



CITY OF CAMPBELL
Community Development Department

November 12, 2021

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 6:30 p.m., or shortly thereafter, on Tuesday, **November 23, 2021**, for a Public Hearing to consider the Application (PLN-2021-144) ACE Hardware for a Conditional Use Permit to allow establishment of a hardware store in a vacant tenant space (former OfficeMax) within the Hamilton Plaza Shopping Center, on property located at **1760 S. Bascom Avenue** in the C-2 (General Commercial) Zoning District. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at <https://bit.ly/PCMtq11092021>. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, November 19th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, November 12th, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

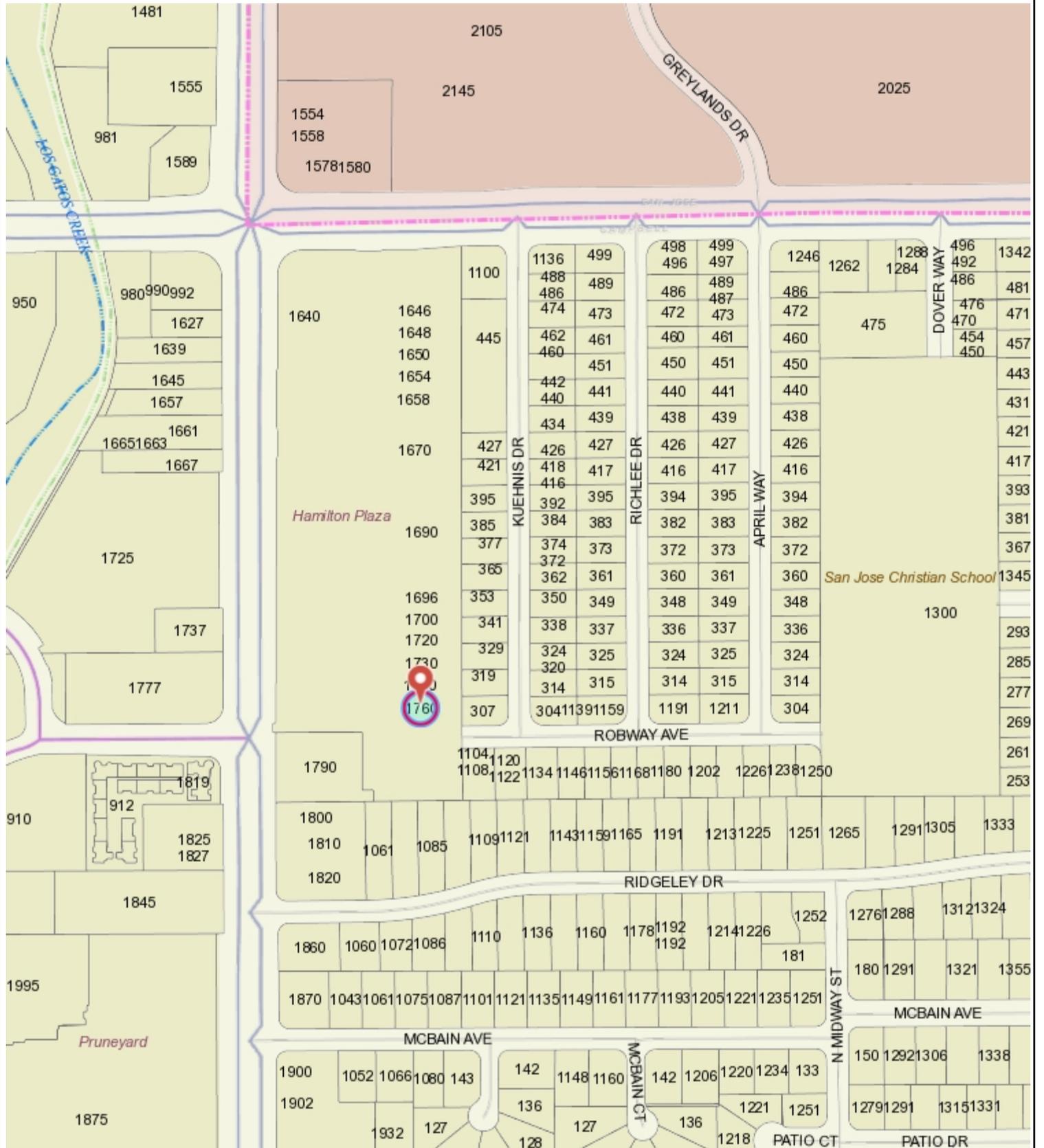
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
ROB EASTWOOD
SECRETARY

PLEASE NOTE: When calling on this Notice, refer to **1760 S. Bascom Avenue**



Location Map - 1760 S. Bascom Ave.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

Conditional Use Permit Application (Response)
September 15, 2021
ACE Hardware - 12,275 SF



HAMILTON PLAZA
ACE HARDWARE C.U.P.
HUNTER PROPERTIES, INC.

