



CITY OF CAMPBELL
Community Development Department

COURTESY NOTICE OF NEW PLANNING APPLICATION

March 17, 2022

Dear Campbell Resident,

The following provides a brief description of a proposed project in your neighborhood. As a courtesy notice, this letter is intended to provide members of the public an early opportunity to become engaged in the planning process. If you should have any questions about the project, the contact information of the Project Planner has been provided below. Alternatively, you may visit the Planning Division to view the project plans. Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

Project Address: 1265 Burrows Rd.

Zoning | Area Plan: R-1-10 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-24

APN: 403-16-096

Applicant: TDDG LLC

Property Owner: Burrowsrd LLC

Application Type: Tentative Parcel Map and Site and Architectural Review Permit

Project Description: Tentative Parcel Map to subdivide an existing parcel into two parcels and Site and Architectural Review Permit for construction of a new single-family dwelling.



Project Planner: Tracy Tam, Associate Planner

Email Contact: tracyt@campbellca.gov

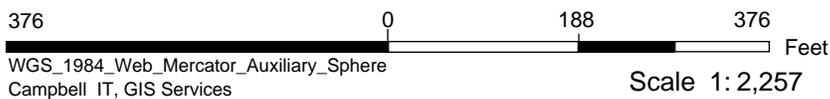
Phone Contact: (408) 871-5103

Note: This is a courtesy notice to all property owners within 300-feet of the project address. Applications may change after initial application submittal. To view the project plans, please scan the QR code:

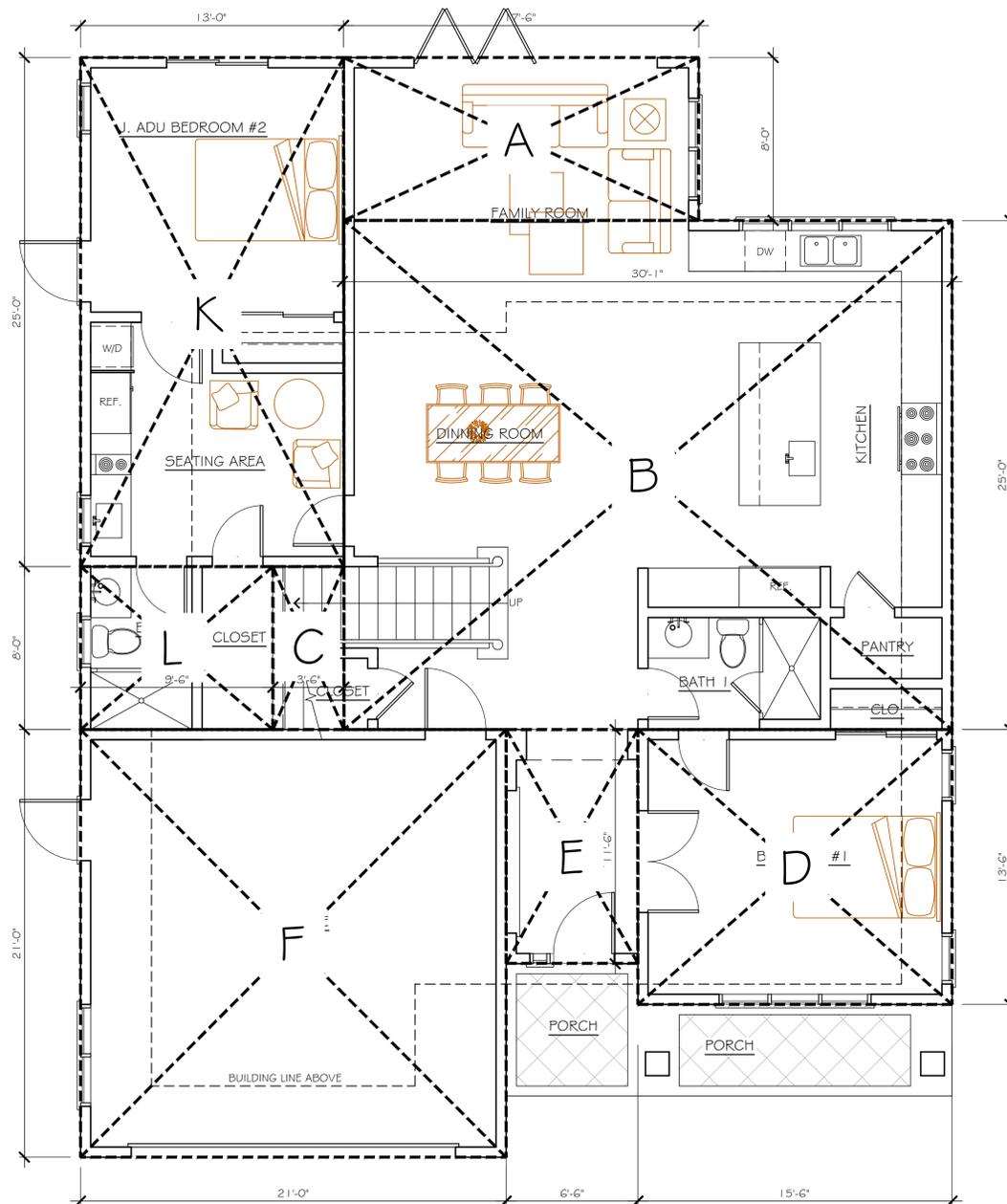




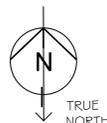
Location Map 1265 Burrows Rd



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



FIRST FLOOR AREA DIAGRAM - PARCEL 2
SCALE: 1/4"=1'-0"



FIRST FLOOR LIVING AREA (MAIN HOUSE):

A	17'-6" x 8'-0"	=	140.00 SF
B	30'-1" x 25'-0"	=	750.00 SF
C	3'-6" x 8'-0"	=	28.00 SF
D	15'-6" x 13'-6"	=	209.25 SF
E	6'-6" x 11'-6"	=	75.00 SF
TOTAL:		=	1,202.25 SF

SECOND FLOOR LIVING AREA:

