



CITY OF CAMPBELL
Community Development Department

October 29, 2021

NOTICE OF STUDY SESSION
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 6:30 p.m., or shortly thereafter, on Tuesday, **November 9, 2021**, for a Study Session to consider a Preliminary Application (PLN-2021-169) to review the proposed reconstruction of an existing service station (Shell) with a new convenience market and drive-through carwash on property located at **570 E. Hamilton Avenue**.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at <https://bit.ly/PCMtg11092021>. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, November 4th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. *Plans and architectural drawings may be viewed by Friday, October 29th*, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
ROB EASTWOOD
SECRETARY

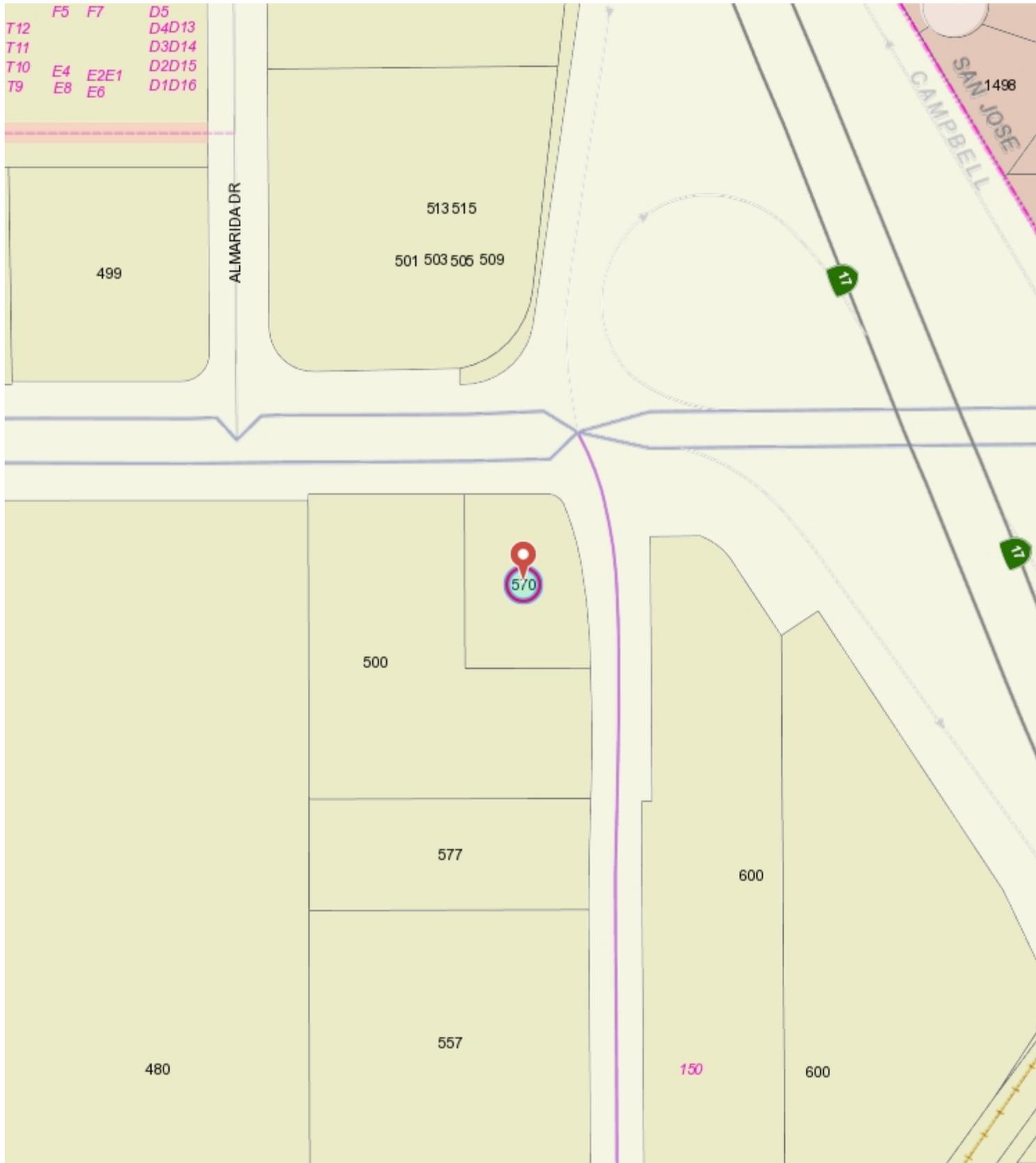
PLEASE NOTE: When calling on this Notice, refer to **570 E. Hamilton Avenue**.



Location Map - 570 E. Hamilton Ave.



T12 F5 F7 D5
T11 D4D13
T10 E4 E2E1 D3D14
T9 E8 E6 D2D15
D1D16



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:2,257

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



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**SHELL GAS STATION
 CONVENIENCE STORE & CARWASH
 570 E. HAMILTON AVENUE
 CAMPBELL, CA**

