



CITY OF CAMPBELL
Community Development Department

October 27, 2021

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 881/891 E. Hamilton Ave.

Zoning District: P-D

Neighborhood Association(s): N/A

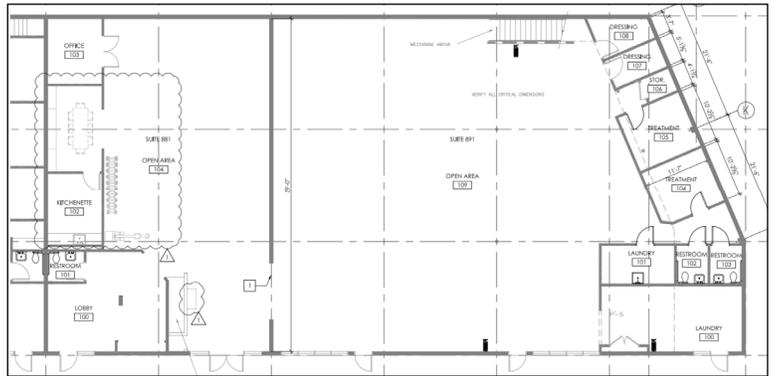
File No.: PLN-2021-158

APN: 282-25-002

Applicant: Adam Morrella

Property Owner: Donvanson, LLC

Application Type: Admin. P-D Permit



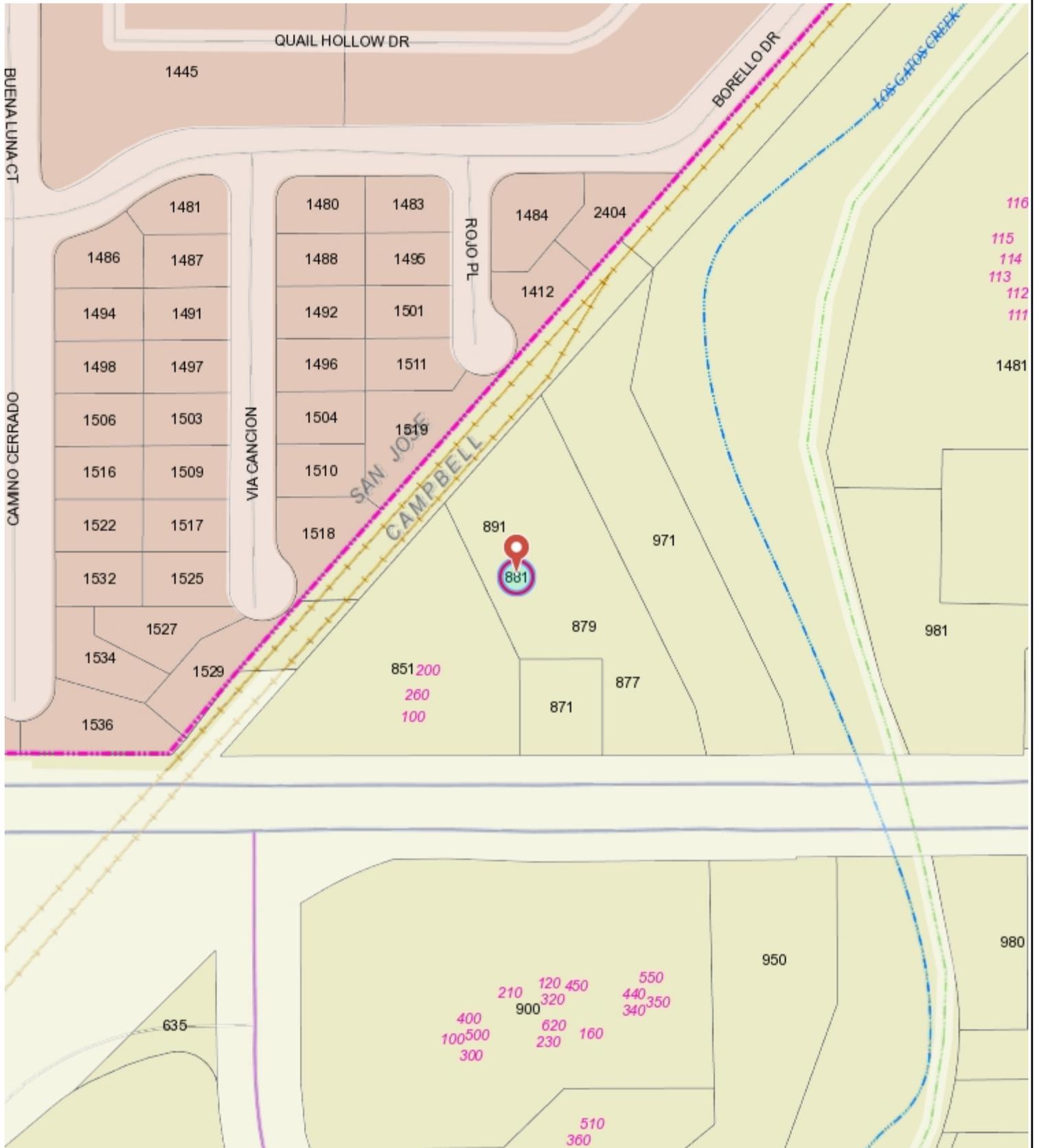
Project Description: Expansion of a fitness studio into an adjoining tenant space within an existing commercial building.