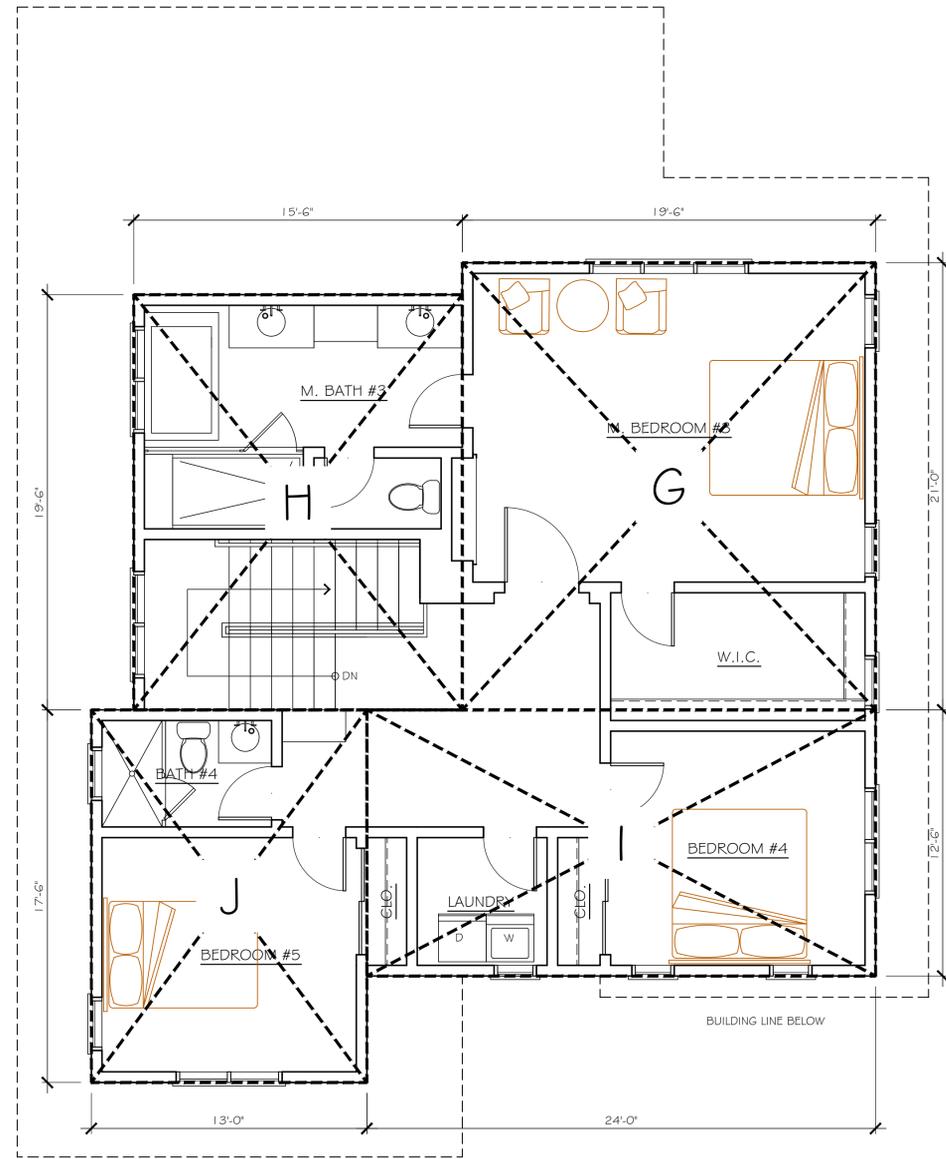
G	19'-6" x 21'-0"	=	409.50 SF
H	15'-6" x 19'-6"	=	302.25 SF
J	24'-0" x 12'-6"	=	300.00 SF
I	13'-0" x 17'-6"	=	227.50 SF
TOTAL:		=	1,239.25 SF

GARAGE

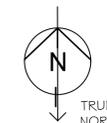
F	21'-0" x 21'-0"	=	441.00 SF
TOTAL GARAGE:		=	441.00 SF
PORCH			112.00 SF

FIRST FLOOR LIVING AREA (JADU):

K	13'-0" x 25'-0"	=	325.00 SF
L	9'-6" x 8'-0"	=	76.00 SF
TOTAL:		=	401.00 SF



SECOND FLOOR AREA DIAGRAM - PARCEL 2
SCALE: 1/4"=1'-0"



MAIN HOUSE:	
FIRST FLOOR LIVING AREA:	= 1,202.25 SF
SECOND FLOOR LIVING AREA:	= 1,239.25 SF
TOTAL HATBITABLE AREA:	= 2,441.50 SF
GARAGE:	= 441.00 SF
MAIN HOUSE TOTAL FLOOR AREA:	= 2,882.50 SF
JADU FLOOR AREA:	401.00 SF
TOTAL FLOOR AREA:	= 3,283.50 SF

LOT AREA:	= 13,247 SF
F.A.R.(MAIN HOUSE + ADU):	3,284/13,247 = 24.8%
LOT COVERAGE:	
FIRST FLOOR LIVING AREA (MAIN HOUSE + ADU)	= 1,603.25 SF
GARAGE:	= 441.00 SF
PORCH:	= 112.00 SF
TOTAL :	= 2,156.25 SF
2,156/13,247 =	16.3%

