



CITY OF CAMPBELL
Community Development Department

November 30, 2021

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 20-28 Railway Avenue

Zoning District: Planned Development (P-D) / SOCA

Neighborhood Association(s): N/A

File No.: PLN-2021-199

APN: 412-09-009

Applicant: Civil Engineering Associates (CEA)

Property Owner: Clinton L & Michele D Ralls

Application Type: Administrative Planned Development Permit

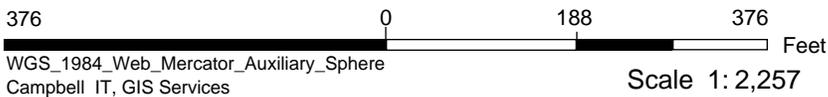
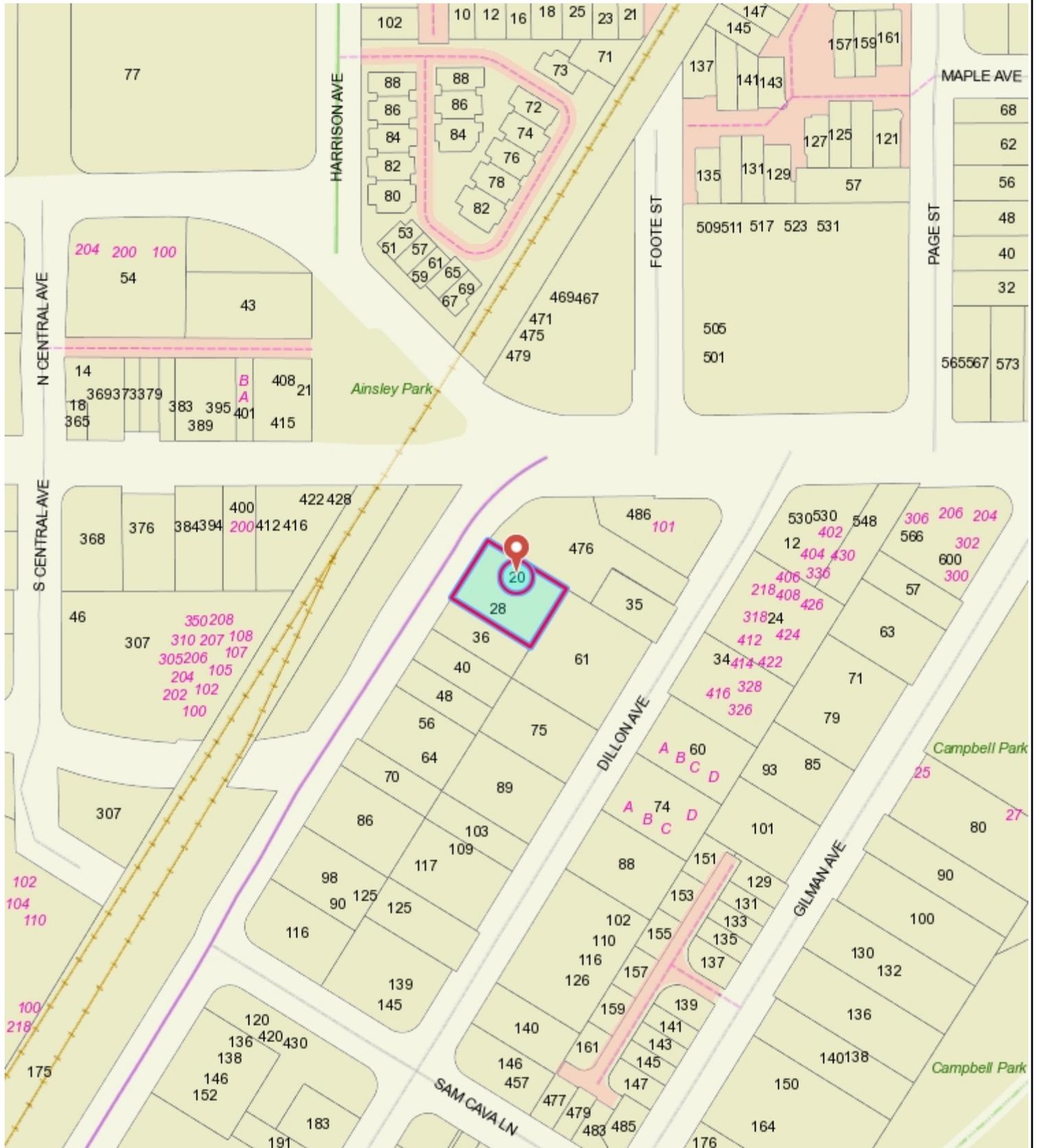
Project Description: Proposed change of use from a motor vehicle sales office to professional office.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on November 30, 2021 and ends on December 10, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 10, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.