This application will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director’s decision. The ten-day comment period for this application begins on October 27, 2021 and ends on November 8, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 8, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.



Location Map - 881 & 891 E. Hamilton Ave



376 0 188 376 Feet
WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services
Scale 1:2,257

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

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LEFT COAST FITNESS

881 E. HAMILTON AVE CAMPBELL, CA 95008

LEFT COAST FITNESS
881, 891 E. HAMILTON AVE
CAMPBELL, CA 95008

| ABBREVIATIONS | | | |
|---------------|----------------------------------|--------|--------------------------------|
| AB | ANCHOR BOLT | HW | HOT WATER |
| AC | ASPHALT CONCRETE | | |
| AD | AREA DRAIN | IN | INCH/INCHES |
| ADJ | ADJACENT | INSUL | INSULATION |
| AF | ABOVE FINISH FLOOR | INT | INTERIOR |
| AFG | ABOVE FINISH GRADE | | |
| AHJ | AUTHORITY HAVING JURISDICTION | JAN | JANITOR |
| ALUM | ALUMINUM | JT | JOINT |
| ALT | ALTERNATE | | |
| ARCH | ARCHITECT/ARCHITECTURAL | KP | KICK PLATE |
| | | KIT | KITCHEN |
| BLDG | BUILDING | LAV | LAVATORY |
| BLKG | BLOCKING | LB | LAG BOLT |
| BRZ | BRONZE | LBS | POUND |
| BTM | BOTTOM | LF | LINEAR FOOT |
| BTWN | BETWEEN | LL | LIVE LOAD |
| BW | BOTH WAYS | LL | LAG SCREW |
| | | LS | LAMINATED VENEER LUMBER |
| CF | CUBIC FEET | | |
| CJ | CONTROL JOINT | | |
| CL | CENTERLINE | MAX | MAXIMUM |
| CLKG | CAULKING | MECH | MECHANICAL |
| CLG | CEILING | MFR | MANUFACTURER |
| CLR | CLEAR | MIN | MINIMUM |
| CMU | CONCRETE MASONRY UNIT | MISC | MISCELLANEOUS |
| CO | CLEANOUT | MTL | METAL |
| COL | COLUMN | (N) | NEW |
| CONC | CONCRETE | NIC | NOT IN CONTRACT |
| CONT | CONTINUOUS | NA | NOT APPLICABLE |
| CTR | CENTER | NTS | NOT TO SCALE |
| CW | COLD WATER | | |
| | | OC | ON CENTER |
| DBL | DOUBLE | OH | OVERHEAD |
| DEPT | DEPARTMENT | | |
| DGLAS FR | DOUGLAS FIR | PL | PLATE |
| DFL | DOUGLAS FIR / LARCH | PLAM | PLASTIC LAMINATE |
| DIA OR Ø | DIAMETER | PLYWD | PLYWOOD |
| DIAG | DIAGONAL | PNT | PAINT |
| DIM | DIMENSION | PSF | POUNDS PER SQUARE FOOT |
| DL | DEAD LOAD | PSI | POUNDS PER SQUARE INCH |
| DN | DOWN | PT | PRESSURE TREATED |
| DR | DOOR | PVC | POLYVINYLCHLORIDE |
| DWG | DRAWING | PVMT | PAVEMENT |
| (E) | EXISTING | SCD | SEE CIVIL DRAWINGS |
| EA | EACH | SCHED | SCHEDULE |
| EB | EXPANSION BOLT | SECT | SECTION |
| EF | EXTERIOR FINISH SYSTEM | SEF | SEE ELECTRICAL DRAWINGS |
| EJ | EXPANSION JOINT | SF | SQUARE FOOT |
| ELEC | ELECTRIC/ELECTRICAL | SFSD | SEE FOOD SERVICE DRAWINGS |
| ELEV | ELEVATOR/ELEVATION | SIM | SIMILAR |
| EQUIP | EQUIPMENT | SLD | SEE LANDSCAPE DRAWINGS |
| EXT | EXTERIOR | SMD | SEE MECHANICAL DRAWINGS |
| FA | FIRE ALARM | SMS | SHEET METAL SCREW |
| FD | FLOOR DRAIN | SPEC | SPECIFICATION |
| FDC | FIRE DEPARTMENT CONNECTION | SPD | SEE PLUMBING DRAWINGS |
| FE | FIRE EXTINGUISHER | SSD | SEE STRUCTURAL DRAWINGS |
| FEC | FIRE EXTINGUISHER CABINET | SS | SOLID SURFACE |
| FF | FINISH FLOOR | STC | SOUND TRANSMISSION COEFFICIENT |
| FHC | FIRE HOSE CABINET | STD | STANDARD |
| FIN | FINISH | STL | STEEL |
| FLSHG | FLASHING | STRUCT | STRUCTURAL |
| FLR | FLOOR | T | TEMPERED |
| FPC | FACE OF CONCRETE | T&G | TONGUE & GROOVE |
| FOS | FACE OF STUD | TYP | TYPICAL |
| FOW | FACE OF WALL | | |
| FRP | FIBERGLASS REINFORCED PLASTIC | UCON | UNLESS OTHERWISE NOTED |
| FRMG | FRAMING | VERT | VERTICAL |
| FT | FOOT | VEST | VESTIBULE |
| FTG | FOOTING | VIF | VERIFY IN FIELD |
| | | WC | WATER CLOSET |
| GA | GAUGE | WD | WOOD |
| GALV | GALVANIZED | WH | WATER HEATER |
| GCN | GENERAL CONTRACTOR | WDW | WINDOW |
| GLB | GLUE LAMINATED BEAM | WT | WEIGHT |
| GSM | GALVANIZED SHEET METAL | | |
| GWB | GYPSTUM WALL BOARD | | |
| | | | |
| HD | HOLDOWN | | |
| HDR | HEADER | | |
| HGR | HANGER | | |
| HM | HOLLOW METAL | | |
| HORIZ | HORIZONTAL | | |
| HR | HOUR | | |
| HT | HEIGHT | | |
| HVAC | HEATING/VENTING/AIR CONDITIONING | | |