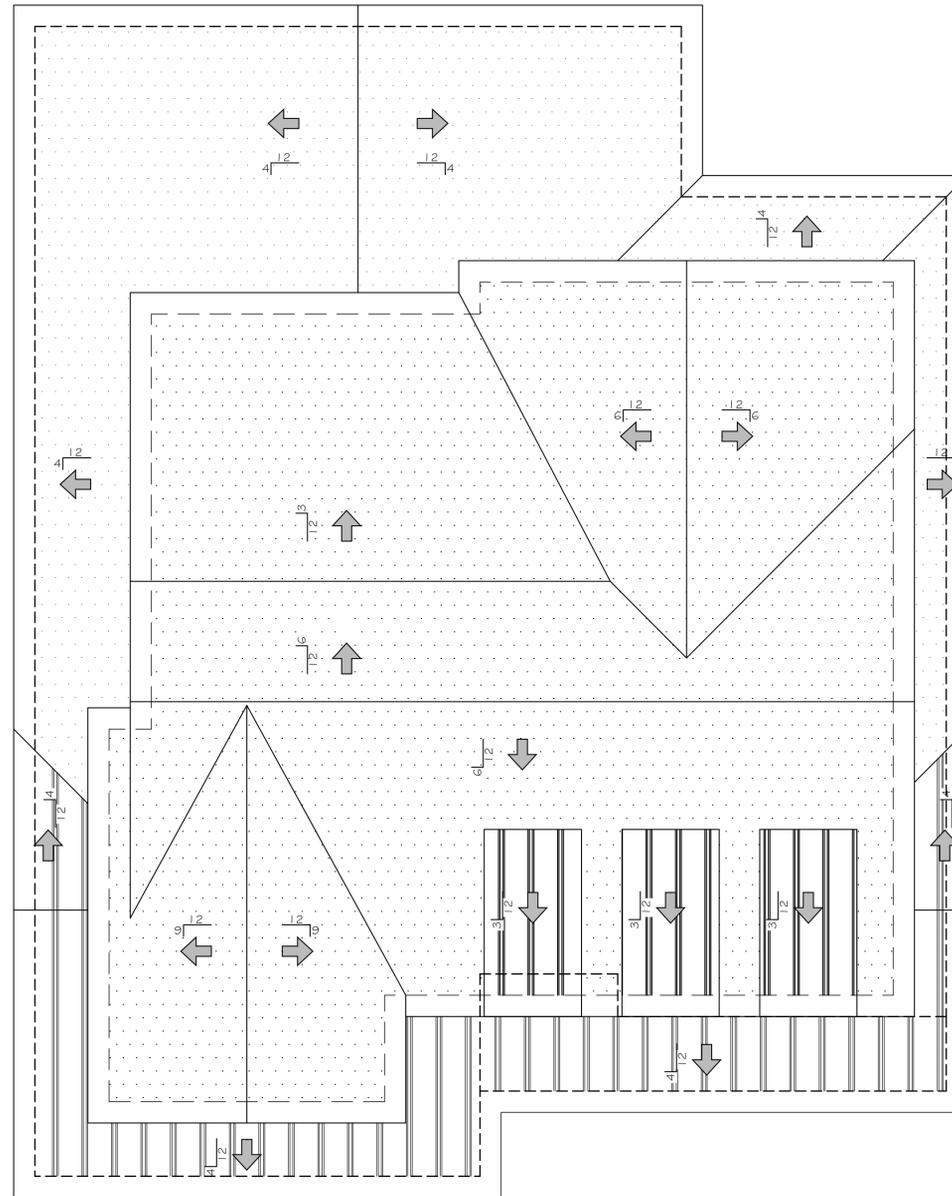
PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

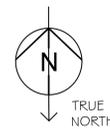
NO.	DATE	REVISION

Project Name:
LOT SUBDIVISION & NEW CONSTRUCTION
1265 BURROWS ROAD
CAMPBELL, CA

DATE:	11/01/21	Sheet Number:
JOB NO.:	2021-23	FAR
SCALE:	AS SHOWN	
DRAWN BY:	MP	
Project No.: 2021		



ROOF PLAN - PARCEL 2
 SCALE: 1/4"=1'-0"



PROJECT DESIGNER:
 DE NGUYEN

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NO.	DATE	REVISION

Project Name:
**LOT SUBDIVISION &
 NEW CONSTRUCTION**
 1265 BURROWS ROAD
 CAMPBELL, CA

DATE:	11/01/21	Sheet Number:
JOB NO.:	2021-23	A6
SCALE:	AS SHOWN	
DRAWN BY:	MP	
Project No.:		2021

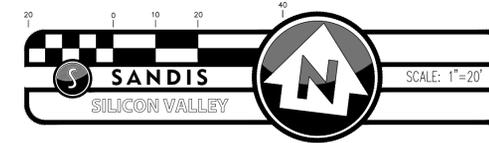
TENTATIVE PARCEL MAP

TWO LOT SUBDIVISION

THE LAND REFERRED TO IS SITUATED IN THE CITY OF CAMPBELL, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, RECORDED IN DOC. NO. 24970111 OFFICIAL RECORDS

CITY OF CAMPBELL COUNTY OF SANTA CLARA CALIFORNIA

FEBRUARY 2022



VICINITY MAP
N.T.S.