Location Map - 20-28 Railway Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



**Civil
Engineering
Associates**

2055 Gateway Place
Suite 550
San Jose, CA 95110
Phone: (408) 453-1066
Fax: (408) 453-1060

October 29, 2021

21-149

City of Campbell
Community Development Department
70 North First Street
Campbell, CA 95008

**SUBJECT: Project Description: 20-28 Railway Avenue
Campbell, CA 95008
REQUEST FOR ADMIN PD PERMIT TO ALLOW PROFESSIONAL OFFICE**

To Whom It May Concern,

This letter is being provided to request that the existing buildings at 20-28 Railway be granted an Administrative PD Permit to allow Professional Office use. We are currently in contract to purchase the above referenced buildings which are currently being used for high end used car sales.

CEA has been working in the south Bay Area since 1983 and has done a number of projects within the City of Campbell limits. We have primarily rented office space in San Jose along the North First Street corridor; however, over the past few years we have looked into buying a building for the company. We recently came across the 20-28 Railway site and felt it is was a strong fit for our company.

Having our company located in downtown would allow our staff to utilize the many amenities downtown Campbell has to offer and being close to light rail would allow our staff to utilize mass transportation to commute to the office. It would also allow us

We look forward to discussing any questions the City might have and ultimately to the potential to move our company into our proposed new home in Campbell.

If you have any questions, please contact me directly.

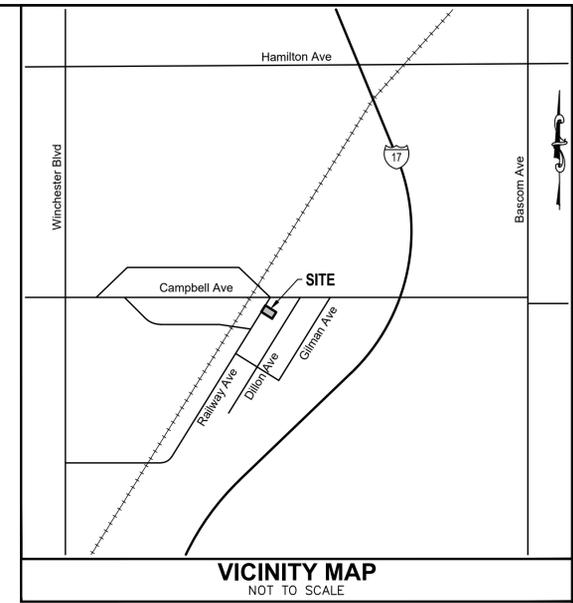
Thank you,

John Gaylord
President

cc: CEA file

20-28 RAILWAY AVENUE

CAMPBELL CALIFORNIA



NO.	DATE	REVISIONS	BY

2055 Colmaey Place
Suite 550
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T: (408) 453-1066

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SHEET INDEX

- C1 COVER SHEET
- C2 SITE PHOTOGRAPHY SHEET
- C3 EXISTING CONDITION PLAN
- C4 SITE PLAN
- C5 ACCESSIBILITY PLAN
- C6 FLOOR PLANS

SCOPE

MODIFY EXISTING USE OF THE TWO EXISTING STRUCTURES TO ALLOW OFFICE USE.

STATEMENT AND TABLES

<u>SITE DATA</u>	
SITE ADDRESS	20-28 RAILWAY AVENUE
ASSESSOR'S PARCEL NUMBER:	412-09-009
EXISTING ZONING DISTRICT:	P-D (PLANNED DEVELOPMENT)
EXISTING GP DESIGNATION:	GENERAL COMMERCIAL
SITE AREA:	0.190± ACRES
EXISTING BUILDING COVERAGE	3,750± SF
EXISTING PAVING COVERAGE	4,090± SF
EXISTING LANDSCAPE COVERAGE	390± SF