HAMILTON PLAZA

ACE HARDWARE C.U.P.

HUNTER PROPERTIES, INC.

SHEET INDEX

| SHEET NO. | SHEET NAME | ISSUE |
|-----------|------------|--------------------|
| | | C.U.P. APPLICATION |

| TITLE SHEETS | |
|--------------|---------------------------|
| TS-1 | TITLE SHEET / SHEET INDEX |
| 1 | |

| ARCHITECTURAL | |
|---------------|---|
| A-001 | FIRE ACCESS / ACCESSIBILITY / SIGNAGE SITE PLAN |
| A-101 | PARTIAL SITE PLAN |
| A-102 | SCHEMATIC SITE PLAN |
| A-202 | SUITE 100 FLOOR PLAN |
| A-301 | SITE PHOTOS |
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CUPERTINO, CA 95014

HAMILTON PLAZA

ACE HARDWARE C.U.P.

1760 SOUTH BASCOM AVE
CAMPBELL, CA 95008

| DRAWING SUBMITTAL SCHEDULE | |
|----------------------------------|------------|
| C.U.P. APPLICATION | 08/02/2021 |
| A C.U.P. APPLICATION RESUBMITTAL | 09/15/2021 |

PROJECT NO. 21945-L-01

TITLE SHEET / SHEET INDEX

TS-1

| SYMBOLS LEGEND | |
|----------------------|---|
| LOBBY 256B | ROOM NAME & ROOM NUMBER |
| 1234 | KEYNOTE TAG - DEMOLITION AND NEW WORK |
| | NEW WALL AND PARTITION TAGS - REFER TO SHEET A-111 |
| | NEW DOOR TAGS - REFER TO SHEET A-501 |
| | NEW STOREFRONT TAGS - REFER TO SHEET A-501 |
| | CENTER LINE |
| | SHEET NUMBER ELEVATION CALLOUT VIEW NUMBER, TYP. |
| | GRID LINES GRID HEAD |
| | BUILDING SECTION TAG |
| | DETAIL TAG |
| | DETAIL CALLOUT/TAG |
| | FINISH FLOOR LEVEL SYMBOL |
| | SPOT ELEVATION |
| | DIMENSION |

| PROJECT DATA | |
|------------------------------------|---------------------------|
| DEVELOPMENT SUMMARY | |
| OCCUPANCIES | Type M (MERCANTILE) |
| TYPE CONSTRUCTION | Type I-A & V-A |
| SPRINKLERED | YES |
| APN | 288-11-061 |
| ZONING CLASSIFICATION | C-2 GENERAL COMMERCIAL |
| SITE AREA | 513,877 SF (11.797 ACRES) |
| NUMBER OF STORIES | 1 |
| FIRST FLOOR AREA (IN AREA OF WORK) | 12,275 SF |

| PROJECT DIRECTORY | |
|--|--|
| PROJECT HAMILTON PLAZA SHEL IMPROVEMENTS 1760 SOUTH BASCOM AVE. CAMPBELL, CA 95008 | CLIENT HUNTER PROPERTIES, INC. 10121 MILLER AVENUE, SUITE 200 CUPERTINO, CA 95014 Tel: (408) 255-4100 Fax: Contact: MELISSA CULLINAN Email: melissa@hunterproperties.com |
| ARCHITECT SGPA ARCHITECTURE & PLANNING 200 PINE STREET, SUITE 500 SAN FRANCISCO, CA 94104 Tel: (415) 983-0131 Fax: (619) 294-9534 Contact: NORMAN SEARS Email: nsears@sgpa.com | GENERAL CONTRACTOR CODY BROCK, INC. COMMERCIAL BUILDERS 1021 HOWARD AVE. D SAN CARLOS, CA 94070 Tel: (650) 591-0757 Fax: Contact: CASEY VERMETTE Email: caseyv@codybrock.com |

| SCOPE OF WORK | |
|--|--|
| PROJECT DESCRIPTION THIS APPLICATION IS FOR THE CONDITIONAL USE OF THE COMMERCIAL TENANCY (ACE HARDWARE) AT 1760 SOUTH BASCOM AVE, SUITE 100. | |
| THE SUBJECT TENANT SPACE IS 12,275 SF, WHILE THE MAXIMUM SIZE FOR A HARDWARE STORE AT THIS LOCATION IS LIMITED TO 10,000 SF. | |

