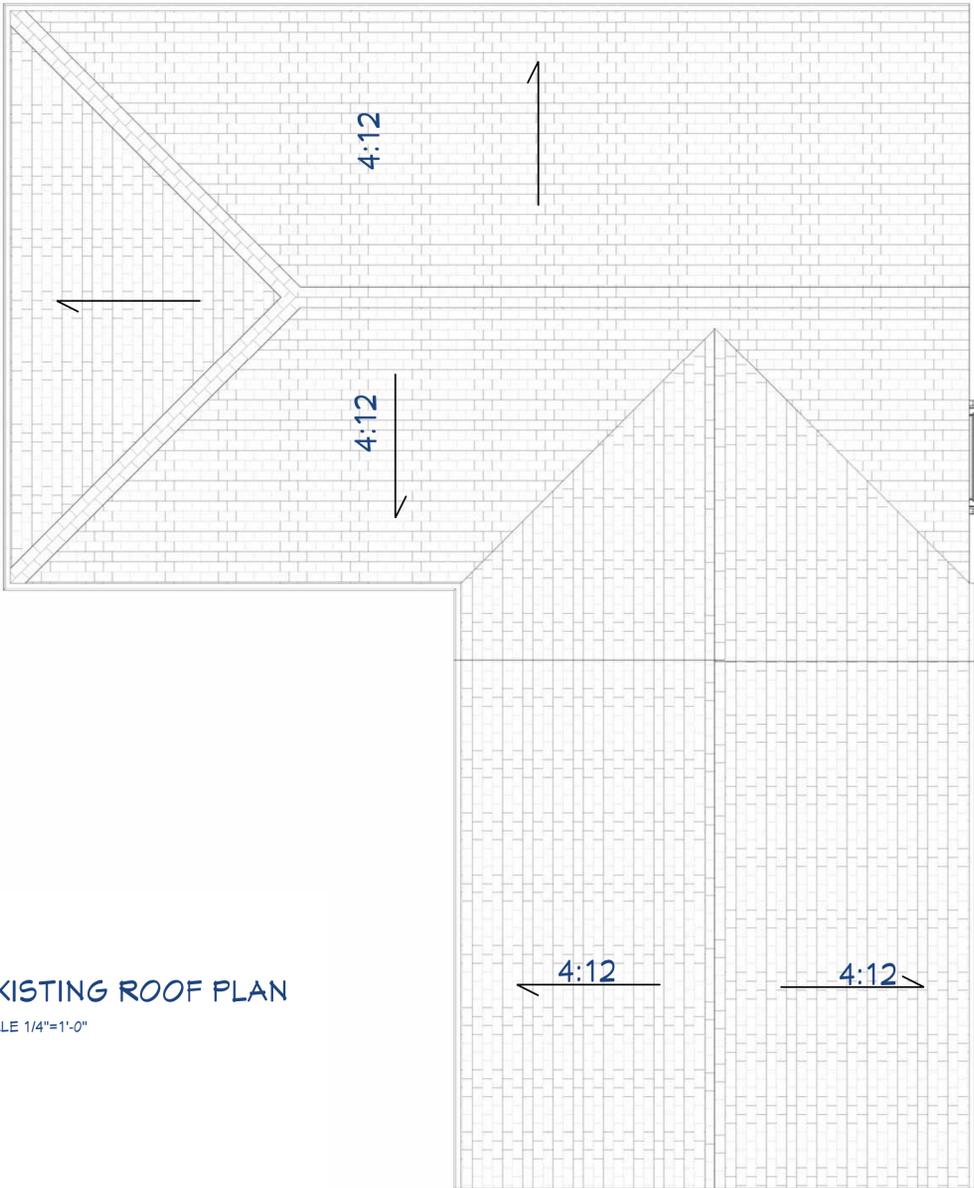
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