ISSUED FOR CONSTRUCTION
 ISSUED FOR PLAN CHECK
 ISSUED FOR PLANNING

NO. DATE DESCRIPTION

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SITE PLAN

PROJECT #: 20-50120
 DRAWN: EMQ CHECKED: MII
 SCALE: AS NOTED DATE: 10-30-19

SD1

SHEET OF

DRAWING INDEX

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SITE INFORMATION

APN #:	279-33-040
ZONING:	GENERAL COMMERCIAL (C-2)
SITE AREA GROSS:	26,284 S.F. = 0.603 ACRE
TOTAL LANDSCAPE AREA: (10% REQ'D PER 16 THROUGH 30 PARKING STALLS)	5,041 S.F. (19.2%) PROVIDED
ON-SITE LANDSCAPE:	4,284 S.F.
OFF-SITE LANDSCAPE:	763 S.F.
BUILDINGS:	
CONVENIENCE STORE	2,461 S.F.
FUELING CANOPY	2,741 S.F.
CARWASH TUNNEL & EQUIPMENT RM.	1,637 S.F.
TOTAL BLDG. AREA	6,839 S.F.
PARKING REQUIREMENTS:	
CONVENIENCE STORE: 1 SPACE PER 250 S.F. (2,461 S.F. / 250):	10 SPACES
TOTAL PARKING REQUIRED:	10 SPACES
PARKING PROVIDED:	
STANDARD PARKING STALLS (8'-6"x19'-0"):	4 SPACES
PARALLEL PARKING STALLS (8'-6"x22'-0"):	2 SPACES
VAN ACCESSIBLE PARKING STALL (17'x19'-0"):	1 SPACE
VACUUM PARKING STALLS (8'-6"x19'-0"):	1 SPACE
AIR/WATER STALL (11'-0"x19'-0"):	1 SPACE
FUEL POSITIONS (@ 50%):	4 SPACES
TOTAL PARKING PROVIDED:	13 SPACES

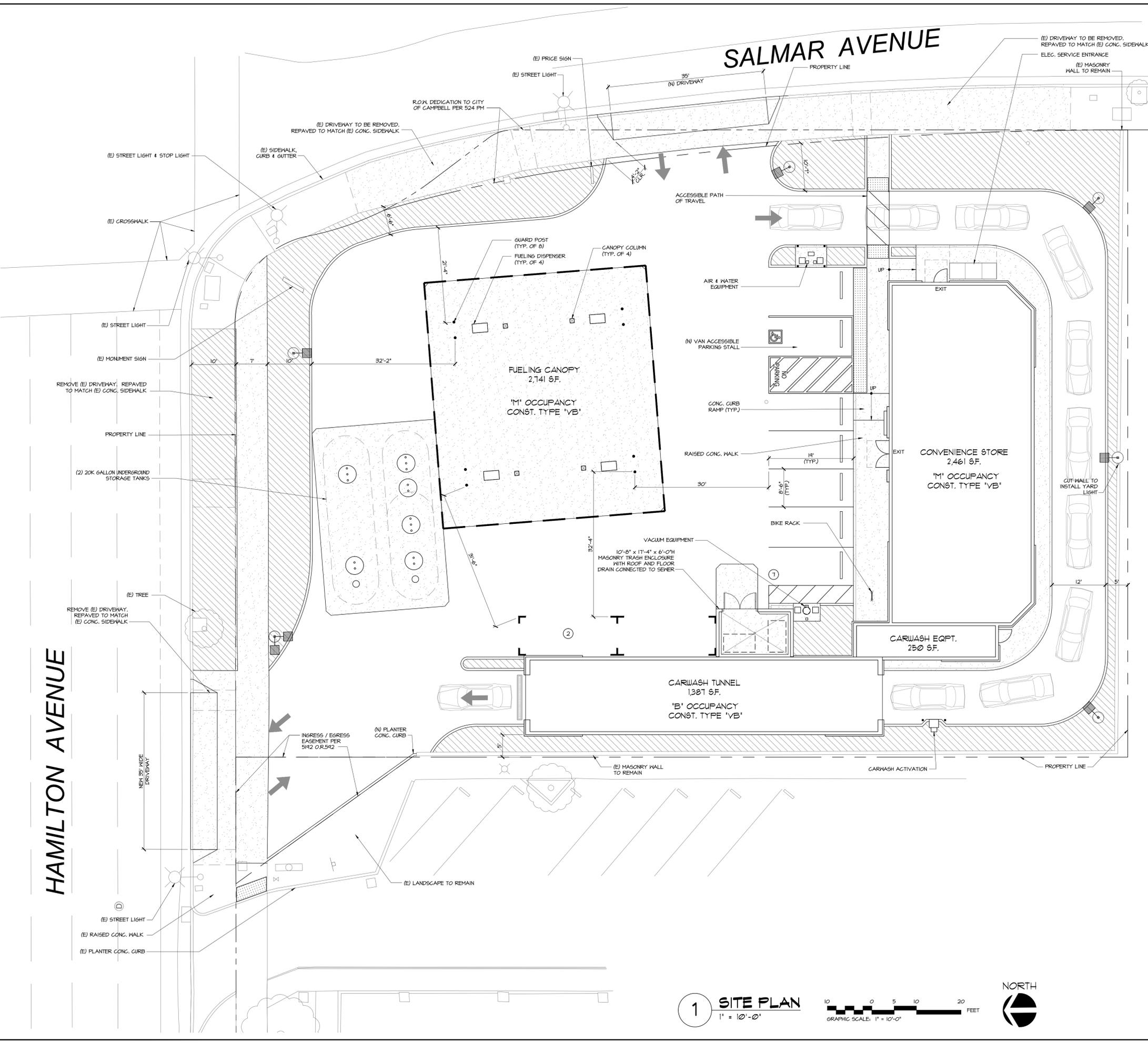
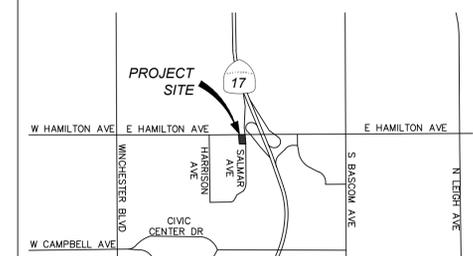
SITE PLAN LEGEND

- NEW LANDSCAPING
- NEW CONCRETE PAVING
- 4 FT. WIDE (MIN) ACCESSIBLE ROUTE OF TRAVEL, SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE
- EXISTING CURB TO REMAIN
- NEW CONCRETE CURB

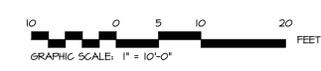
PROJECT DIRECTORY

ARCHITECT M I ARCHITECTS, INC. 2221 OLYMPIC BLVD, SUITE 100 WALNUT CREEK, CA 94595 TEL: (425) 287-1174 x1 FAX: (425) 943-1501 CELL: (425) 878-9875 MR. MUTHANA IBRAHIM, ARCHITECT	DEVELOPER A U ENERGY, LLC 4105 ALBRAE ST., 2ND FLR. FREMONT, CA 94538 TEL: (650) 799-2949 FAX: - MR. SUNNY GOYAL
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VICINITY MAP