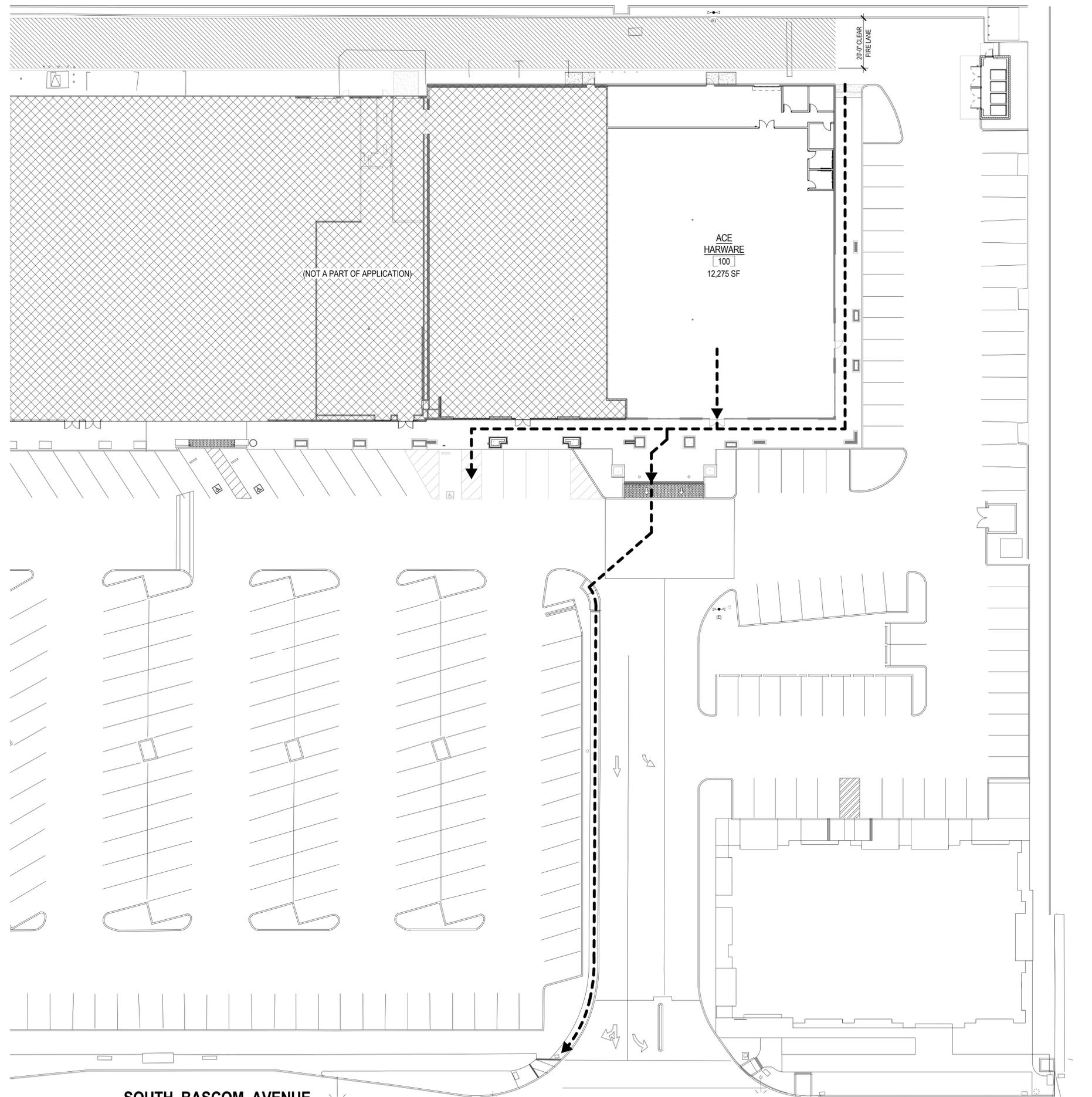
| APPLICABLE CODES | | |
|------------------|---|--------------|
| BUILDING CODE | CALIFORNIA BUILDING CODE TITLE 24 PART 2 | 2019 EDITION |
| ELECTRICAL CODE | CALIFORNIA ELECTRICAL CODE TITLE 24 PART 3 | 2019 EDITION |
| MECHANICAL CODE | CALIFORNIA MECHANICAL CODE TITLE 24 PART 4 | 2019 EDITION |
| PLUMBING CODE | CALIFORNIA PLUMBING CODE TITLE 24 PART 5 | 2019 EDITION |
| ENERGY CODE | CALIFORNIA ENERGY CODE TITLE 24 PART 6 | 2019 EDITION |
| FIRE CODE | CALIFORNIA FIRE CODE TITLE 24 PART 9 | 2019 EDITION |
| GREEN CODE | CALIFORNIA GREEN BUILDING CODE TITLE 24 PART 11 | 2019 EDITION |
| FIRE SPRINKLERS | NFPA 13 - AUTOMATIC SPRINKLER SYSTEMS | 2019 EDITION |
| FIRE ALARM | NFPA 72 - NATIONAL FIRE ALARM CODE (CA. AMEND.) | 2019 EDITION |
| FIRE DOORS | NFPA 80 - FIRE DOOR AND OPENING PROTECTIVES | 2019 EDITION |
| CITY | MUNICIPAL CODE - CITY OF CAMPBELL | |