LEGEND

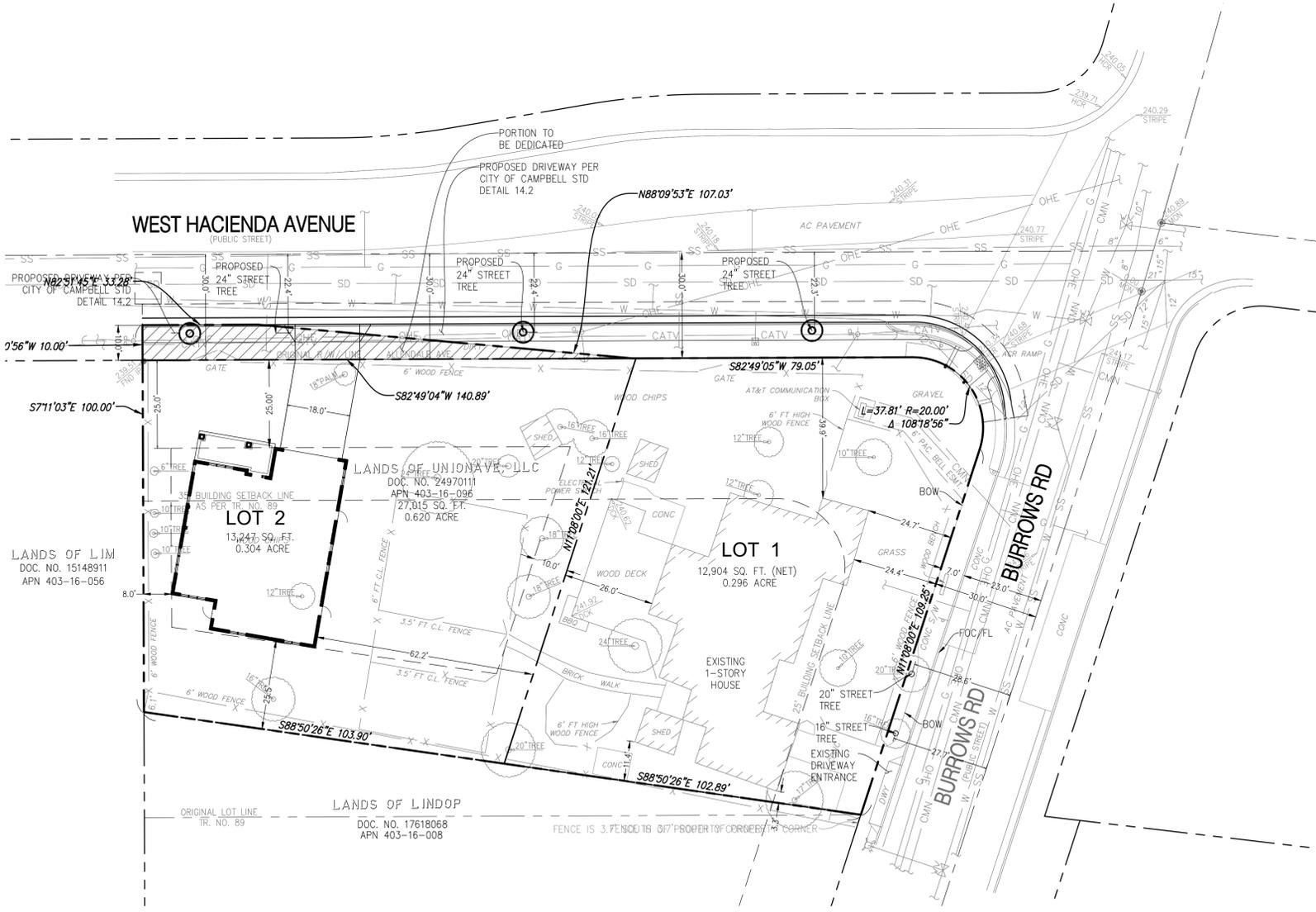
- BUILDING LINE
- CENTERLINE
- CURB LINE
- EASEMENT LINE
- EXISTING FENCE LINE
- PROPOSED 6' REDWOOD FENCE LINE
- PROPOSED WHITE PICKET FENCE LINE
- PROPERTY LINE
- PROPOSED PROPERTY LINE
- OTHER PROPERTY LINE
- SETBACK LINES

GENERAL NOTES

- OWNER:
UNIONAVE LLC
2066 THE ALAMEDA
SAN JOSE, CA 95126
- CIVIL ENGINEER:
SANDIS CIVIL ENGINEERS AND SURVEYORS
1700 WINCHESTER BLVD, SUITE 200
CAMPBELL, CA 95008
TEL: (408) 636-0900
FAX: (408) 636-0999
- EXISTING ZONING: R-1-10
- EXISTING APN: 403-16-096
- EXISTING USE: SINGLE FAMILY RESIDENTIAL
- PROPOSED USE: THREE SINGLE FAMILY DETACHED HOMES
- EXISTING BUILDINGS: SINGLE FAMILY RESIDENCE
- GENERAL PLAN: LOW DENSITY RESIDENTIAL
- STREETS: NO PROPOSED STREET MODIFICATIONS
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL SINGLE FAMILY
- WATER: SAN JOSE WATER COMPANY
- FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPARTMENT
- SANITARY SEWER: WEST VALLEY SANITATION DISTRICT
- POWER & GAS: PACIFIC GAS & ELECTRIC
- TELEPHONE: AT&T
- CABLE: AT&T
- SCHOOL DISTRICT: CAMPBELL UNIFIED SCHOOL DISTRICT
- AREA TO BE SUBDIVIDED: 26,150 SQ.FT. (0.60 ACRES) INTO 3 LOTS
- EXISTING WELLS: NONE
- NO NEW STREET NAMES
- ALL LOT CORNERS WITHIN A SUBDIVISION SHALL BE MARKED BY SETTING A THREE-FOURTHS INCH GALVANIZED STEEL PIPE TWO FEET LONG APPROXIMATELY SIX INCHES BELOW FINISHED GRADE.

AREA TABULATION

LOT 1 = 12,904.02± S.F. OR 0.296 AC.
LOT 2 = 13,247.50± S.F. OR 0.304 AC.
DEDICATION = 863.77± S.F. OR 0.020 AC.
TOTAL = 27,013.95 S.F. OR 0.620 AC.



AREA SUMMARY

PARCEL NUMBER	NET LOT AREA (S.F.)
LOT 1	12,904
LOT 2	13,247
TOTAL	26,151

DEVELOPMENT DATA

	SQUARE FEET			PERCENT OF AREA		
	EXISTING	NEW	TOTAL	EXISTING	NEW	TOTAL
BUILDING	2,760	2,246	5,006	10.6%	8.59%	19.14%
LANDSCAPE	21,671	0	18,934	82.9%	0.00%	72.40%
PAVING	1,720	491	2,211	6.6%	1.88%	8.45%

BENCHMARK

THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON CITY OF CAMPBELL BENCH MARK NO. 3, WHICH IS SANTA CLARA VALLEY WATER DISTRICT BENCHMARK BM616. THE MARK IS A 2 1/4" BRASS DISK IN THE TOP OF CURB, AT POLLACK ROAD & MORE AVENUE, SOUTHEAST CORNER AT EAST END OF CURB RETURN. ELEVATION 280.78, CITY OF CAMPBELL DATUM. ELEVATION WAS TRANSFERRED TO THE SITE USING DATA OBTAINED BY GPS OBSERVATION.