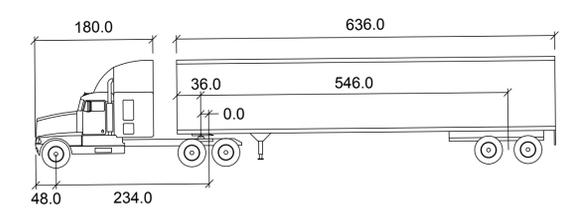
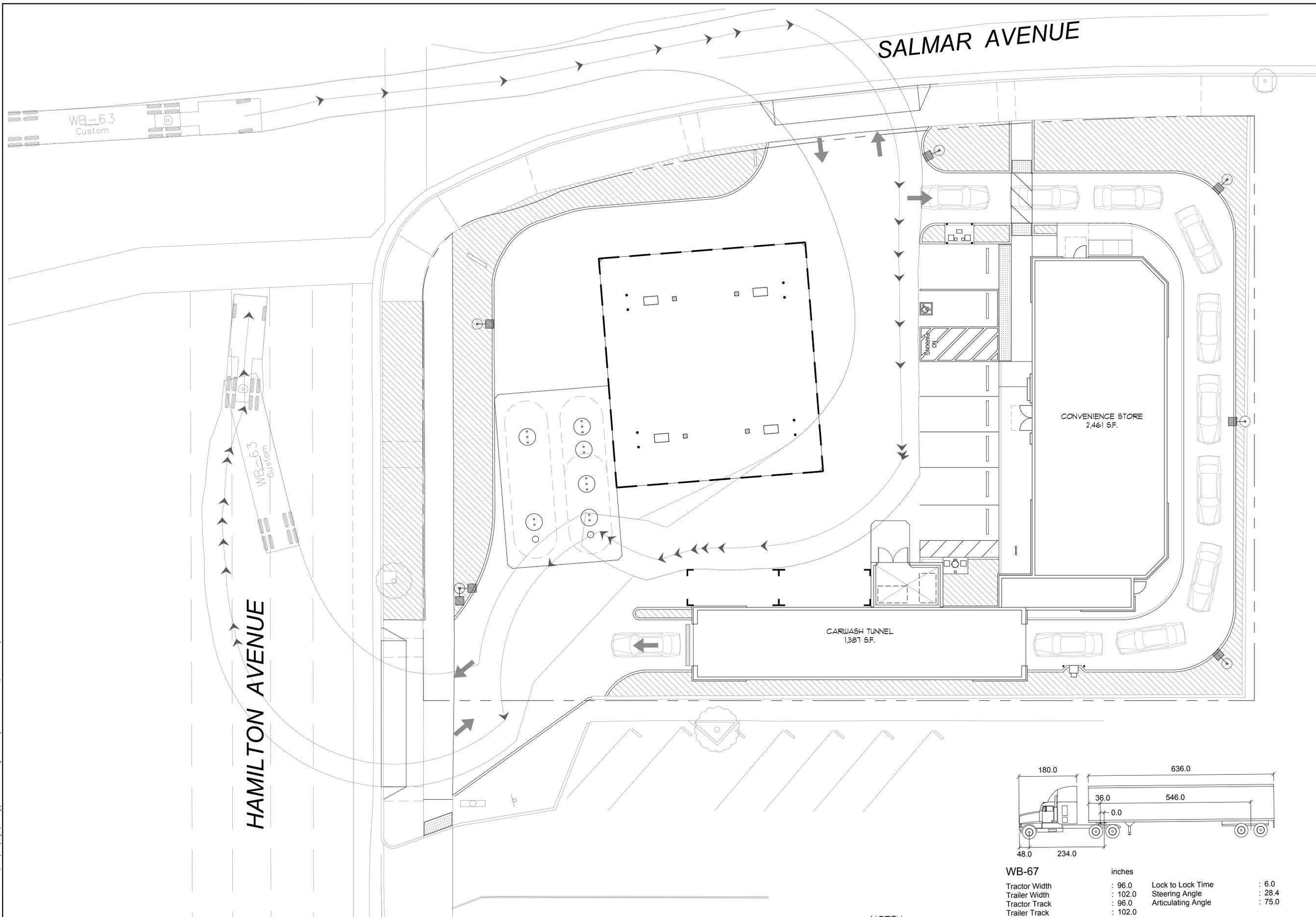
1 SITE PLAN
 1" = 10'-0"



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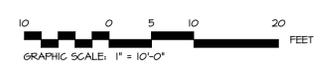
**SHELL GAS STATION
 CONVENIENCE STORE & CARWASH
 570 E. HAMILTON AVENUE
 CAMPBELL, CA**

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WB-67			
	inches		
Tractor Width	: 96.0	Lock to Lock Time	: 6.0
Trailer Width	: 102.0	Steering Angle	: 28.4
Tractor Track	: 96.0	Articulating Angle	: 75.0
Trailer Track	: 102.0		