GENERAL CONTRACTOR NOTES

- THE G.C. SHALL FOLLOW THE CODES AND INSTRUCTIONS OF THE JURISDICTION HAVING AUTHORITY.
- THE G.C. SHALL NOTIFY THE ARCHITECT OF DESIGN ELEMENTS THAT HE OR SHE BELIEVES ARE NOT TO CODE.
- THE G.C. SHALL STORE MATERIALS SUCH THAT THEY ARE PROTECTED FROM DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- THE G.C. SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. THE G.C. SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS SET OF DRAWINGS AND THE EXISTING SITE CONDITIONS.
- THE G.C. SHALL BE RESPONSIBLE FOR THE SAFETY, CLEANLINESS, AND SUPERVISION OF THE JOB SITE.
- THE G.C. SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- THE G.C. SHALL BE RESPONSIBLE FOR THE DESIGN AND PROVISION OF SHORING, SCAFFOLDING, CONCRETE FORMWORK, AND OTHER SIMILAR MEANS AND METHODS OF CONSTRUCTION.
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE REVIEWED SHOP DRAWINGS AND SAMPLES.
- CONFINED OPERATIONS AT THE SITE TO AREAS PERMITTED BY THE PROPERTY OWNER, LAWS, ORDINANCES, PERMITS, AND THE CONTRACT DOCUMENTS.
- SHOULD AN ERROR APPEAR IN THE NOTES, SPECIFICATIONS, OR DRAWINGS, OR IN WORK DONE BY OTHERS, AFFECTING THIS WORK, THEN THE G.C. SHALL NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS AS TO PROCEDURE. IF THE G.C. PROCEEDS WITH WORK EFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THEN THE G.C. SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT.
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THEN THE G.C. IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS HE OR SHE SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISION FROM THE ARCHITECT AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- PATCHING, REPAIRING, AND REPLACING OF MATERIAL SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH MATCHING MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL HAVE A U.L. DESIGN LISTING NUMBER, OR EQUAL. THIS LISTING NUMBER SHALL BE DISPLAYED ON THE INSTALLED EQUIPMENT. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING AND CERTIFICATION BY AN APPROVED TESTING AGENCY.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE ARCHITECT'S SERVICES.
- THE G.C. IS RESPONSIBLE FOR THE LOCATION OF THE PROJECT AND ALL OF ITS COMPONENT PARTS, LAYOUT ENGINEERING AND DIMENSIONAL INFORMATION, IN ADDITION TO THE INFORMATION CONTAINED ON THESE DRAWINGS, THAT MAY BE DETERMINED BY THE G.C. AS NECESSARY TO ACCURATELY CONSTRUCT THE PROJECT IN CONFORMANCE WITH THE DESIGN INTENT AS SHOWN IN THESE DRAWINGS SHALL BE PROVIDED BY THE G.C.

DEMOLITION NOTES

- THE GENERAL CONTRACTOR SHALL:
 - COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
 - PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
 - ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
 - IF EXCESS DEMOLITION IS PERFORMED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
 - REMOVE FROM SITE REGULARLY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
 - REMOVE DESIGNATED PARTITIONS, COMPONENTS, EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
 - REMOVE ABANDONED ELECTRICAL, TELEPHONE, AND DATA CABLES AND DEVICES, UNLESS OTHERWISE NOTED.
 - REMOVE EXISTING FLOOR FINISHES AND PREPARE SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
 - SCOPE OF DEMOLITION INDICATED IS TO BE IN ITS ENTIRETY UNLESS NOTED OTHERWISE.