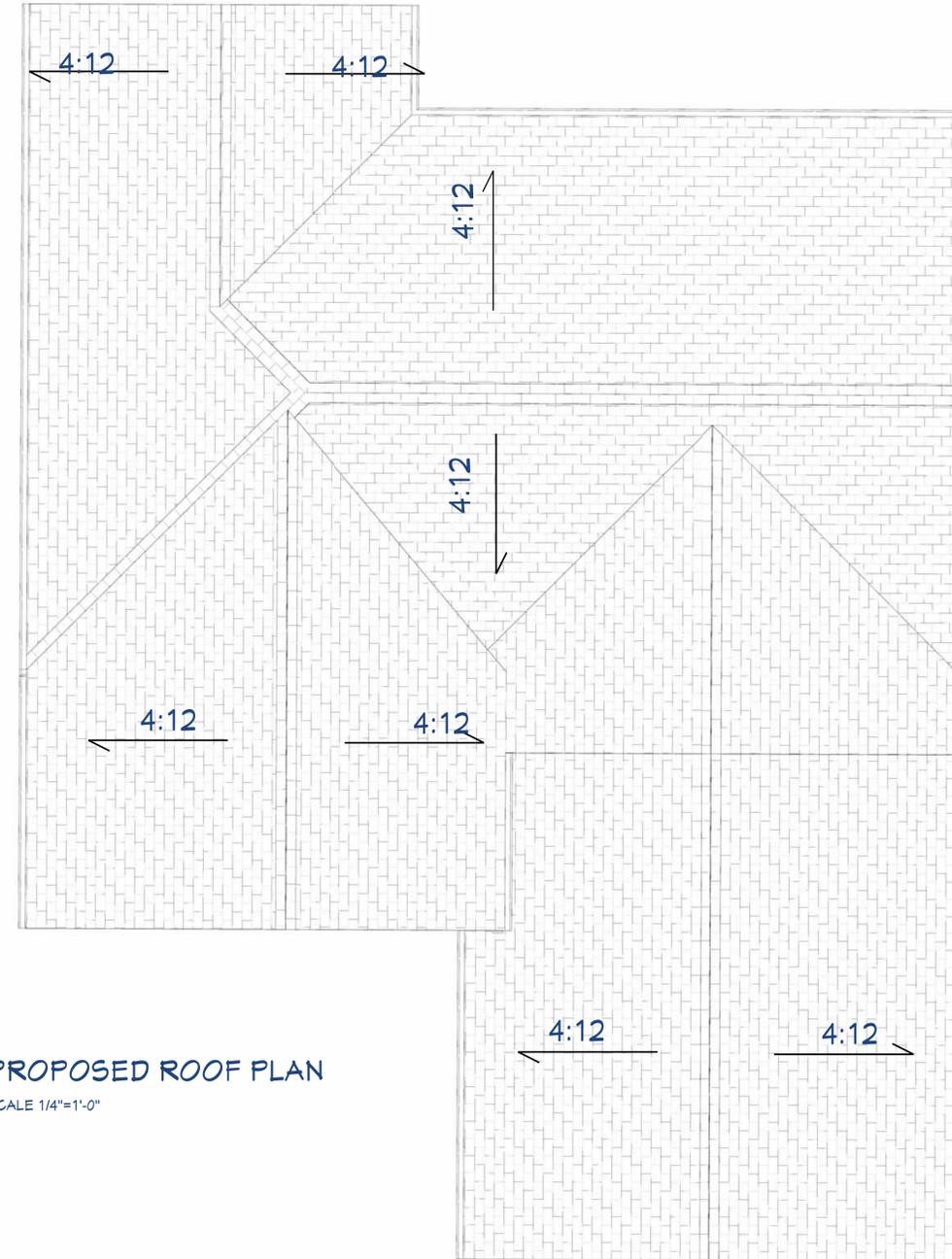
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A-5