1 TRUCK PATH SITE PLAN
 1" = 10'-0"



A WB-67
 N.T.S

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION

**TRUCK PATH
 SITE PLAN**
 PROJECT #: 20-50120
 DRAWN: EMQ CHECKED: MII
 SCALE: AS NOTED DATE: 10-30-19

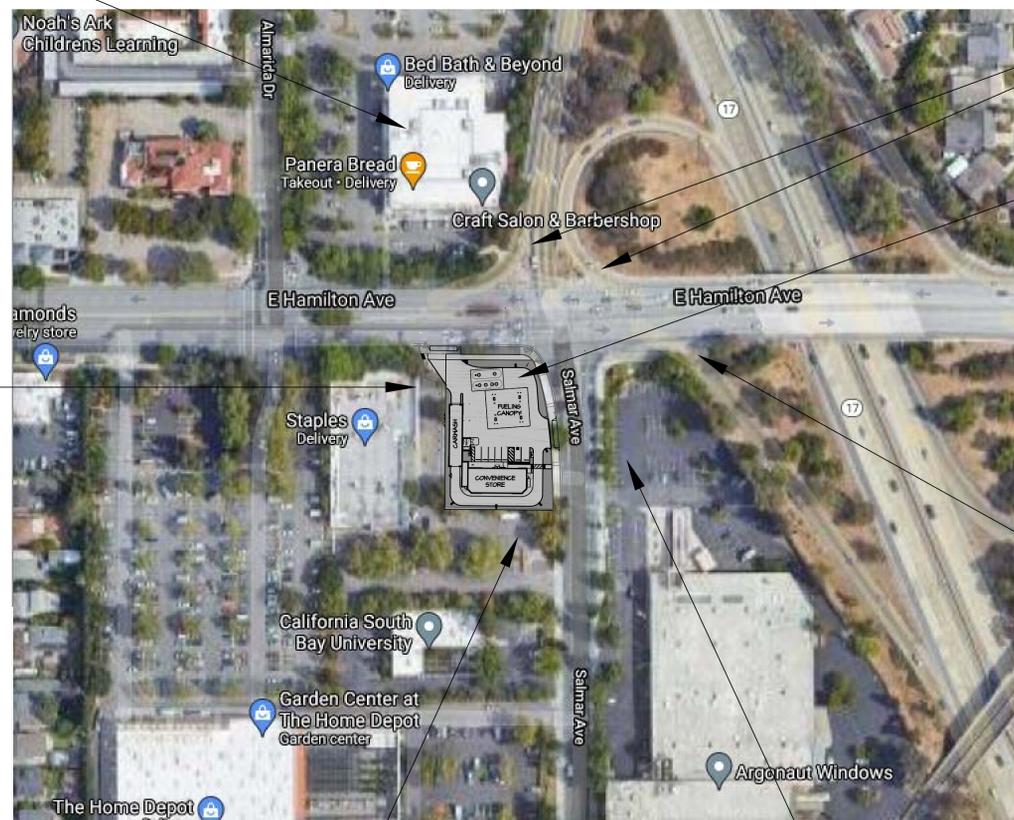
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RETAIL STORE BUILDING AT HAMILTON AVENUE;
HWY 17 SOUTHBOUND LANE OFF-RAMP (RIGHT)



ENTRY/EXIT TO HWY 17 SOUTHBOUND LANE



SHELL GAS STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE, CAMPBELL, CA
APN # 274-33-040



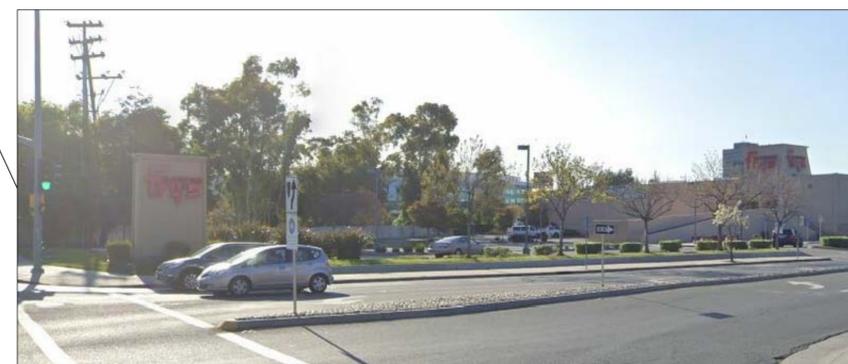
RETAIL STORE BUILDING (RIGHT); LOW MASONRY FENCE BETWEEN
PROPERTIES



ENTRY TO SOUTHBOUND HWY 17 ADJACENT TO RETAIL STORE PARKING LOT (RIGHT)



CALIFORNIA SOUTH BAY UNIVERSITY PARKING LOT (LEFT),
SHELL GAS STATION PARKING SPACE (RIGHT)



RETAIL STORE PARKING LOT ENTRY AT SALMAR AVENUE

1 NEIGHBORHOOD CONTEXT
N.T.S



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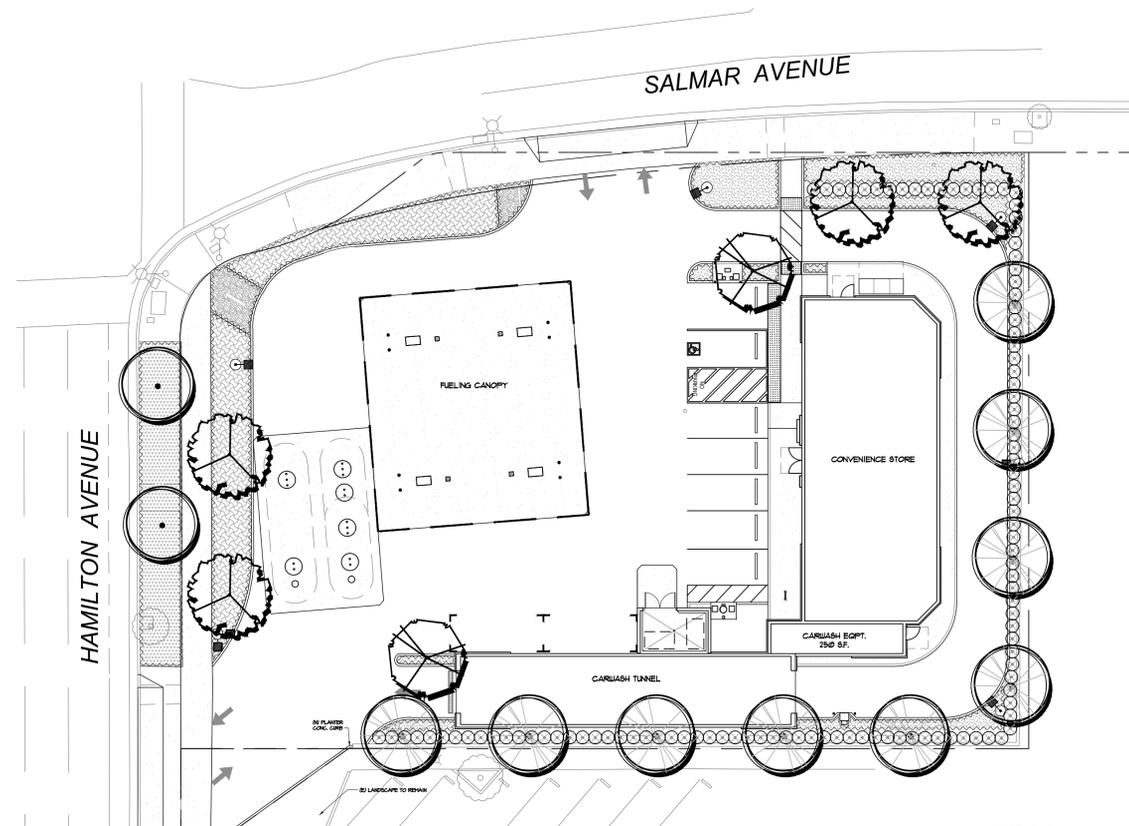
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NEIGHBORHOOD
CONTEXT
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