BASIS OF BEARING NOTE

THE BEARING OF NORTH 11°08'00" EAST BETWEEN FOUND MONUMENTS ON THE CENTERLINE OF BURROWS ROAD, AS SHOWN ON THE RECORD OF SURVEY FILED ON APRIL 2, 2012 IN BOOK 851 OF MAPS, AT PAGE 39, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SURVEY NOTES

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- DATES OF FIELD SURVEY: 11/12/2018

DEVELOPMENT STANDARDS FOR ZONE R-1-10

MIN. LOT WIDTH	80 FT
MIN. LOT SIZE	10,000 SF
MIN. FRONT YARD SETBACK	25 FT
MIN. REAR SETBACK	25 FT
MIN. SIDE SETBACK	A. At least one side yard shall be the greater of 10' or sixty percent of the height of the building wall adjacent to the property line. B. The other side yard shall be the greater of eight feet or sixty percent of the height of the building wall adjacent to the property line. C. The side yard setbacks for legally created lots with a lot width less than 60' shall be the greater of five feet or one-half the height of the building wall adjacent to the property line. D. A minimum street side yard setback of 12' shall be provided on corner lots.
DENSITY	3.5 UNITS/GROSS ACRE
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM FLOOR AREA	0.45

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DATE: 02-22-2022
SCALE: AS SHOWN
DRAWN BY: SPP
APPROVED BY: SY
DRAWING NO.: 218485
DATE: FEBRUARY 22, 2022
CHAD J. BROWNING
R.C.E. NO. 68315, EXPIRES 9-30-23



No.	REVISION/ISSUE	DATE	BY

TENTATIVE PARCEL MAP

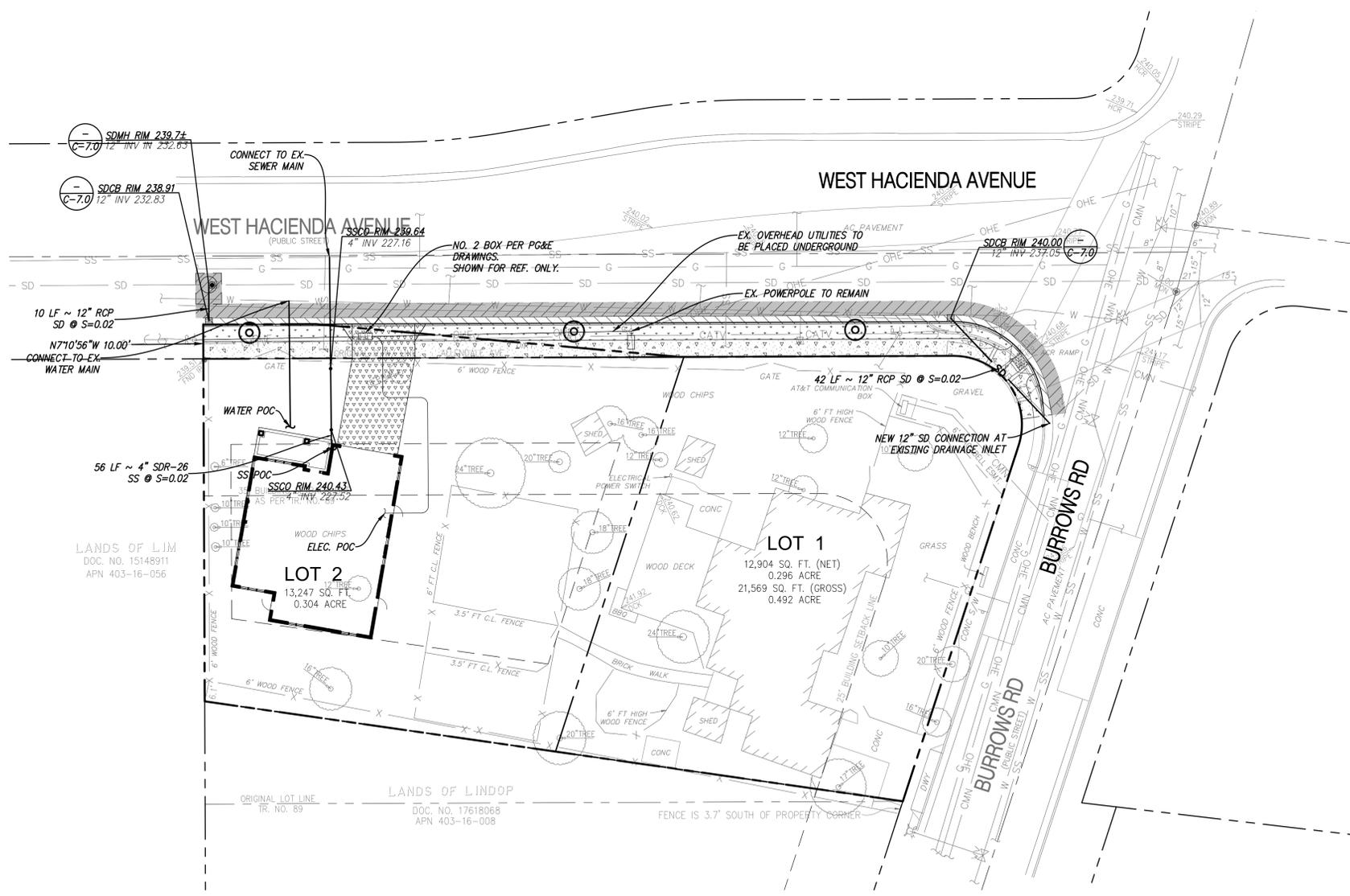
1265 BURROWS ROAD
CAMPBELL CALIFORNIA

SHEET
T-1
1 OF 4 SHEETS

- LEGEND**
- NEW CITY OF CAMPBELL SIDEWALK WITH NEW CURB AND GUTTER
 - NEW CITY OF CAMPBELL DRIVEWAY
 - ASPHALT CONCRETE TRENCH RESTORATION PER CITY OF CAMPBELL STANDARD & CURB & GUTTER ASPHALT PAVING CONFORM
 - PROPOSED PROPERTY LINE
 - SETBACK LINES

STORMWATER MANAGEMENT NOTE
 SITE AND APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS AND THE CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.