LEGEND

- BOUNDARY LINE
- - - RIGHT-OF-WAY
- LOT LINE

20-28 RAILWAY AVENUE
ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT
COVER SHEET
CAMPBELL CALIFORNIA

DATE	2021-10-11
SCALE	-
DESIGNED	JG
DRAWN	CH
JOB NO.	21149
SHEET	C1

1 OF 6 SHEETS



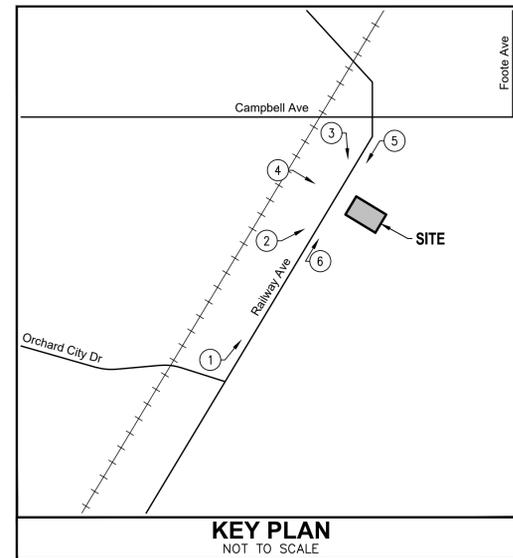
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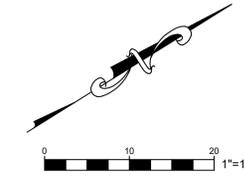
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PREPARED FOR:

20-28 RAILWAY AVENUE
ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT
SITE PHOTOGRAPHY SHEET
CAMPBELL CALIFORNIA

DATE	2021-10-11
SCALE	-
DESIGNED	JG
DRAWN	CH
JOB NO.	21149
SHEET	C2



LEGEND

EXISTING	DESCRIPTION
---	BOUNDARY
---	PROPERTY LINE
---	CENTER LINE
---	CURB, GUTTER, SIDEWALK & DRIVEWAY
○	FIRE HYDRANT
○	POWER POLE
○	ELECTROLIER
4	SIGN

ABBREVIATIONS

BLDG	BUILDING
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
COR	CORNER
ELEC	ELECTRICAL
FH	FIRE HYDRANT
LT	LIGHT
MH	MANHOLE
PP	POWER POLE
SS	SANITARY SEWER
SD	STORM DRAIN
STLT	STREET LIGHT
TBR	TO BE TRMOVED
UTIL	UTILITY
WM	WATER METER
WT	WATER
WV	WATER VALVE
WF	WOOD FENCE