REQUIRED SUBMITTALS TO ARCHITECT

- THE GENERAL CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE ARCHITECT FOR REVIEW:
 - ANY MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, AND FIRE ALARM DRAWINGS PROVIDED ON A DESIGN-BUILD BASIS.
 - SAMPLES AND DATA SHEETS FOR ALL FINISHES.
 - DATA SHEETS FOR ALL LIGHT FIXTURES AND PLUMBING FIXTURES.
 - SCHEDULES, DATA SHEETS, AND SHOP DRAWINGS FOR ALL DOORS AND GLAZING.
 - SHOP DRAWINGS FOR ALL CABINETS AND OTHER MILLWORK.
 - SHOP DRAWINGS FOR MISCELLANEOUS METALS INCLUDING, BUT NOT LIMITED TO, HANDRAILS, GUARDRAILS, AND FLASHING.
 - SUBMITTALS REQUIRED BY THE ARCHITECT'S CONSULTANTS, INCLUDING, BUT NOT LIMITED TO, CONCRETE MIXES, STRUCTURAL STEEL SHOP DRAWINGS, AND MECHANICAL EQUIPMENT DATA SHEETS.

FIRE DEPARTMENT NOTES

- APPROVED ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTAGE AND SHALL CONTRAST WITH THEIR BACKGROUND.
- THE G.C. SHALL PROVIDE AN EMERGENCY TELEPHONE ON THE JOB PRIOR TO ANY CONSTRUCTION.
- A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- A KNOWN BOX IS REQUIRED FOR BUILDINGS AND FIRE DEPARTMENT ACCESS GATES IN ACCORDANCE WITH CFC 506.
- FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE MAINTAINED CLEAR AND UNOBSTRUCTED. PROVIDE PROPER FIRE LANE SIGNAGE AND CURB STRIPING PER THE VEHICLE CODE SECTION 22500.1. CONTACT THE FIRE DEPARTMENT FOR FIRE LANE PROGRAM GUIDELINES
- NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING IN QUANTITIES WHICH WILL EXCEED THE QUANTITIES LISTED IN CFC TABLES 3-D AND 3-E
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33.
- FIRE DEPARTMENT ACCESS TO THE SITE, BUILDING AND ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAIN AT ALL TIMES, IN ACCORDANCE WITH CFC CHAPTER 5.
- ANY TIME THE FIRE SPRINKLER SYSTEM IS ON AND/OR THE FIRE DETECTION AND ALARM SYSTEM IS IMPAIRED, A FIRE WATCH IS PROVIDED, THE SYSTEM IS TO BE TAGGED, AND A CORRESPONDING IMPAIRMENT PROGRAM IS TO BE PROVIDED, IN ACCORDANCE WITH CFC CHAPTER 9.
- ILLUMINATED EXIT SIGNS AND EMERGENCY LIGHTING SHALL INCLUDE BATTERY BACKUPS OR SHALL BE WIRED TO AN EMERGENCY POWER CIRCUIT.

ACCESSIBILITY STATEMENT

THIS SPACE AND ALL WORK PROPOSED BY THIS PERMIT WILL BE IN FULL COMPLIANCE WITH CALIFORNIA ACCESS REQUIREMENTS, CBC 2019.

DRAWING INDEX

- ARCHITECTURAL
- A0.1 COVER SHEET AND GENERAL NOTES
 - A1.0 EXISTING SITE PLAN
 - A2.1 ENLARGED EXISTING GROUND FLOOR PLAN & ENLARGED EXISTING MEZZANINE FLOOR PLAN

CONSULTANTS

CLIENT / OWNER
LEFT COAST FITNESS
CONTACT: ADAM MORRELLA

ARCHITECT
HABITEC ARCHITECTURE
CONTACT: KAROLINA GINKA
2290 NORTH FIRST STREET #304
SAN JOSE, CA 95131
P: 408.977.0606
E: kglinka@habitec.com

PROJECT DATA

| | |
|-----------------------------------|---|
| APN..... | 28225002 |
| EXISTING BUILDING GROSS AREA..... | 320,826 SF |
| 877 E. HAMILTON GROSS AREA..... | 311,376 SF |
| 879 E. HAMILTON GROSS AREA..... | 32,400 SF |
| 881 E. HAMILTON GROSS AREA..... | 32,400 SF |
| 891 E. HAMILTON GROSS AREA..... | 34,650 SF |
| NO. OF STORIES..... | 2 |
| OCCUPANCY GROUP..... | A |
| PROJECT AREA..... | 37,050 SF |
| CODES USED..... | 2019; C.B.C., C.P.C., C.M.C., C.E.C., C.F.C., CALIFORNIA ENERGY CODE, CAL GREEN BUILDING STANDARDS CODE, HANDICAPPED ACCESSIBILITY REGULATIONS, AND LOCALLY ADOPTED CODES |

SCOPE OF WORK

NO SCOPE OF WORK. THIS SET OF DRAWINGS IS STRICTLY FOR THE PURPOSE OF OBTAINING THE ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT.