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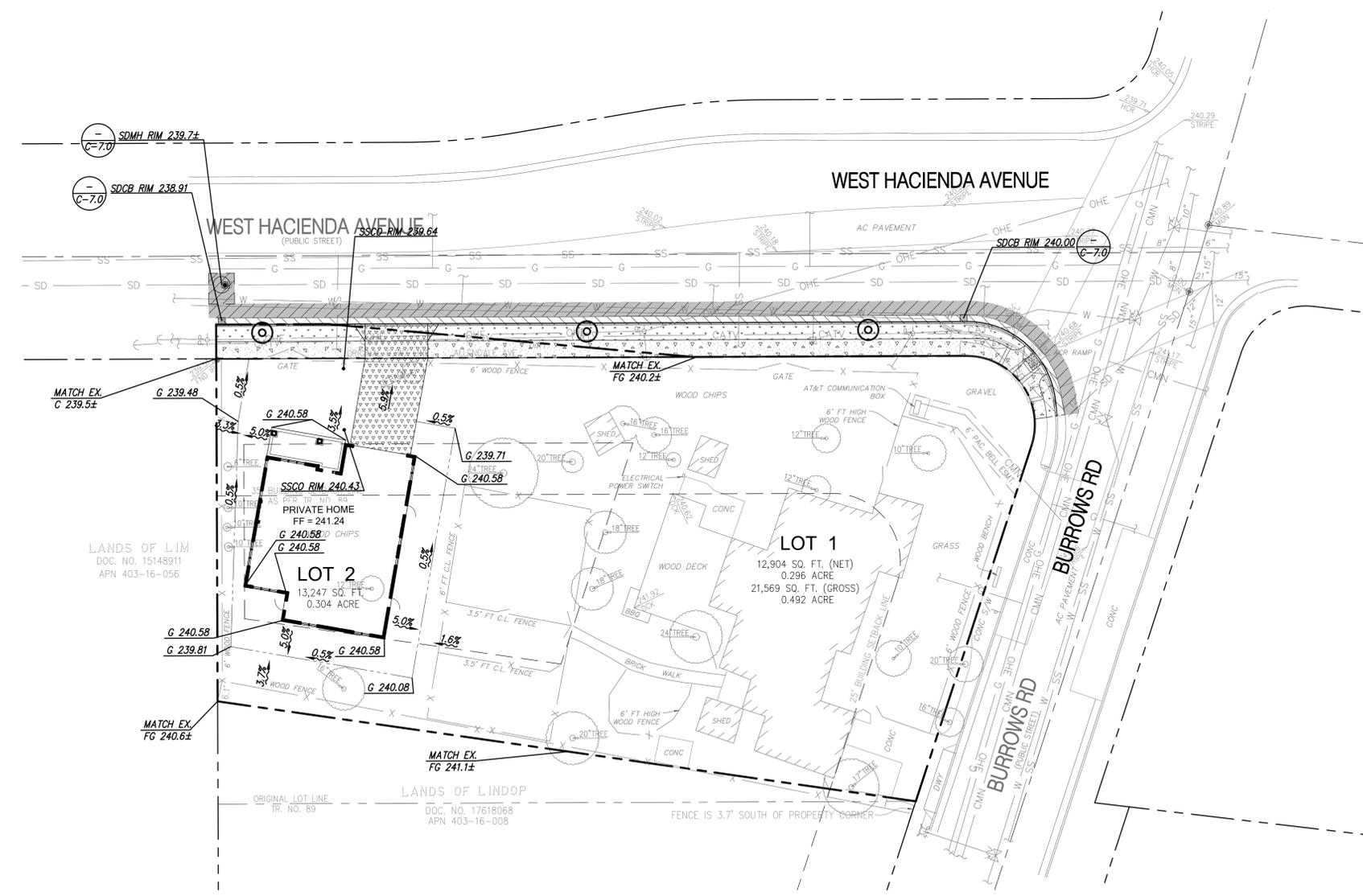
SCHEMATIC UTILITY PLAN

1265 BURROWS ROAD
CAMPBELL CALIFORNIA

SHEET
T-2
2 OF 4 SHEETS

LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - SAWCUT LINE
- - - FLOW LINE
- AC PAVEMENT (XX XXXX)
- DEEP LIFT (XX XXXX)
- CITY CURB & GUTTER (XX XXXX)
- CONCRETE DRIVEWAY (XX XXXX)
- CITY CONCRETE SIDEWALK (XX XXXX)
- PLANTING



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DRAWN BY: SPP	
APPROVED BY: SY	
DRAWING NO: 218485	CHAD J. BROWNING R.C.E. NO. 68315, EXPIRES 9-30-23



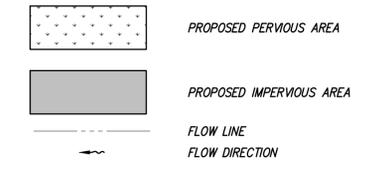
No.	REVISION/ISSUE	DATE	BY

SCHEMATIC GRADING AND DRAINAGE PLAN

1265 BURROWS ROAD
CAMPBELL CALIFORNIA

SHEET
T-3
3 OF 4 SHEETS

STORMWATER MANAGEMENT PLAN LEGEND



BMP Summary Table - 1265 Burrows Road						
Drainage Area	TOTAL AREA		IMPERVIOUS AREA		PERVIOUS AREA	
	sq. ft.	Ac.	sq. ft.	Ac.	sq. ft.	Ac.
DMA-1 (Lot 1)	12,904	0.30	4,623	0.11	8,281	0.19
DMA-2 (Lot 2)	13,247	0.30	2,739	0.06	10,508	0.24
TOTAL	26,151	0.60	7,362	0.17	18,789	0.43
						28.2%

HYDROMODIFICATION NOTE:

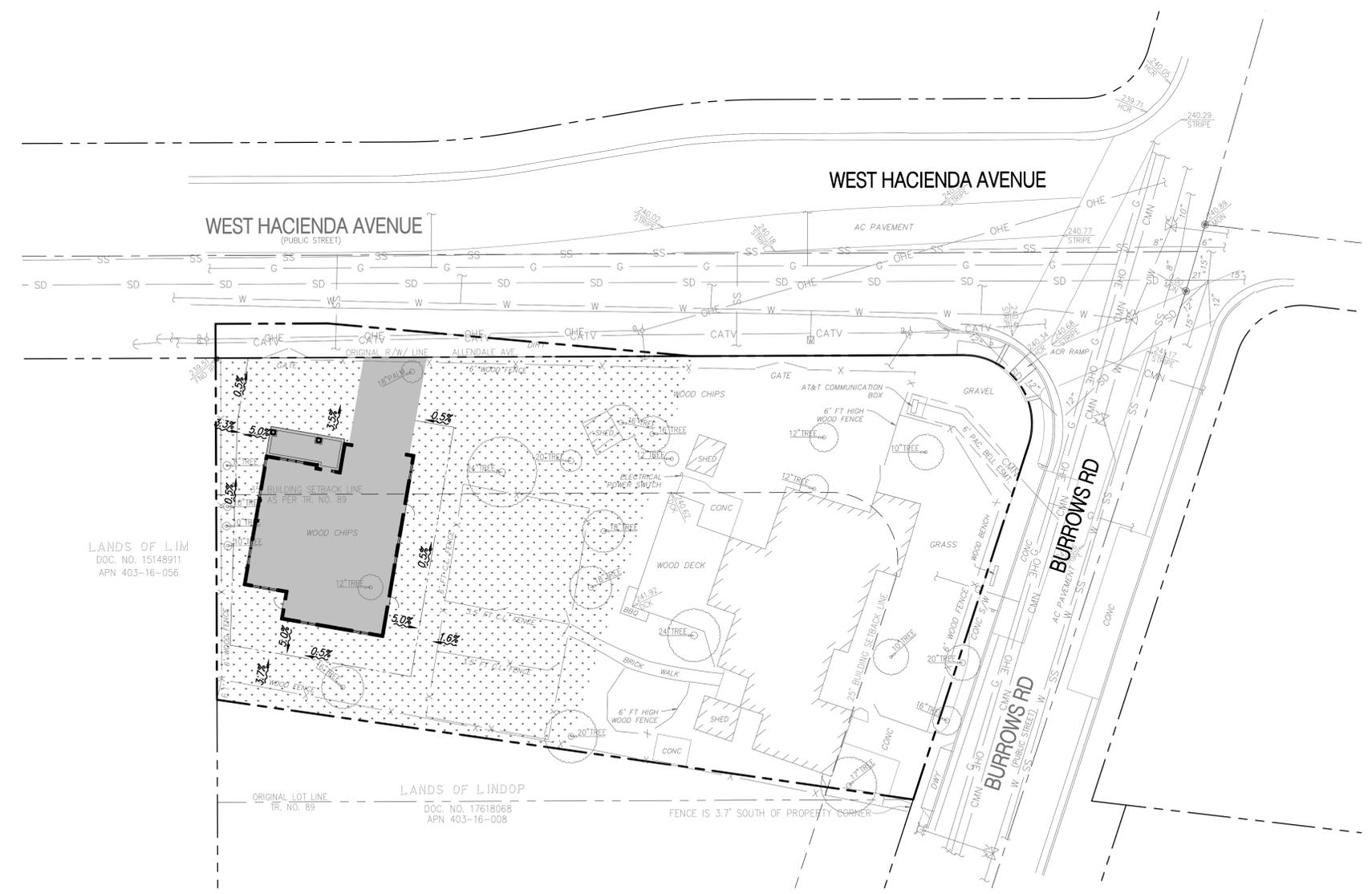
THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE SANTA CLARA C.3 TECHNICAL GUIDANCE DOCUMENT. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION DUE TO IMPERVIOUS AREA ADDED OR REPLACED BEING LESS THAN 1 ACRE.

SITE TREATMENT AREA NOTE:

THIS PROJECT IS NOT REPLACING MORE THAN 50% OF THE EXISTING IMPERVIOUS AREA AND THEREFORE MUST TREAT ONLY THE AREA THAT IS REDEVELOPED.

STORMWATER MANAGEMENT NOTES:

- THIS PLAN PRESENTS METHODS AND CALCULATIONS FOR COMPLYING WITH THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT IN ACCORDANCE WITH THE SANTA CLARA COUNTY PROGRAM AND THE CITY OF CAMPBELL REQUIREMENTS.
- THE FOLLOWING TREATMENT MEASURES ARE PROPOSED TO REGULATE THE QUALITY OF STORM WATER LEAVING THE SITE
 - SELF-TREATING AREA - RUNOFF IN THIS AREA ORIGINATES IN AND FLOWS THROUGH PLANTING PRIOR TO EXITING THE PROJECT SITE, NO TREATMENT IS REQUIRED
 - SELF-RETAINING AREA - RUNOFF IN THIS AREA IS DIRECTED TO A DEPRESSED LANDSCAPE AREA THAT ALLOWS WATER TO POND TO 3" PRIOR TO LEAVING THE SITE. NO SPECIAL LANDSCAPING OR SOILS ARE REQUIRED



LANDS OF LIM
DOC. NO. 15148911
APN 403-16-056

LANDS OF LINDOP
DOC. NO. 17618066
APN 403-16-008

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SCALE	AS SHOWN		
DRAWN BY	SPP		
APPROVED BY	SY		
DRAWING NO.	218485	CHAD J. BROWNING	R.C.E. NO. 68315, EXPIRES 9-30-23