NO.	DATE	REVISIONS	BY

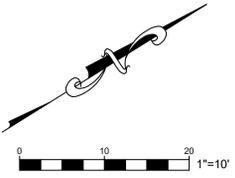
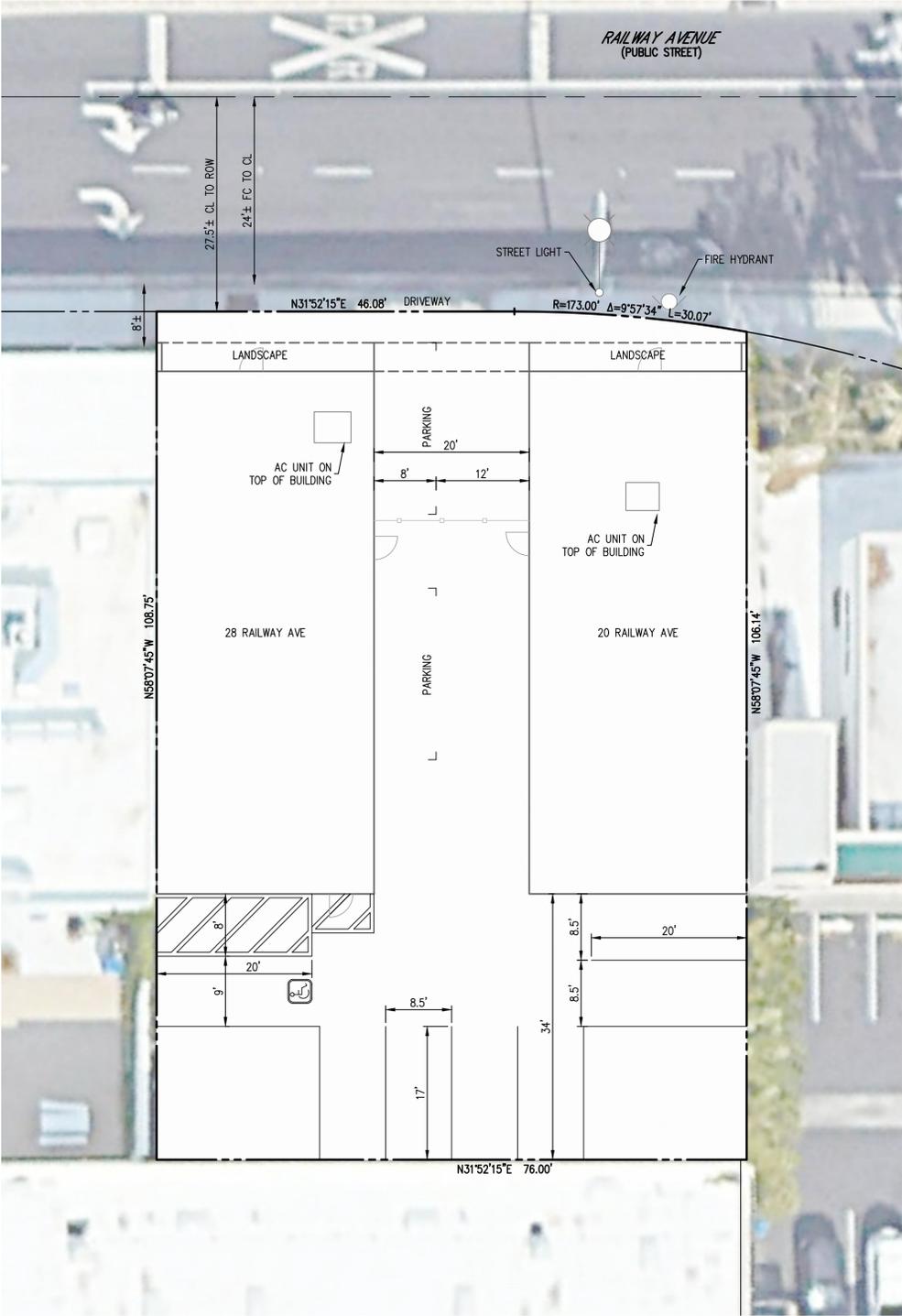
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20-28 RAILWAY AVENUE
ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT
EXISTING CONDITION PLAN
CAMPBELL CALIFORNIA