VICINITY MAP



DEFERRED SUBMITTALS TO A.H.J.

DEFERRED SUBMITTALS TO A.H.J.

MATERIAL SYMBOLS

| | |
|--|--------------------------------------|
| | BASE ROCK OR GRAVEL |
| | CONCRETE |
| | EARTH (VIEWED IN SECTION) |
| | WOOD BLOCKING |
| | CONTINUOUS WOOD FRAMING MEMBER |
| | PLYWOOD |
| | STEEL OR IRON |
| | RIGID INSULATION (VIEWED IN SECTION) |

DRAWING SYMBOLS

| | |
|--|-----------------------------------|
| | COLUMN GRID LINE |
| | CENTER LINE |
| | DEGREES |
| | DELTA |
| | DIAMETER |
| | FLOWLINE |
| | GREATER THAN OR EQUAL TO |
| | LESS THAN OR EQUAL TO |
| | PLUS OR MINUS |
| | PROPERTY LINE OR PLATE |
| | POUND |
| | DETAIL REFERENCE |
| | ELEVATION REFERENCE |
| | INTERIOR ELEVATION REFERENCE |
| | ROOM IDENTIFICATION |
| | REVISION CLOUD, NUMBER, AND DELTA |
| | SPOT ELEVATION |
| | MATCH LINE / FOLD LINE |

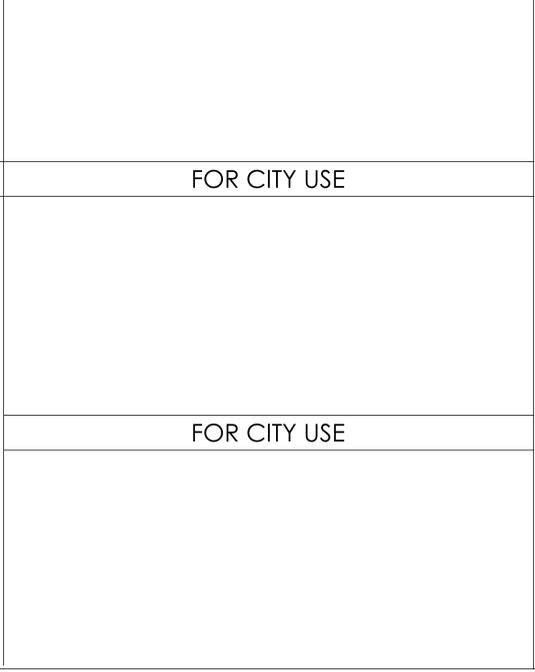
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ARCHITECTURAL

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- A1.0 EXISTING SITE PLAN
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ASSESSOR'S PARCEL MAP



CONSULTANTS

CLIENT / OWNER
LEFT COAST FITNESS
CONTACT: ADAM MORRELLA

ARCHITECT
HABITEC ARCHITECTURE
CONTACT: KAROLINA GINKA
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VICINITY MAP



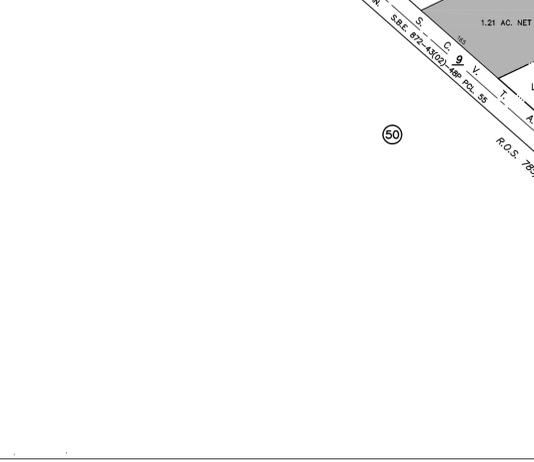
DEFERRED SUBMITTALS TO A.H.J.