EXISTING ROOF PLAN
SCALE 1/4"=1'-0"

Camera 1



PROPOSED ROOF PLAN
SCALE 1/4"=1'-0"

Camera 7

REVISION TABLE	
NUMBER	DATE

ROOF PLAN

RESIDENTIAL ADDITION
890 JONES WAY
CAMPBELL CA 95008

DRAWINGS PROVIDED BY:
FERNANDO GUTIERREZ
415 410 1372

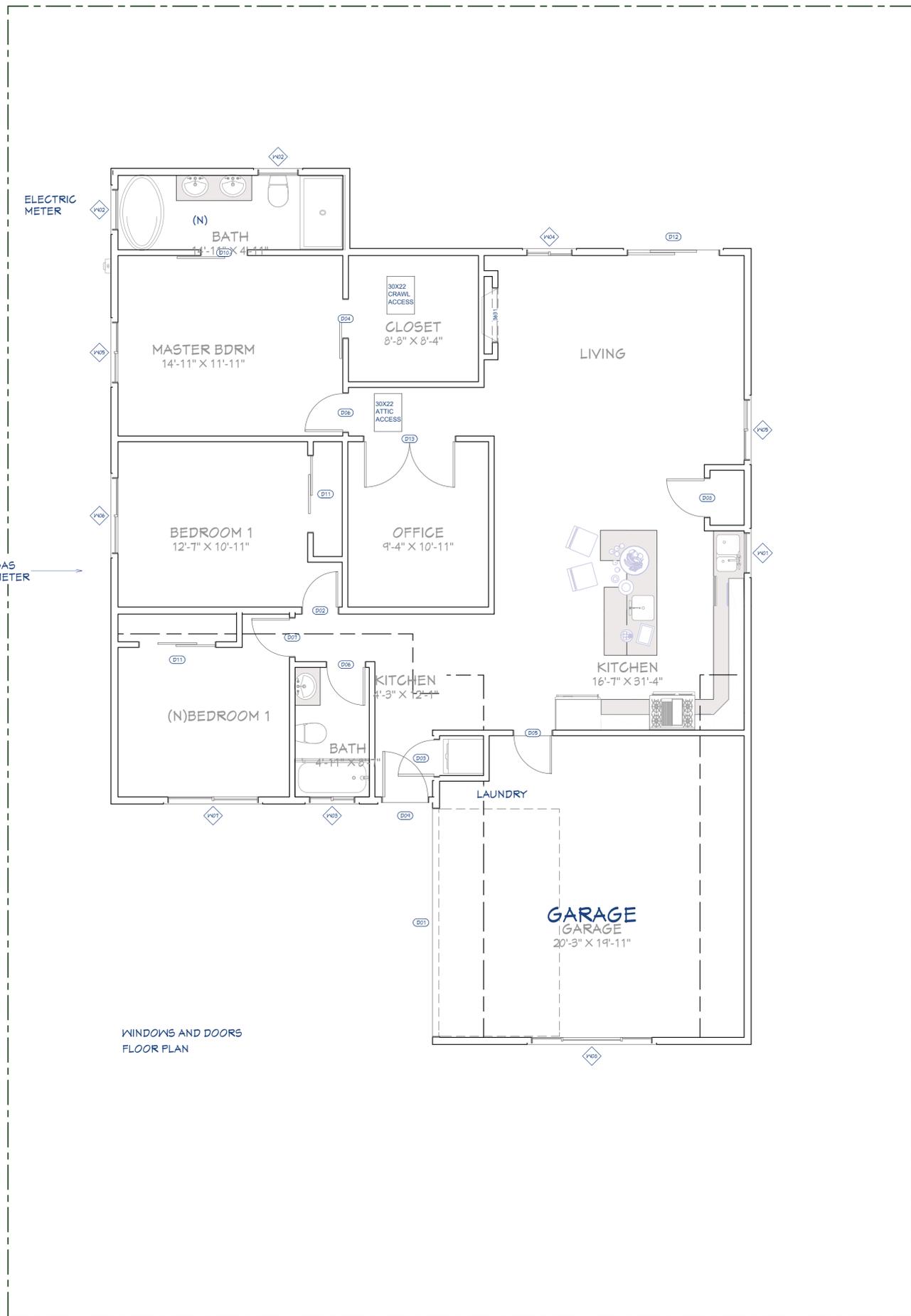
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7/27/21

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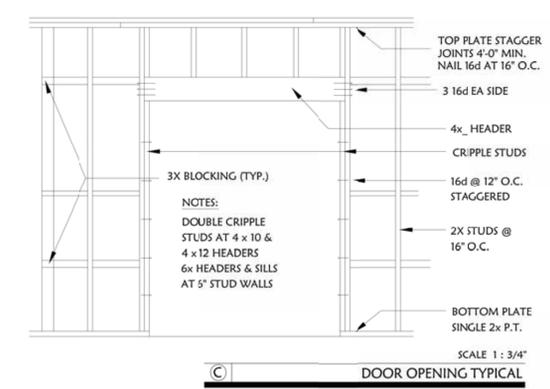
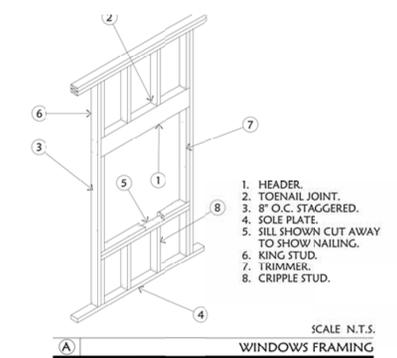
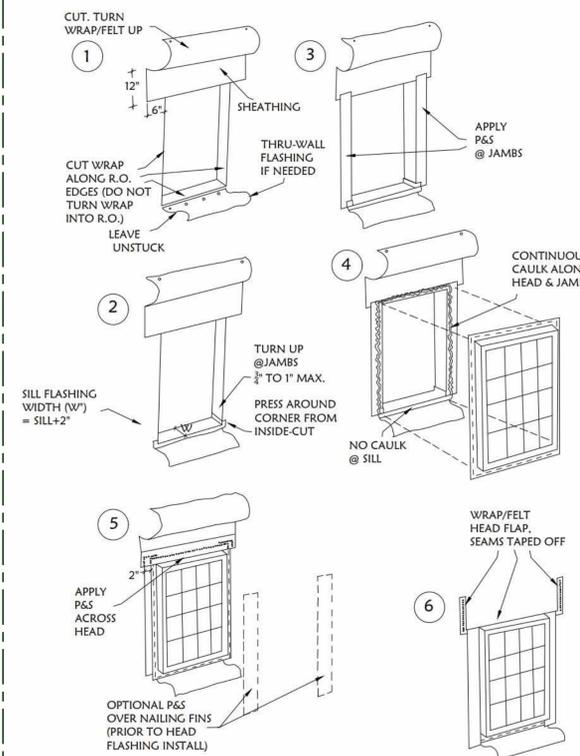
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A-6