| DEFERRED APPROVALS | |
|--|-----------------------------|
| INSTALLATION OF DEFERRED APPROVAL ITEMS SHALL NOT BE STARTED UNTIL DETAILED PLANS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR ENGINEER WHO HAS BEEN DELEGATED THE RESPONSIBILITY OF COVERING THE WORK SHOWN ON A PARTICULAR PLAN OR SPECIFICATION, AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. DEFERRED ITEMS SHALL BE COMPLETED PRIOR TO THE OCCUPANCY OF BUILDINGS AFFECTED BY THE DEFERRED WORK. | |
| DEFERRED APPROVAL ITEMS ARE AS FOLLOWS: | |
| ITEM 1 | FIRE ALARM |
| ITEM 2 | FIRE SPRINKLERS |
| ITEM 3 | ALUMINUM AND CANVAS AWNINGS |



| WASTE MANAGEMENT PLAN | |
|---|--|
| CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM. | |
| TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION. | |
| OR | |
| WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE. | |

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ACCESSIBILITY NOTES

1. PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE. EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL MAINTAIN FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND ABOVE 27" AND LESS THAN 80" (11B-307.2). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 11B-DIVISION 4
2. PROVIDE SITE DIRECTIONAL ACCESSIBILITY ROUTE SIGNAGE (SDS-1) AT ALL MAJOR JUNCTIONS PER CBC SEC. 11B-216.6.
3. RELOCATED ADA PARKING SPACE AND ALL WORK PROPOSED BY THIS PERMIT WILL BE IN FULL COMPLIANCE WITH CALIFORNIA ACCESSIBILITY REQUIREMENTS CHAPTER 11, CBC AND ANY ADDENDUMS SUBSEQUENT TO THE DATE OF PERMIT ISSUE.

LEGEND

| | | | |
|--|--------------------------------|--|---------------------------|
| | EXISTING FIRE HYDRANT LOCATION | | NEW FIRE HYDRANT LOCATION |
| | | | |

ACCESSIBLE PATH OF TRAVEL 4'-0" WIDE MIN. CONCRETE OR A.C. PAVED. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION ON MATERIAL, SLOPES AND ELEVATIONS.

GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR SITE EXCAVATION, GRADING, DRAINAGE, WATER, SEWER, PAVING, HORIZONTAL AND VERTICAL CONTROL, AND ADDITIONAL SITE AND CONSTRUCTION INFORMATION.

LOCAL FIRE AUTHORITY

ACCESS ROADS AND GATE ENTRANCES WILL MEET TITLE 19, CALIFORNIA CODE OF REGULATIONS, SUBCHAPTER 1, ARTICLES 3.05 ACCESS ROADS AND 3.16 GATE ENTRANCES TO SCHOOL GROUNDS.

FIRE FLOW AND HYDRANT LOCATION AND DISTRIBUTION WILL MEET CALIFORNIA FIRE CODE APPENDIX III-AA FIRE FLOW REQUIREMENTS AND APPENDIX III-B FIRE HYDRANT LOCATION AND DISTRIBUTION. APPENDICES FROM 1991 U.F.C. WITH CFSM AMENDMENTS.

LOCATION OF INDICATING VALVE ASSEMBLY(S) AND FIRE DEPARTMENT CONNECTION(S) ARE SHOWN AND APPROVED.

APPROVAL ISSUED BY: _____

RANK / TITLE: _____

DATE: _____

PHONE: _____

SANTA CLARA COUNTY FIRE DEPARTMENT NOTES

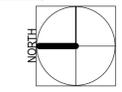
1. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SCCFD'S SPECIFICATION SH-7 - CONSTRUCTION SITE FIRE SAFETY.
2. AT ANY TIME THE FIRE SPRINKLER SYSTEM AND/OR THE FIRE DETECTION & ALARM SYSTEM IS IMPAIRED, A FIRE WATCH IS TO BE PROVIDED. THE SYSTEM IS TO BE TAGGED, AND A CORRESPONDING IMPAIRMENT PROGRAM IS TO BE PROVIDED, IN ACCORDANCE WITH CFC CHAPTER 9.
3. INTEGRITY OF THE FIRE-RATED CONSTRUCTION SHALL BE MAINTAINED, IN ACCORDANCE WITH CFC AND CBC CHAPTER 7.
4. FIRE DEPARTMENT ACCESS TO THE SITE, THE BUILDING, AND TO ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AT ALL TIMES, IN ACCORDANCE WITH CFC CHAPTER 5.