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ADDITIONAL PRICING INSTRUCTIONS

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ASSESSOR'S PARCEL MAP



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VICINITY MAP



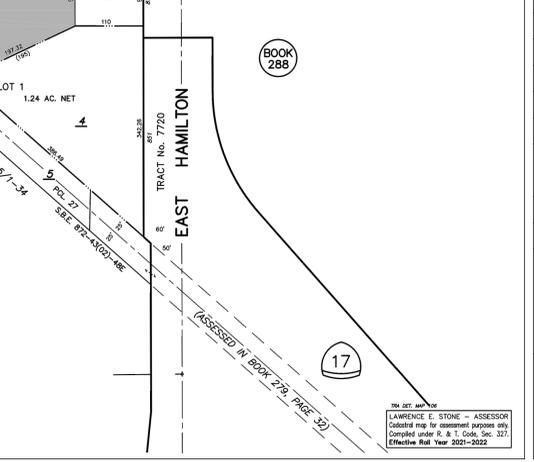
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ADDITIONAL PRICING INSTRUCTIONS

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ASSESSOR'S PARCEL MAP



ISSUE

| | |
|------------|----------------------------|
| 2021.08.20 | ISSUED FOR CITY SUBMITTAL |
| 2021.08.25 | REVISED FOR CITY SUBMITTAL |
| 2021.10.14 | DESIGN CHANGES |

COVER SHEET

HABITEC JOB NUMBER: 21050-1

REVISIONS

| | | |
|----------|------|-------------|
| NO. REV. | DATE | DESCRIPTION |
| | | |
| | | |
| | | |

SCALE

1" = 100'

BOOK AND PAGE

BOOK 282 PAGE 25

PROJECT INFORMATION

PROJECT NAME: LEFT COAST FITNESS
PROJECT ADDRESS: 881, 891 E. HAMILTON AVE, CAMPBELL, CA 95008

DATE

DATE: 2021.08.20

SCALE

SCALE: 1" = 100'

PROJECT INFORMATION

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| 2021.08.25 | REVISED FOR CITY SUBMITTAL |
| 2021.10.14 | DESIGN CHANGES |

THE DRAWING IS INTENDED FOR 36x42 PAPER. WHEN PLOTTED, THE LINE BELOW SHOULD BE 1" LONG.

1"

DRAWN BY:

HABITEC JOB NUMBER: 21050-1

SITE PLAN

SHEET NUMBER:

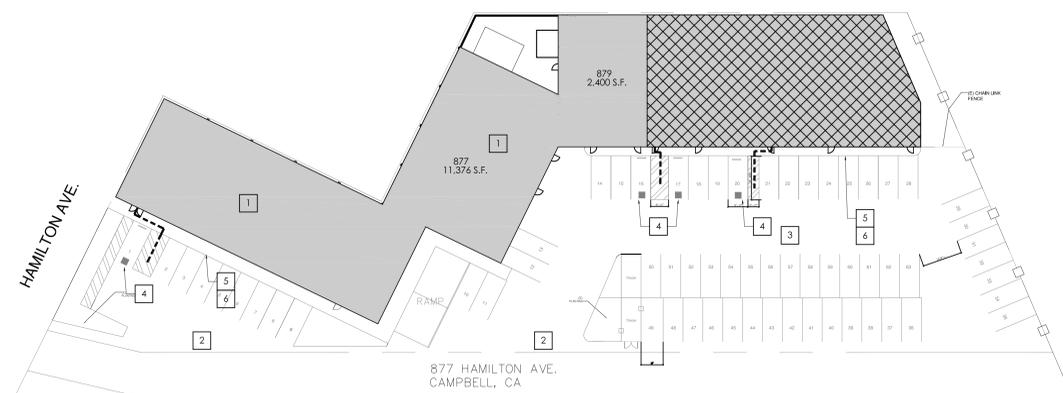
A1.1

LEGEND

-  (E) BUILDING TO REMAIN.
-  (E) PROPERTY LINE TO REMAIN.
-  INDICATES SCOPE OF WORK, ALL OTHER AREAS TO REMAIN EXISTING.
-  ACCESSIBLE PATH OF TRAVEL

KEY NOTES

- 1 (E) BUILDING.
- 2 (E) DRIVEWAY ENTRY.
- 3 (E) PARKING STALLS.
- 4 (E) ACCESSIBLE PARKING STALLS.
- 5 (E) WALKWAY (LESS THAN OR EQUAL TO 5% SLOPE IN THE DIRECTION OF TRAVEL).
- 6 (E) CONCRETE CURB.



PARKING SUMMARY

881 E HAMILTON AVE SHARES PARKING WITH SUITE(S) 877, 879, AND 891
 881 E HAMILTON IS ±2,400 S.F. OF SMALL STUDIO SPACE.
 AT A PARKING RATIO OF 1 PER 250, 881 REQUIRES 10 PARKING SPACES.
 891 E HAMILTON IS ±4,650 S.F. OF SMALL STUDIO SPACE.
 AT A PARKING RATIO OF 1 PER 250, 891 E HAMILTON REQUIRES 19 PARKING SPACES.
 877 E HAMILTON IS ±11,376 S.F. OF RETAIL WAREHOUSE SPACE.
 AT A PARKING RATIO OF 1 PER 300, 877 E HAMILTON REQUIRES 38 PARKING SPACES.
 879 E HAMILTON IS ±2,400 S.F. OF RETAIL WAREHOUSE SPACE.
 AT A PARKING RATIO OF 1 PER 300, 2,400 E HAMILTON REQUIRES 8 PARKING SPACES.
 THE FOUR PARCELS COMBINED REQUIRE 75 PARKING SPACES TOTAL.
 THE EXISTING TOTAL IS 63 PARKING SPACES, OF WHICH 4 ARE DESIGNATED ACCESSIBLE.
 PARKING LOTS WITH 51-75 SPACES REQUIRE 3 ACCESSIBLE SPACES.
 CITY OF CAMPBELL PREVIOUSLY APPROVED A USE OF 1:200 RATIO. THE CURRENT RATIO FOR THE SCOPE OF WORK IS 1:250. DUE TO THAT THERE IS NO INCREASE IN PARKING. CODE REFERENCE SECTION 21.28.040 D. 1.