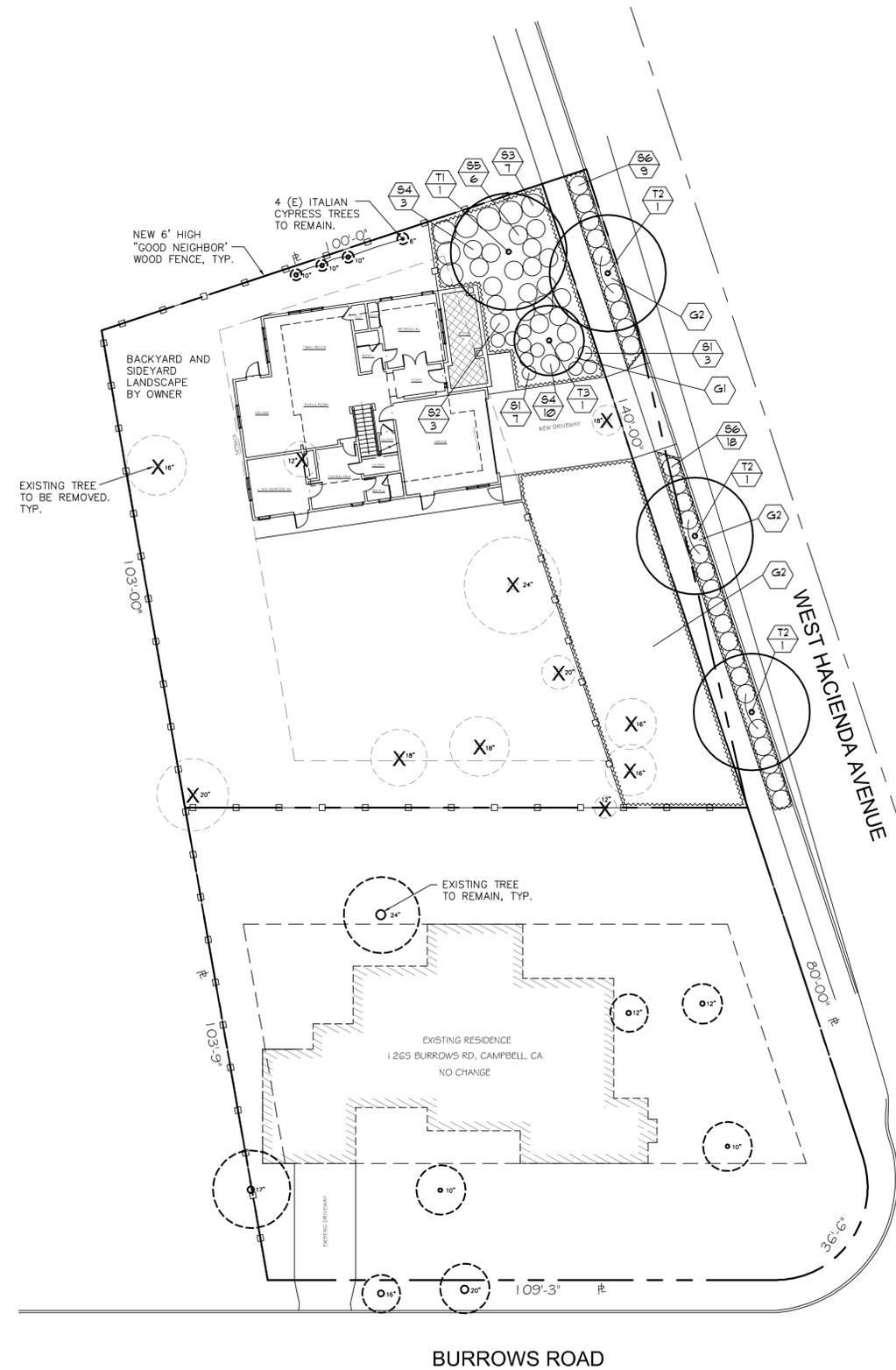


No.	REVISION/ISSUE	DATE	BY

SCHEMATIC POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

1265 BURROWS ROAD CAMPBELL CALIFORNIA

SHEET
T-4
4 OF 4 SHEETS



PLANT LEGEND

⬡ S1 \ INDICATES PLANT KEY
 3 / INDICATES PLANT QUANTITY

KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
TREES				
T1	PISTACIA CHINENSIS ————— CHINESE PISTACHE	24' BOX	1	
T2	PLATANUS ACERIFOLIA 'COLUMBIA' — LONDON PLANE TREE	15' G.C.	3	STREET TREE
T3	ARBUTUS 'MARINA' ————— N.C.N.	15' G.C.	1	STANDARD FORM
SHRUBS AND PERENNIALS				
S1	LAVANDULA A. 'HIDCOTE SUPERIOR' — ENGLISH LAVENDER	1' G.C.	10	
S2	PHORMIUM T. 'APRICOT QUEEN' — NEW ZEALAND FLAX	5' G.C.	3	
S3	XYLOSMA CONGESTUM ————— N.C.N.	5' G.C.	1	
S4	VIBURNUM TINUS 'SPRING BOUQUET' — LAURUSTINUS	5' G.C.	13	
S5	RAPHIOLEPIS I. 'DANCER' ————— INDIA HAWTHORN	5' G.C.	6	
S6	COTONEASTER D. 'LOUFAST' ————— BEARBERRY COTONEASTER	5' G.C.	21	
GROUND COVERS				
G1	DYMONDIA MARGARATAE ————— N.C.N.	FLATS	AS REQ.	SPACE TRI. @ 12' O.C.
G2	BARK MULCH, MEDIUM GRIND 'WALK-ON' BARK	MED.	AS REQ.	3' DEPTH

NOTES

1. AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL FORMALLY LANDSCAPED AREAS CONFORMING TO STATE AND LOCAL AND LOCAL WATER CONSERVATION AND 'WEO' REQUIREMENTS.

NO.	DATE	REVISIONS

1265 BURROWS ROAD
 CAMPBELL, CA 95008

WILSON & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 815 SAN DIEGO ROAD • BERKELEY, CA 94707
 PH: 510-644-9602 • E: cwilsond15@gmail.com

LANDSCAPE PLANTING PLAN

BY: CW
 JOB:
 DATE: 02-14-22

L1.0
 SH. ____ OF ____
 REVISIONS



SCALE: 1/16" = 1'-0"