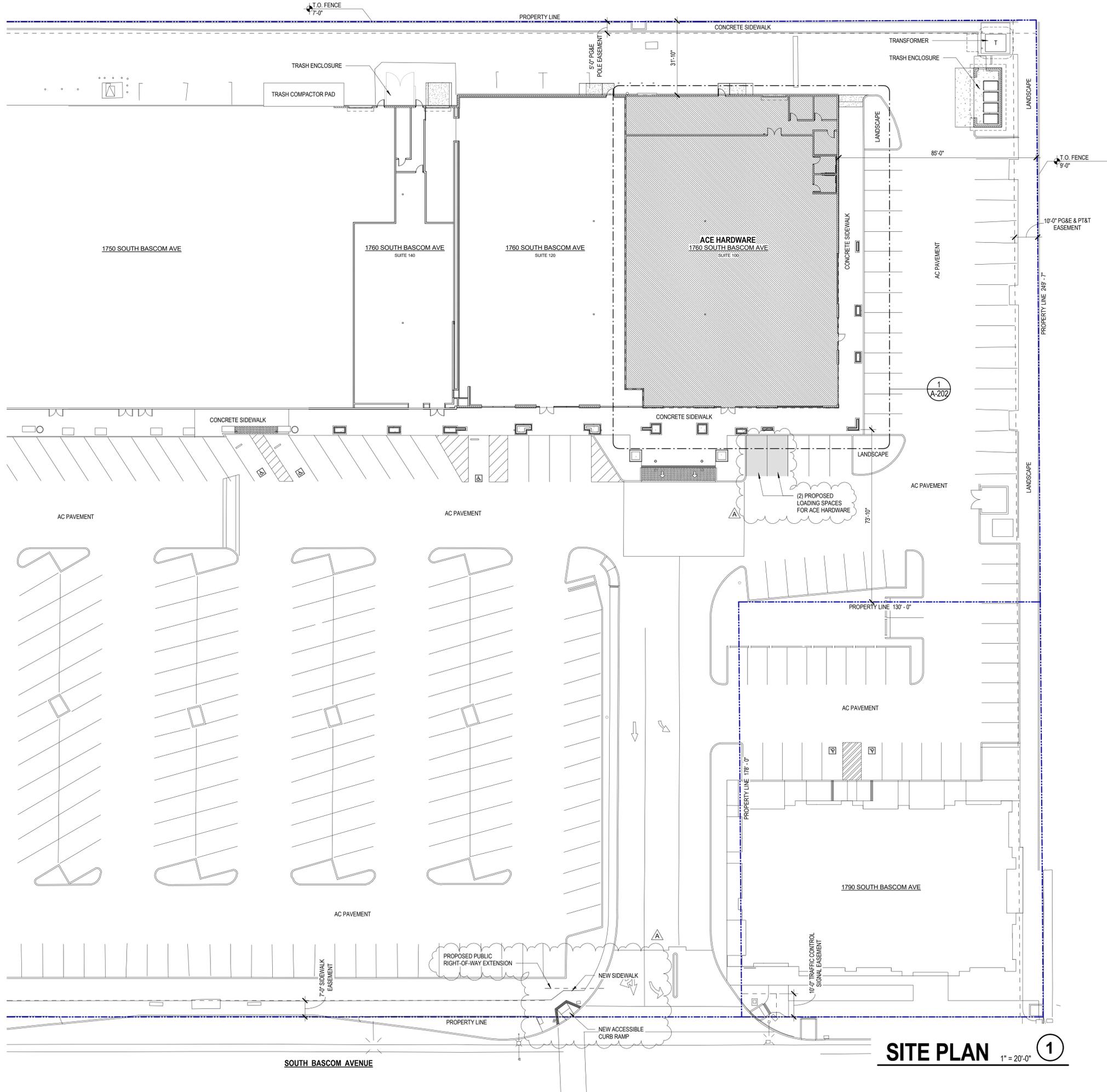


| DRAWING SUBMITTAL SCHEDULE | |
|----------------------------------|------------|
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FIRE ACCESS / ACCESSIBILITY / SIGNAGE SITE PLAN 1" = 20'-0" ①





LEGEND

| | |
|------------------------|---|
| T | TRANSFORMER/PAD |
| AP | ACCESSIBLE PARKING SIGN |
| AVP | ACCESSIBLE VAN PARKING SIGN |
| AA | ACCESSIBLE ACCESS SIGN |
| S | STOP SIGN |
| TA | ACCESSIBLE ACCESS SYMBOL |
| PG | PIPE GUARD / BOLLARD |
| UP | UTILITY POLE |
| (Symbol: Ramp) | ACCESSIBLE RAMP. DASHED RAMP ARE N.I.C. |
| (Symbol: Arrows) | WHITE PAINTED TRAFFIC DIRECTION ARROWS TYPICAL |
| BUILDING ID 2000 SF | BUILDING IDENTIFICATION DESIGNATION |
| (Symbol: Hatched) | NO PARKING ZONE |
| (Symbol: Dotted) | TENANT SPACE SUBJECT TO LAND USE CHANGE APPLICATION |