DATE	2021-10-11
SCALE	1"=10'
DESIGNED	JG
DRAWN	CH
JOB NO.	21149



LEGEND

- BOUNDARY LINE
- - - - RIGHT-OF-WAY
- LOT LINE
- - - - CENTER LINE
- - - - MONUMENT LINE

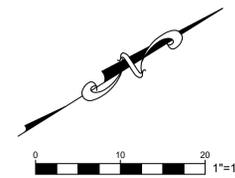
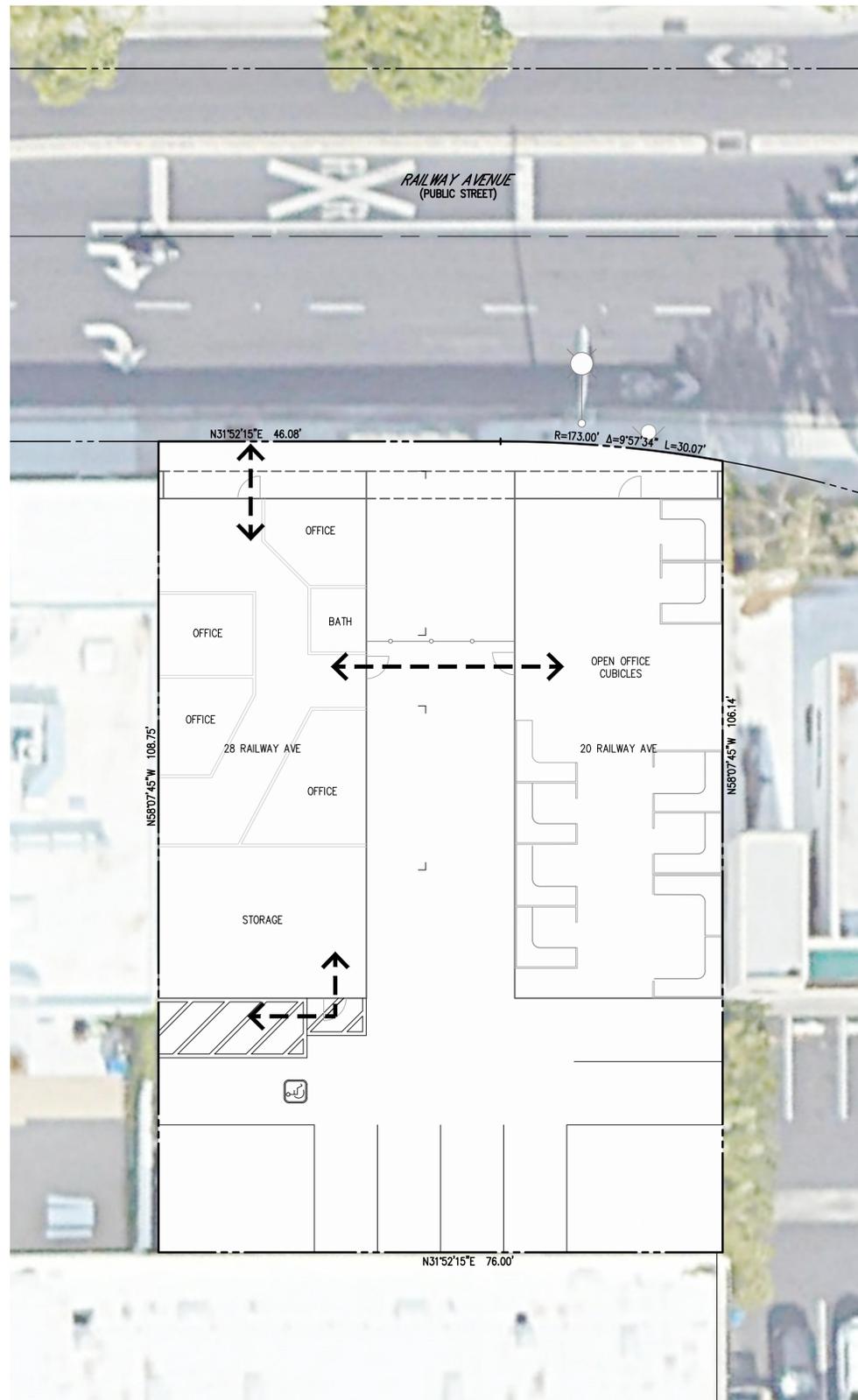
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20-28 RAILWAY AVENUE
ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT
SITE PLAN
CAMPBELL CALIFORNIA

DATE	2021-10-11
SCALE	1"=10'
DESIGNED	JG
DRAWN	CH
JOB NO.	21149
SHEET	C4



LEGEND

- BOUNDARY LINE
- - - - - RIGHT-OF-WAY
- LOT LINE
- CENTER LINE
- ← - - - - - ACCESSIBLE PATH

NOTE

ALL INTERNAL BUILDINGS AREAS ARE ACCESSIBLE TO ALL WORK AREAS, COMMUN SPACES, INCLUDING BATHROOM

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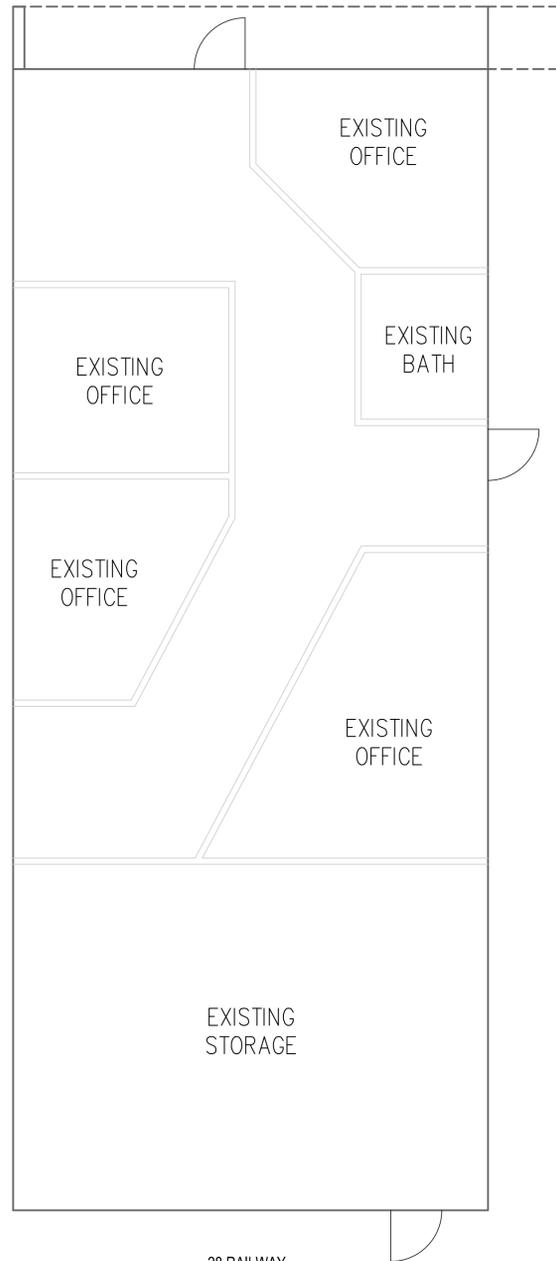
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20-28 RAILWAY AVENUE ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT
ACCESSIBILITY PLAN
 CAMPBELL CALIFORNIA