Window Schedule													
Number	Label	Qty	Floor	Size	Width	Height	R/O	Egress	Description	Header	Code	Manufacturer	Comments
W01	2834DH	1	1	2834DH	32"	39 7/8"	33"x40 1/8"		Double Hung	2x6x36" (2)			
W02	2840DH	2	1	2840DH	32"	48"	33"x49"		Double Hung	2x6x36" (2)			
W03	30110RS	1	1	30110RS	36"	22"	37"x23"		Right Sliding	2x6x40" (2)			
W04	3030RS	1	1	3030RS	36"	36"	37"x37"		Right Sliding	2x6x40" (2)			
W05	4040RS	2	1	4040RS	48"	48"	49"x49"		Right Sliding	2x6x52" (2)			
W06	5040RS	1	1	5040RS	60"	48"	61"x49"		Right Sliding	2x6x64" (2)			
W07	6040RS	1	1	6040RS	72"	48"	73"x49"		Right Sliding	2x6x76" (2)			
W08	8030TS	1	1	8030TS	46"	36"	47"x37"		Triple Sliding	2x6x100" (2)			

Door Schedule													
Number	Label	Qty	Floor	Size	Width	Height	R/O	Description	Header	Thickness	Code	Manufacturer	Comments
D01	15080	1	1	15080	180"	96"	182"x99"		Garage-Garage Door GHD05	2x12x188" (2)	1 3/4"		
D02	2468	1	1	2468 R IN	28"	80"	30"x82 1/2"		Hinged-Door P04	2x6x33" (2)	1 3/8"		
D03	2568	1	1	2568 L IN	28 1/2"	80"	30 1/2"x82 1/2"		Hinged-Door P04	2x6x33 1/2" (2)	1 3/4"		
D04	2668	1	1	2668 L	30"	80"	32"x82 1/2"		Barr-Door P04	2x6x35" (2)	1 3/8"		
D05	2668	1	1	2668 L EX	30"	80"	32"x83"		ext. Hinged-Door E21	2x6x35" (2)	1 3/8"		
D06	2668	2	1	2668 L IN	30"	80"	32"x82 1/2"		Hinged-Door P04	2x6x35" (2)	1 3/8"		
D07	2668	1	1	2668 R IN	30"	80"	32"x82 1/2"		Hinged-Door P04	2x6x35" (2)	1 3/8"		
D08	2668	1	1	2668 R IN	30"	80"	32"x82 1/2"		Hinged-Glass Panel	2x6x35" (2)	1 3/8"		
D09	3068	1	1	3068 L EX	36"	80"	38"x83"		ext. Hinged-Door E21	2x6x41" (2)	1 3/4"		
D10	3068	1	1	3068 R	36"	80"	38"x82 1/2"		Barr-Door P04	2x6x41" (2)	1 3/8"		
D11	5068	2	1	5068 R IN	60"	80"	62"x82 1/2"		Slider-Door P04	2x8x85" (2)	1 3/8"		
D12	6068	1	1	6068 L EX	72"	80"	74"x83"		ext. Slider-Glass Panel	2x8x77" (2)	1 3/4"		
D13	6068	1	1	6068 L/R IN	72"	80"	74"x82 1/2"		Double Hinged-Door P04	2x6x77" (2)	1 3/8"		



REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

WINDOWS AND DOOR SCHEDULES

RESIDENTIAL ADDITION
 890 JONES WAY
 CAMPBELL CA 95008

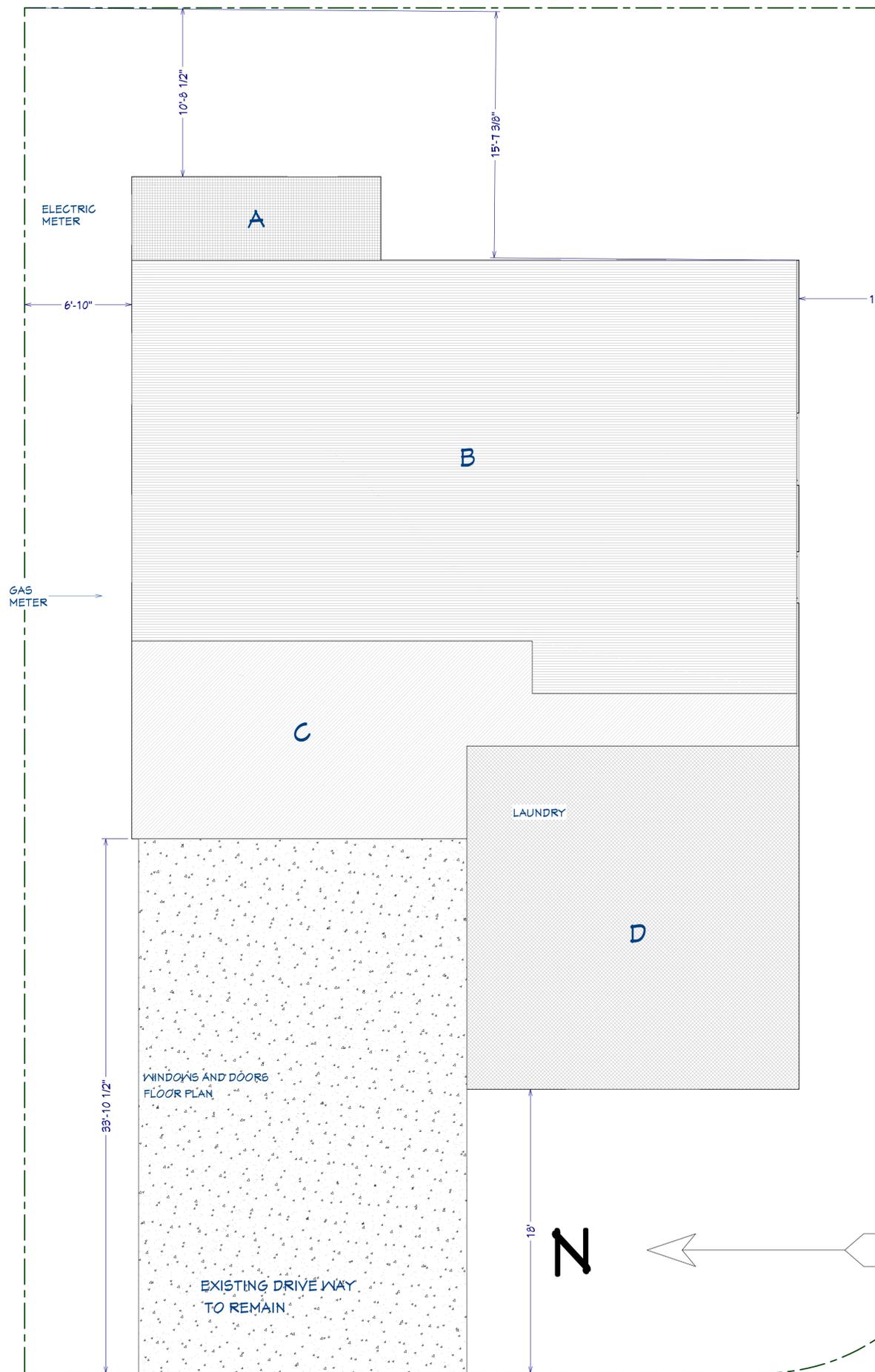
DRAWINGS PROVIDED BY:
 FERNANDO GUTIERREZ
 415 410 1372

DATE:
 7/28/21

SCALE:

SHEET:

A-7



AREA SF.
 A=83
 B=1,076
 C=350
 D=460

LIVING AREA ADDITION:
 A+C=433
 (E) S.F.D.:
 B=1,076
 GARAGE:
 D=460

SCALE 1/4"=1'-0"

Working Plan View

REVISION TABLE	
NUMBER	DATE

FLOOR AREA
 DIAGRAM

RESIDENTIAL ADDITION
 890 JONES WAY
 CAMPBELL CA 95008

DRAWINGS PROVIDED BY:
 FERNANDO GUTIERREZ
 415 410 1372

DATE:
 9/27/21

SCALE:

SHEET:
 A-7.1