GENERAL NOTES

KEYNOTES

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| DRAWING SUBMITTAL SCHEDULE | |
|----------------------------------|------------|
| C.U.P. APPLICATION | 08/02/2021 |
| A C.U.P. APPLICATION RESUBMITTAL | 09/15/2021 |

PROJECT NO. 21945-L-01

PARTIAL SITE PLAN

A-101

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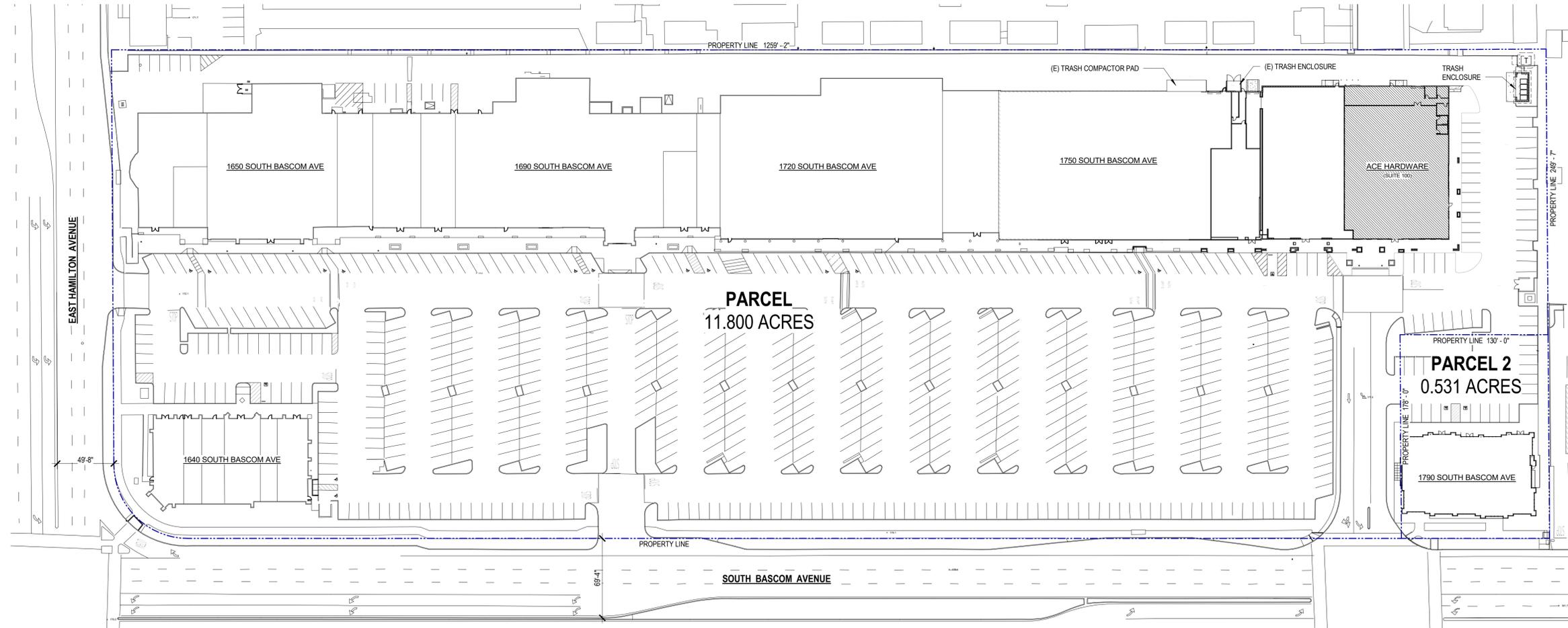
DRAWING SUBMITTAL SCHEDULE

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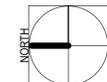
SCHEMATIC SITE PLAN