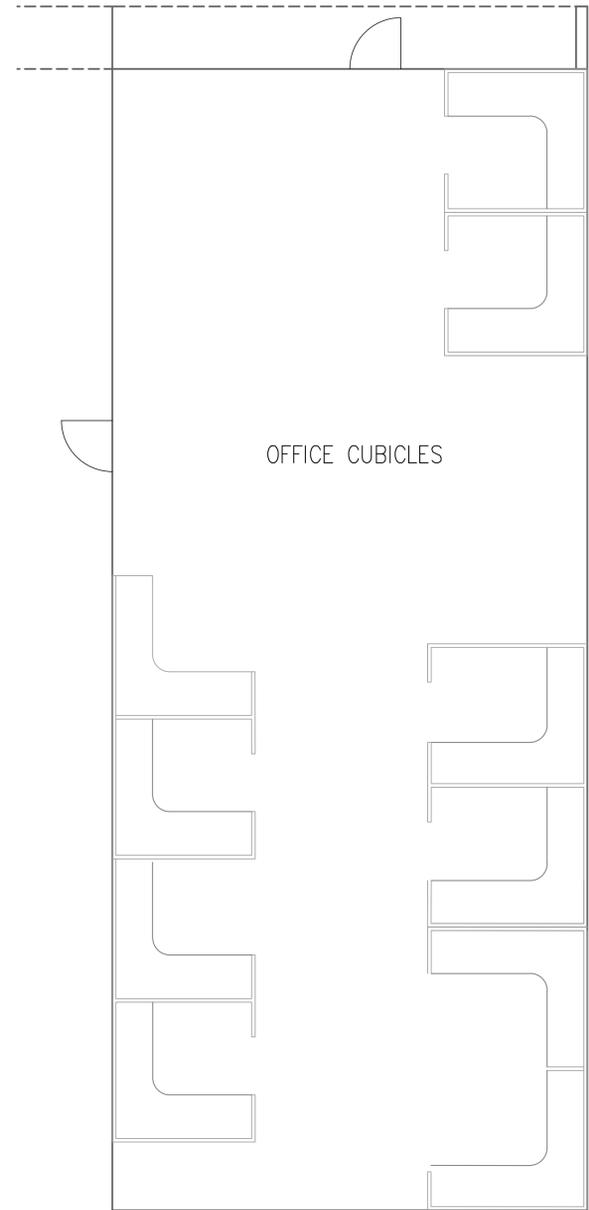
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JOB NO.	21149

SHEET
C5
 5 OF 6 SHEETS



28 RAILWAY
 (EXISTING FLOOR PLAN TO REMAIN)
 SCALE: 1" = 5'

FLOOR PLAN NOTE:
 EXISTING CONFIGURATIONS OF THE INTERIOR FLOOR PLANS ARE
 BASED UPON APPROXIMATE CALCULATIONS AND DIMENSIONS.



20 RAILWAY
 (EXISTING FLOOR PLAN IS CURRENTLY OPEN SHELL)
 SCALE: 1" = 5'

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ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT
FLOOR PLANS
 CALIFORNIA
 CAMPBELL

DATE	2021-10-11
SCALE	-
DESIGNED	JG
DRAWN	CH
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SHEET
C6
 6 OF 6 SHEETS