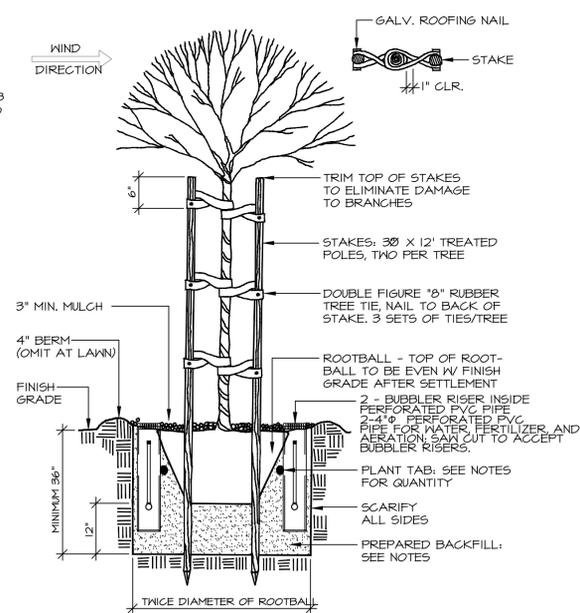
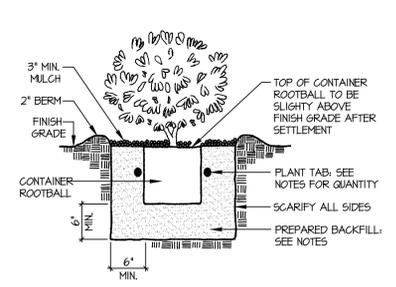
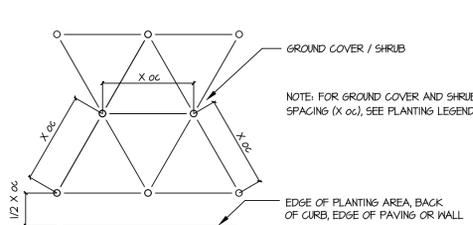
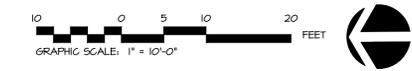
SD3

SHEET OF

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1 LANDSCAPE PLAN
1" = 20'-0"



Planting Details
NOT TO SCALE



Ciardella
a s s o c i a t e s
Landscape Architecture
Urban Design

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Suite D100-A
Carmel, CA 93921

Tel 831 624 6100
Tel 430 326 6100
ca@ciardella-assoc.com

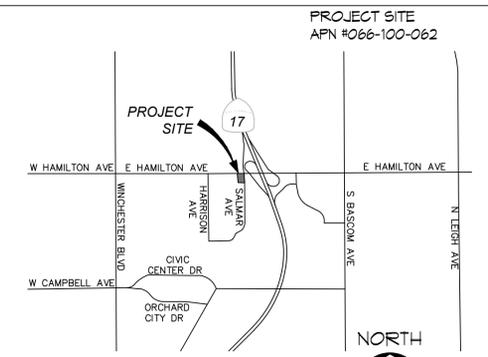
PLANTING LEGEND

Symbol	BOTANICAL NAME	COMMON NAME	H2O	SIZE
Tree				
	Tilia tomentosa	Silver Linden	L	15 Gallon
	Lagerstroemia indica	Muskogee Muskogee Grape Myrtle	L	15 Gallon
	Laurus nobilis	Sweet Bay	L	15 Gallon
	To be determined by City of Campbell			
Shrubs and Vines				
	Pittosporum tobira 'Variegatum'	Variegated Japanese	L	5 Gallon
Ground Cover				
	ROS Rosmarinus officinalis 'Hunting Carpet'	Roemary	L	1 Gallon @ 30" oc
	FLR Tagetes erecta 'Moonstruck'	Moonstruck Marigold	M	4" Pots @ 14" oc
	MYO Myoporum parvifolium	Myoporum	L	1 Gallon @ 30" oc
	CAM To be determined by City of Campbell			

PLANTING NOTES

- All trees are to be staked as shown in the staking diagram per city requirement.
- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch. Within the bioswale a 3" layer of shredded bark shall be installed.
- All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species as size as those damaged.
- All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
- Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
- All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
- HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
- Landscape shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
- CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
- Prior to the planting of any materials, compacted soils shall be transformed to a friable condition. On engineered slopes, only amended planting holes need meet this requirement.
- At Permit Phase a Soil analysis Report as designated by the city shall be required. Soil amendments shall be incorporated according to recommendations of the soil report and what is appropriate for the plants selected.
- All landscape shall be automatically irrigated using state of the art irrigation system compliant with water efficient standards.