GENERAL NOTES

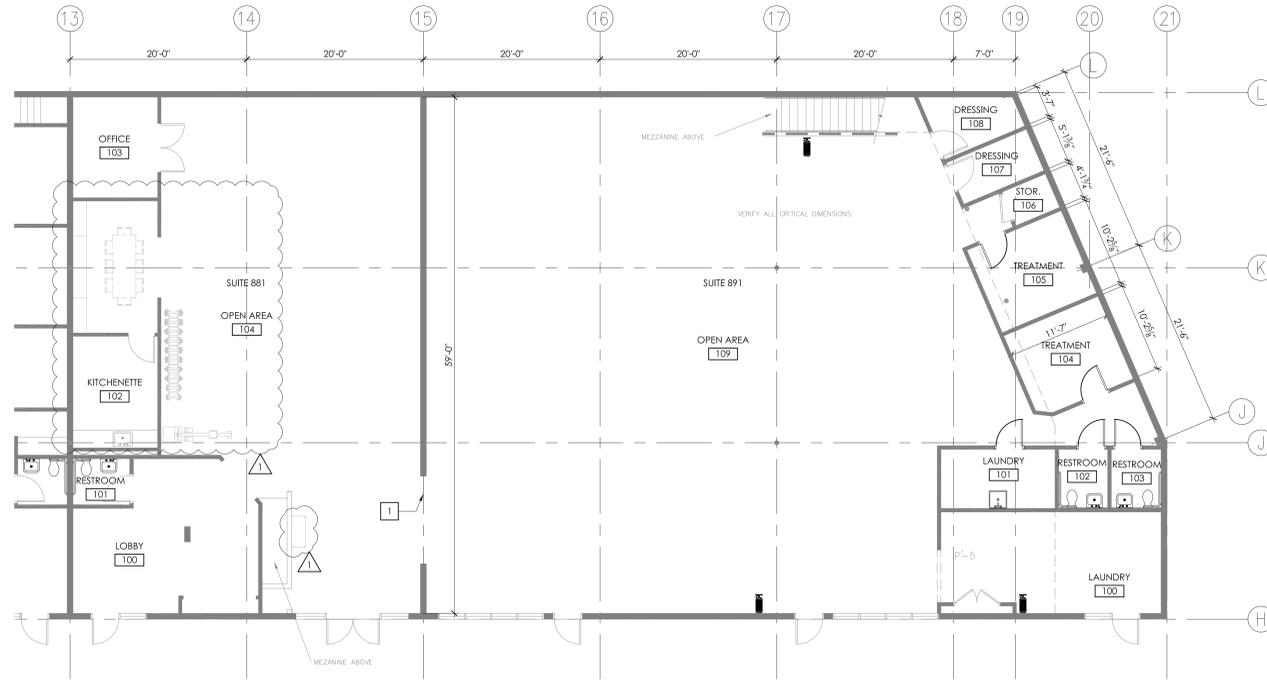
1. WALKS AND SIDEWALKS SHALL BE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
3. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMP.
4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THEN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.
5. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.
6. ALL DAMAGED OR DETERIORATE FIRE LANE MARKING SHALL BE RE-STRIPED
7. ALL CURBS WHICH OUTLINE THE FIRE LANE SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING - FIRE LANE". THE TEXT SHALL BE FOUR INCHES TALL AND SHALL BE PLACED EVERY 30 FEET OR PORTION THEREOF, ON TOP OF DESIGNATED CURBING.