A-102



SCHEMATIC SITE PLAN

1" = 50'-0" **1**

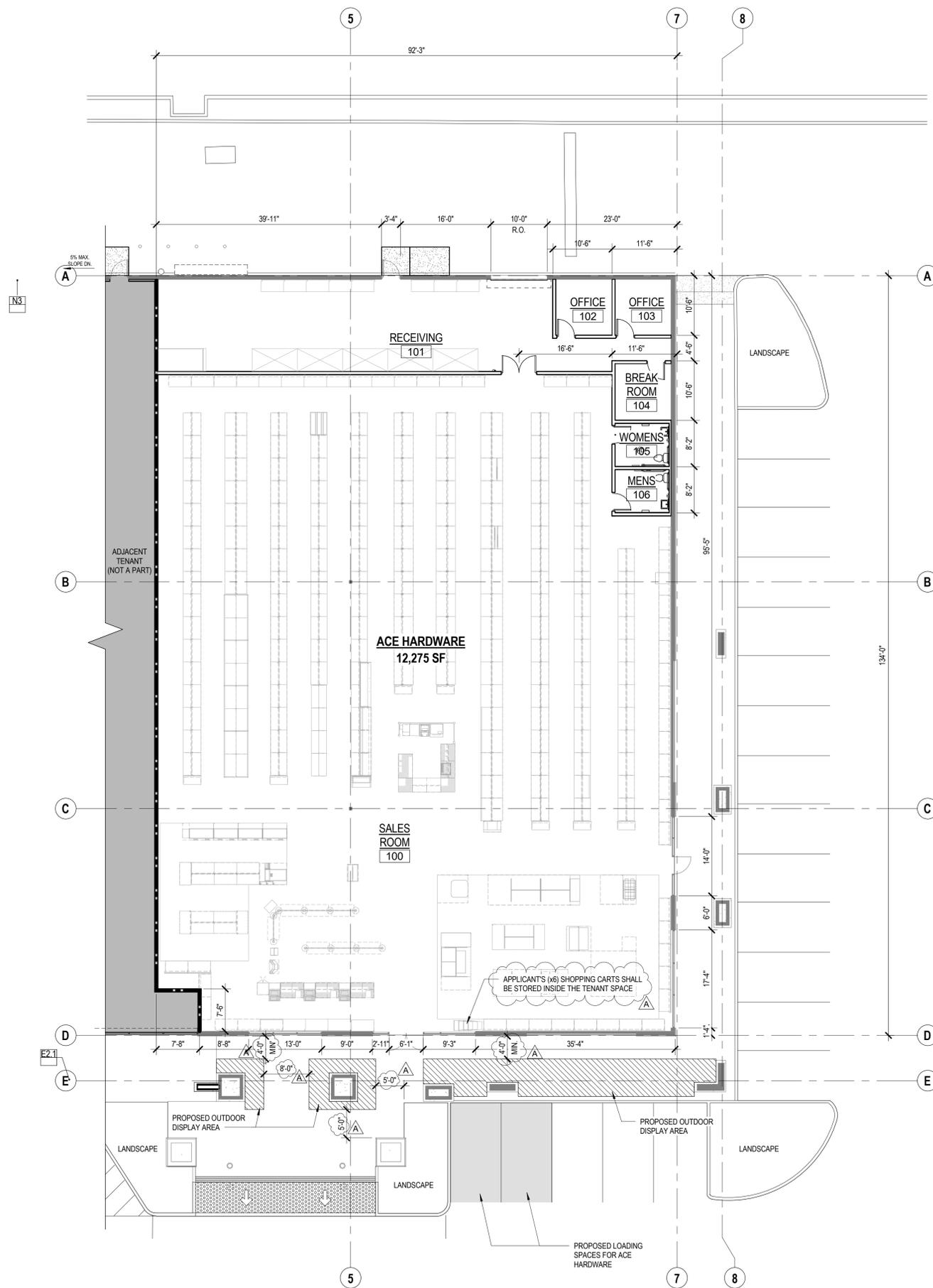


PARKING SUMMARY (BOTH PARCELS)

| | EXISTING | PROPOSED |
|---------------------|------------|------------|
| STANDARD PARKING: | 673 | 673 |
| ACCESSIBLE PARKING: | 18 | 18 |
| TOTAL: | 691 | 691 |

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SUITE 100 IMPROVEMENT PLAN 3/32" = 1'-0" 1

LEGEND

- WALL TO BE REMOVED
- DOOR TO BE REMOVED
- (E) WALL TO REMAIN
- (E) 1 HR RATED WALL TO REMAIN
- (N) WALL, SEE SHEET A-111 WALL TYPES
- (N) 1 HR RATED WALL, SEE SHEET A-111 WALL TYPES
- (N) DOOR, SEE SHEET A-501 DOOR/WINDOW SCHEDULE
- ACE HARDWARE OUTDOOR DISPLAY AREA
- AREA NOT SUBJECT TO APPLICATION