VICINITY MAP



M I Architects

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CAMPBELL, CA**

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ISSUED FOR PLAN CHECK
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NO. DATE DESCRIPTION

LANDSCAPE PLAN

PROJECT #: 20-50120
DRAWN: EMQ CHECKED: rc
SCALE: AS NOTED DATE: 10-30-19

LA1

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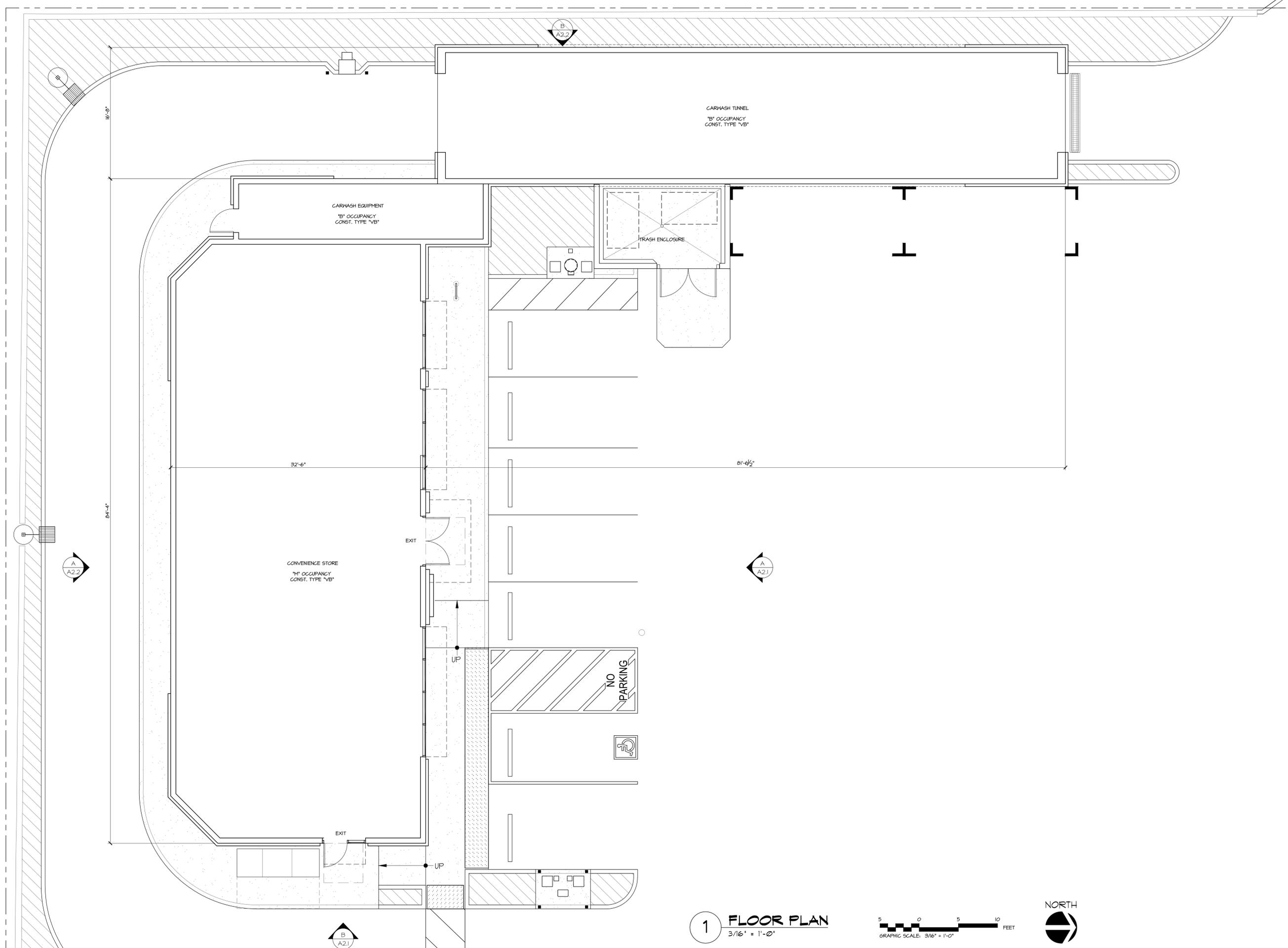
Architects

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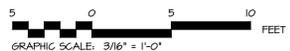
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1 FLOOR PLAN
3/16" = 1'-0"



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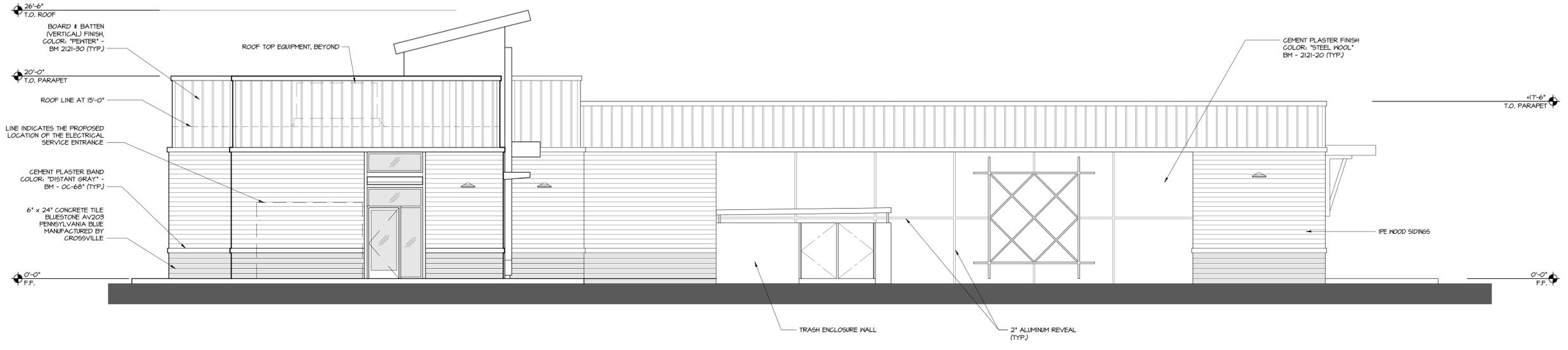
CONVENIENCE STORE & CARWASH FLOOR PLAN
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