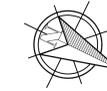
SITE PLAN

1/32" = 1'-0"
0 8 16 32 64 128

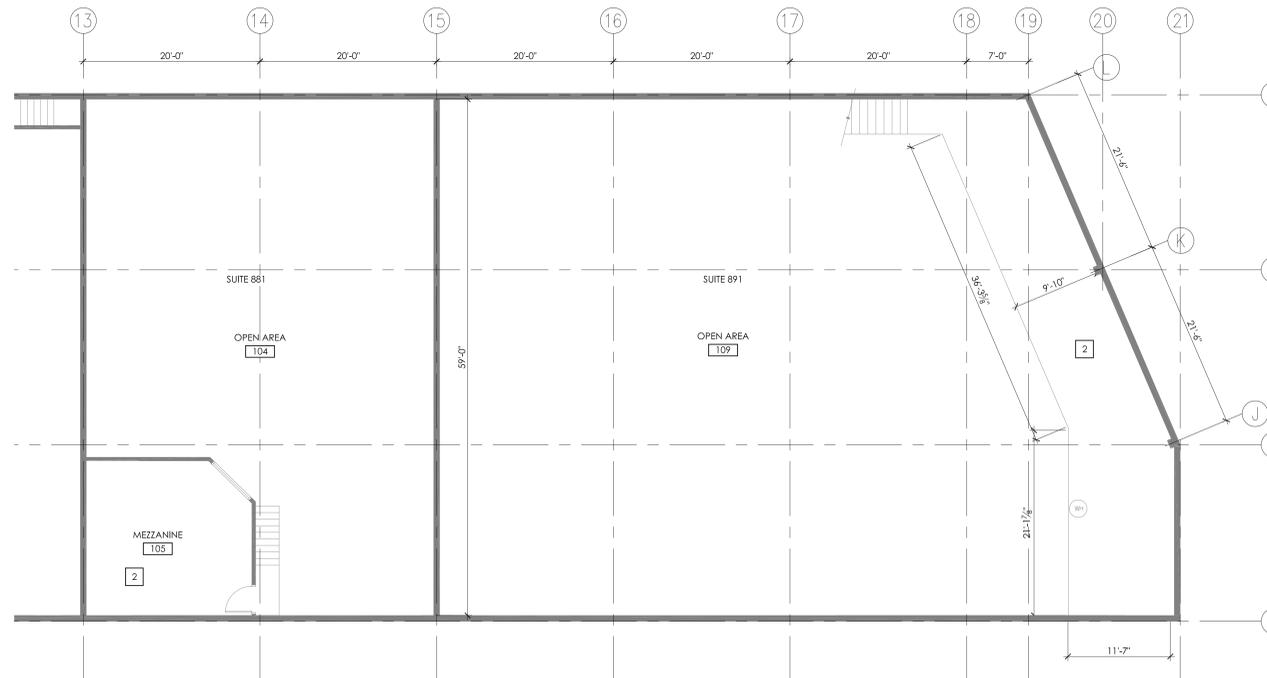
SITE PLAN



1/8" = 1'-0"
0 2' 4' 8' 16' 24'



EXISTING GROUND FLOOR PLAN 6

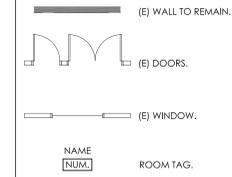


1/8" = 1'-0"
0 2' 4' 8' 16' 24'



EXISTING MEZZANINE FLOOR PLAN 8

LEGEND



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LEFT COAST FITNESS
881, 891 E. HAMILTON AVE
CAMPBELL, CA 95008

KEY NOTES

- 1. 10'-0" WIDE OPENING BETWEEN SUITES
- 2. CURRENT USE OF MEZZANINE IS FOR STORAGE, AND WILL CONTINUE TO BE USED AS STORAGE FOR THE NEW TENANT.

SHEET NOTES

- 1. USE THIS SPACE TO LIST SOMETHING THAT HAPPENS AT MANY LOCATIONS THROUGHOUT THE PROJECT.
- 2. FOR EXAMPLE, A SHEET NOTE COULD REQUIRE THE GENERAL CONTRACTOR TO APPLY FIRE-RESISTANT INTUMESCENT PAINT TO ALL THE STEEL.
- 3. OR A SHEET NOTE COULD REQUIRE THE G.C. TO RE-FLOOR ALL EXISTING WALLS TO LEVEL 4 SMOOTH.

GENERAL NOTES

- 1. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
- 2. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- 3. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- 4. ADJUST PARTITION THICKNESS AND CAVITY FOR INCLUSION OF INTERNAL ELEMENTS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC.
- 5. FINISH GYPSUM DRYWALL COMPLETELY TO WITHIN 1/4" OF FLOOR TO ENSURE A SOLID WALL BASE INSTALLATION.
- 6. AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. WHERE NEW PAINT OR OTHER NEW FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEW AND FINISHED APPEARANCE.
- 7. WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CEMENTITIOUS FILLER FLOATED TO A FEATHER EDGE. MIX AND APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

ISSUE

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| 2021.08.25 | REVISED FOR CITY SUBMITTAL |
| 2021.10.14 | DESIGN CHANGES |

THE DRAWING IS INTENDED FOR 3/4" X 4 1/2" PAPER. WHEN PLOTTED, THE LINE BELOW SHOULD BE 1" LONG.

1"

DRAWN BY:

HABITEC JOB NUMBER: 21050-1

EXISTING GROUND FLOOR PLAN & EXISTING MEZZANINE FLOOR PLAN

SHEET NUMBER:

A2.1