- GENERAL NOTES**
1. SEE CIVIL DRAWINGS FOR FLOOR SLAB ELEVATION.
 2. DOOR FRAMES LOCATED NEAR ADJACENT WALLS OR CASEWORK TO BE 4" FROM INSIDE CORNER, OR TO NEAREST BLOCK MODULE AT CMU WALLS, U.N.O.
 3. COORDINATE AND CONFIRM EXACT LOCATIONS OF ALL FLOOR MOUNTED OUTLETS PRIOR TO CONCRETE PLACEMENT. SEE ELECT.
 4. FOR TYPICAL WALL FRAMING DETAILS, SEE STRUCTURAL DRAWINGS.
 5. ALL WALL DIMENSIONS ARE TO FACE OF STUD U.O.N.
 6. FLOOR SLAB TO BE FLAT AND MEASURED WITH A LASER, TRANSIT OR WATER-LEVEL IN A 10' GRID WITH NO DEVIATION GREATER THAN 1/8". MEASUREMENTS SHALL BE TAKEN TO ENSURE THAT THE ENTIRE SLAB AREA CONFORMS TO THESE REQUIREMENTS; MINIMUM OVERALL VALUES OF FLATNESS, F(F) 35, AND LEVELNESS, F(L) 25 WITH MINIMUM LOCAL VALUES OF FLATNESS, F(F) 24 AND LEVELNESS, F(L) 17; LL SHALL VERIFY FLATNESS AND LEVELNESS USING ASTM E1155, STANDARD TEST METHOD FOR DETERMINING FF FLOOR FLATNESS AND FL FLOOR LEVELNESS NUMBERS.
 7. FLOOR SLAB: CONTRACTOR TO PROVIDE ARDEX IF LEVELING AGENT IS REQUIRED TO ACHIEVE TENANT REQUIREMENTS.
 - (i) ARDEX MUST BE APPLIED BY A CERTIFIED ARDEX INSTALLER
 - (ii) AN ARDEX REPRESENTATIVE MUST DELIVER TO TENANT A LETTER ON ARDEX LETTERHEAD APPROVING THE INSTALLATION OF THE ARDEX LEVELING AGENT PERFORMED BY THE ARDEX INSTALLER AT THE PREMISES.
 8. MOISTURE TESTING IN THE SLAB SHALL BE COORDINATED WITH THE TENANT PRIOR TO ARDEX BEING INSTALLED TO ENSURE IF MOISTURE BARRIER IS REQUIRED.
 9. PER CBC 2029, SECTION 402.4.2.1, TENANT SEPARATION EACH TENANT SHALL BE SEPARATED FROM OTHER TENANT SPACES BY A FIRE PARTITION COMPLYING WITH SECTION 708.
 - SECTION 708.3 FIRE RESISTANCE RATING SHALL BE NO LESS THAN 1HR.

KEYNOTES

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PROJECT NO. 21945-L-01

SUITE 100 FLOOR PLAN

A-202



1



2



3



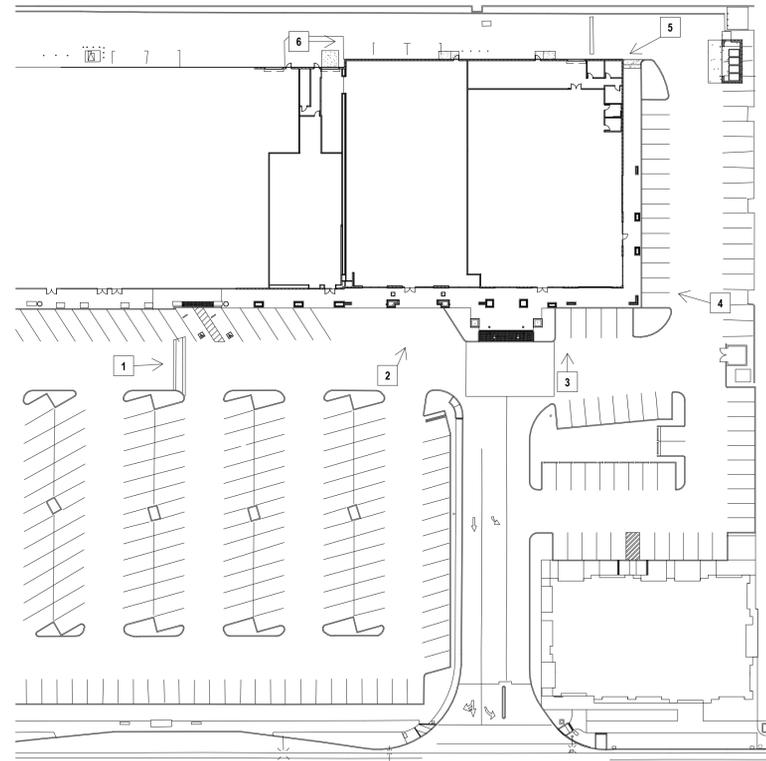
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5



6



KEY PLAN
SCALE:
1" = 50'-0"

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**HAMILTON
PLAZA**

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PROJECT NO. 21945-L-01

SITE PHOTOS

A-301