A1.1

SHEET OF



A NORTH ELEVATION
 3/16" = 1'-0"

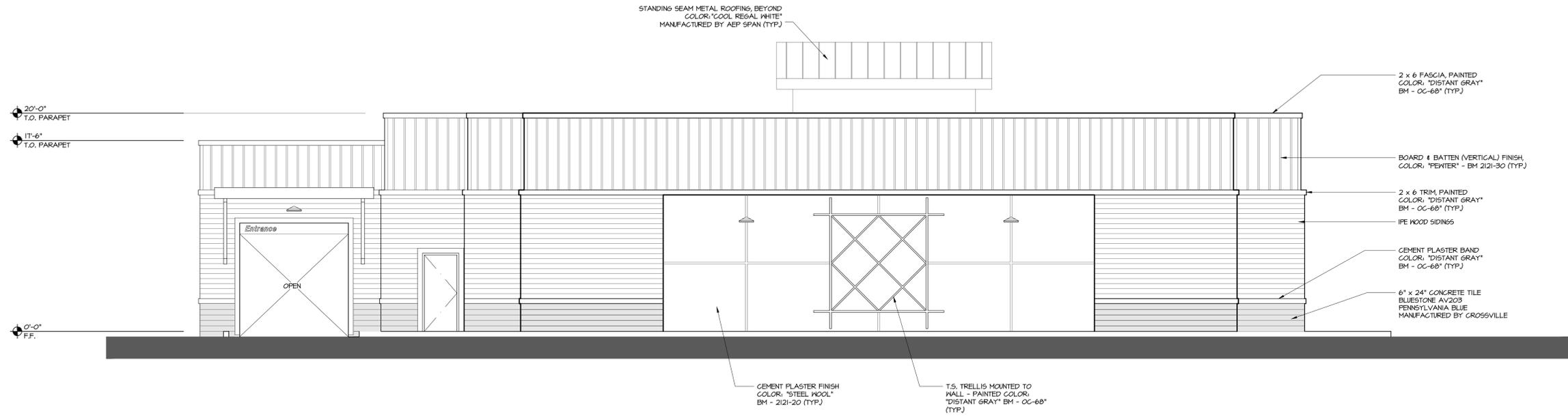


B EAST ELEVATION
 3/16" = 1'-0"

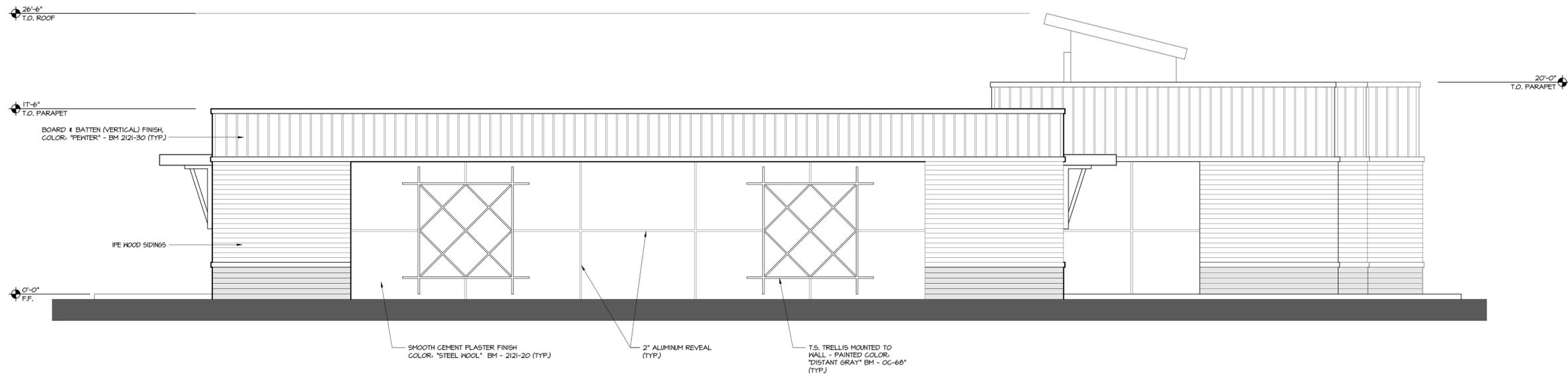
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EXTERIOR ELEVATIONS
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A SOUTH ELEVATION
 3/16" = 1'-0"



B WEST ELEVATION
 3/16" = 1'-0"

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EXTERIOR ELEVATIONS

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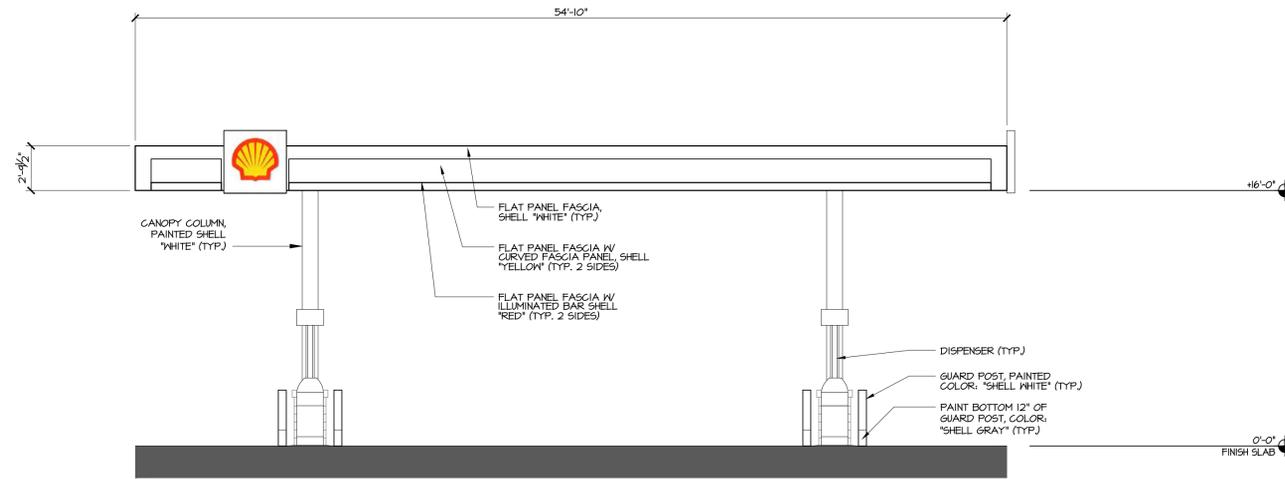
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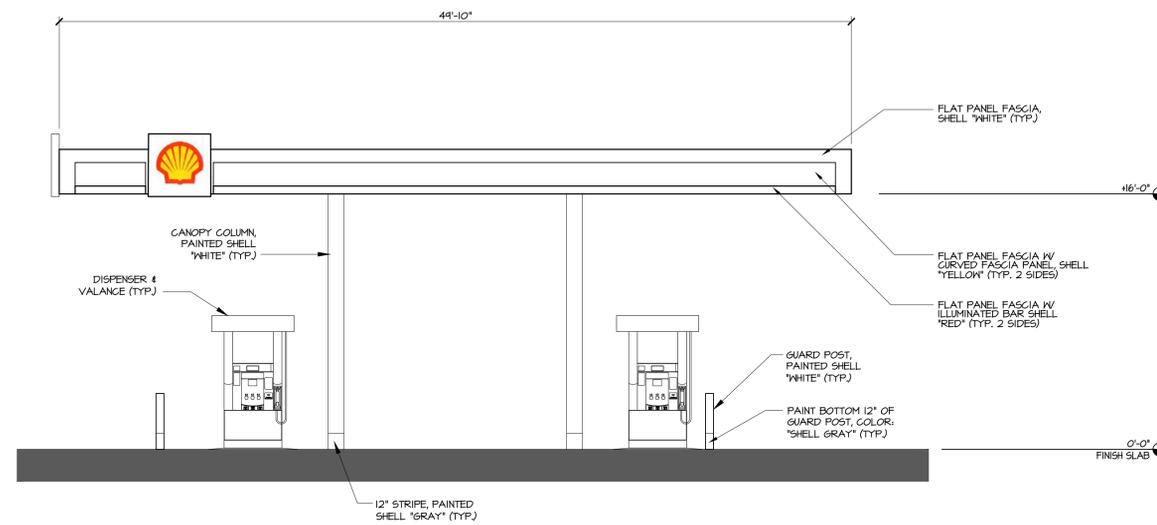
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CAMPBELL, CA

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A NORTH ELEVATION
3/16" = 1'-0"



B EAST ELEVATION
3/16" = 1'-0"

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CANOPY ELEVATIONS

PROJECT #: 20-50120
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CA1



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Muthana Ibrahim
Architect
President

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Cell:
(925) 878-9875

Email:
muthana@miarchitect.com

Website:
www.miarchitect.com

Written Project Description for:

Shell Gas Station
570 E. Hamilton Avenue
Campbell, CA

On behalf of our Client A U Energy, LLC., we are submitting this written description for the reconstruction of the Shell gas station at the above referenced site. The project scope of work consists of removing all structures on site and installing a new 2,461 sf. convenience store and a 1,387 sf. self-service drive-through carwash tunnel w/ attached 250 sf. equipment room. The proposed gas station includes a fuel canopy with (4) multi product fuel dispensers and (2) 20K gallon underground storage tanks. The site improvements include: parking stalls, accessible path of travel to the right-of-way, masonry trash enclosure, site lighting, landscaping & self-service air/water & vacuum units. The following are items to be considered in this project:

- **ITEMS TO BE SOLD AT THIS FACILITY:** The gas station will sell gasoline, the Food Mart will sell pre-packaged food items, sundry items, some automobile accessories (i.e.- air fresheners, cell phone accessories, anti-freeze, motor oil, etc.) self-service beverages, fresh and/or pre-packaged pastries & can and/or bottles of soda, water, sports/energy drinks and alcoholic beverages. There will be NO cooking or preparing of food or beverages. The carwash will provide self-service, drive-through carwashes. There will be NO carwash employees on duty.
- **EMPLOYEE:** There will be (4) full time employees per shift, (1) manager and (1) assistant manager. There will be (3) shifts per day. Total employee is (14) full time employees five days a week and (12) part-time employees two days a week.
- **HOURS OF OPERATION:** The current hours of operation of the gas station and snack shop are: 24 hrs. / day, 7 days a week, 365 days per year and will remain the same. The carwash hours of operation will be: 24 hrs. / day, 7 days a week, 365 days per year
- **FUEL DELIVERY:** The fuel delivery truck will make deliveries 7 times / week.
- **RECYCLED CARWASH WATER:** Prior to discharge to the public sewer system, the used carwash water runs through (2) types of treatment tanks the first tank is the sand/oil separator. This tank includes (2) compartments. The sand oil separator intercepts the sand in the first compartment and the oil in the second compartment. The access water then leaves the sand /oil separator tank to the clarifier tank. The clarifier tank consists of (3) compartments to clear the water for the reuse by the carwash equipment. The percentage of the recycled water to be re-used in the carwash will be controlled by the reclaim system.
- **SITE LIGHTING:** The exterior lighting levels will be enough to ensure the safety of the facility, but to not provide glare or excessive light spillage onto adjacent properties or the public right-of-way.

If you have any questions please don't hesitate to give me a call. I can be reached at (925) 287-1174 x1.

Sincerely,
Muthana Ibrahim
Architect, President
M I Architects, Inc.