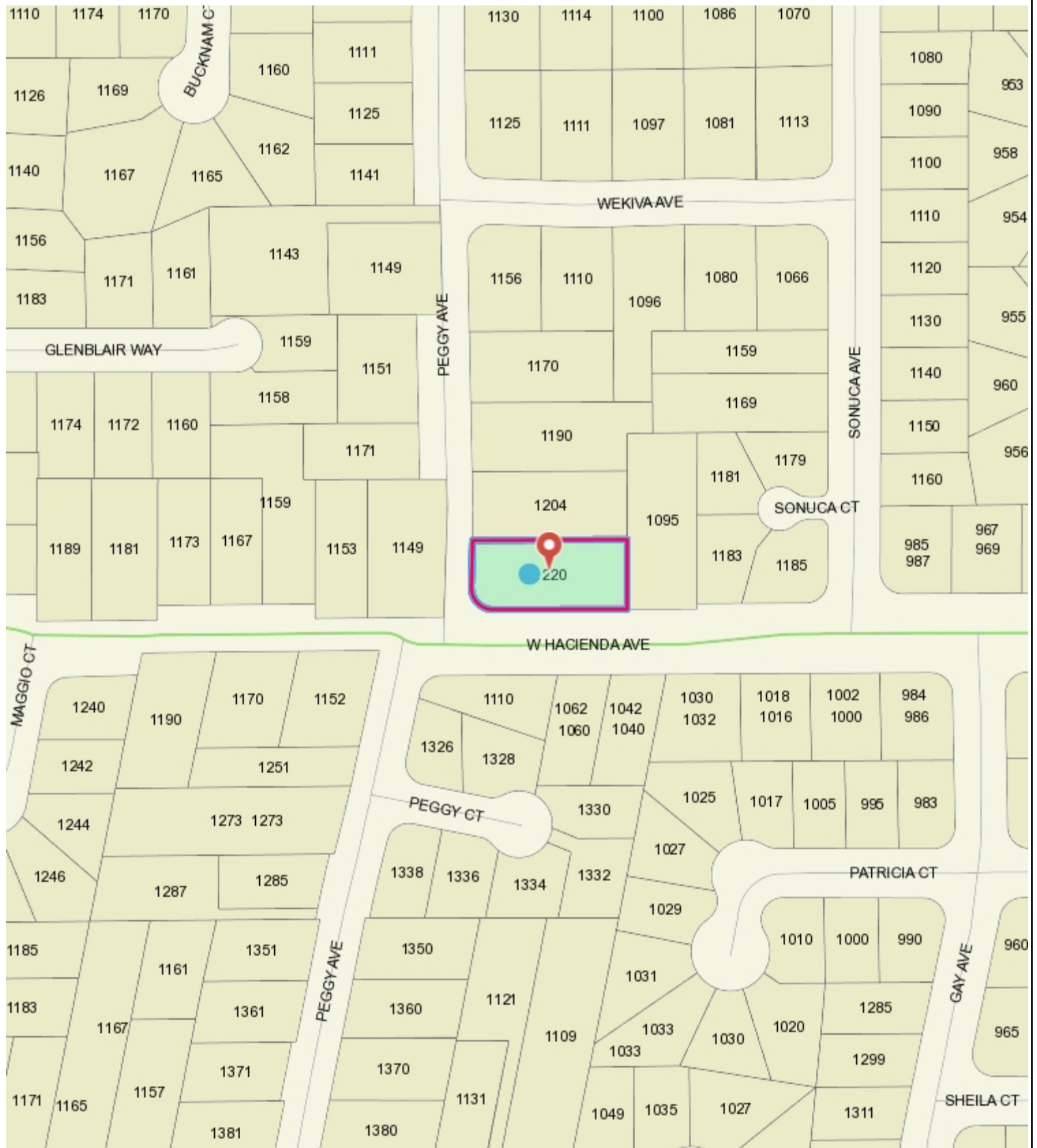




Location Map 1220 Peggy Avenue

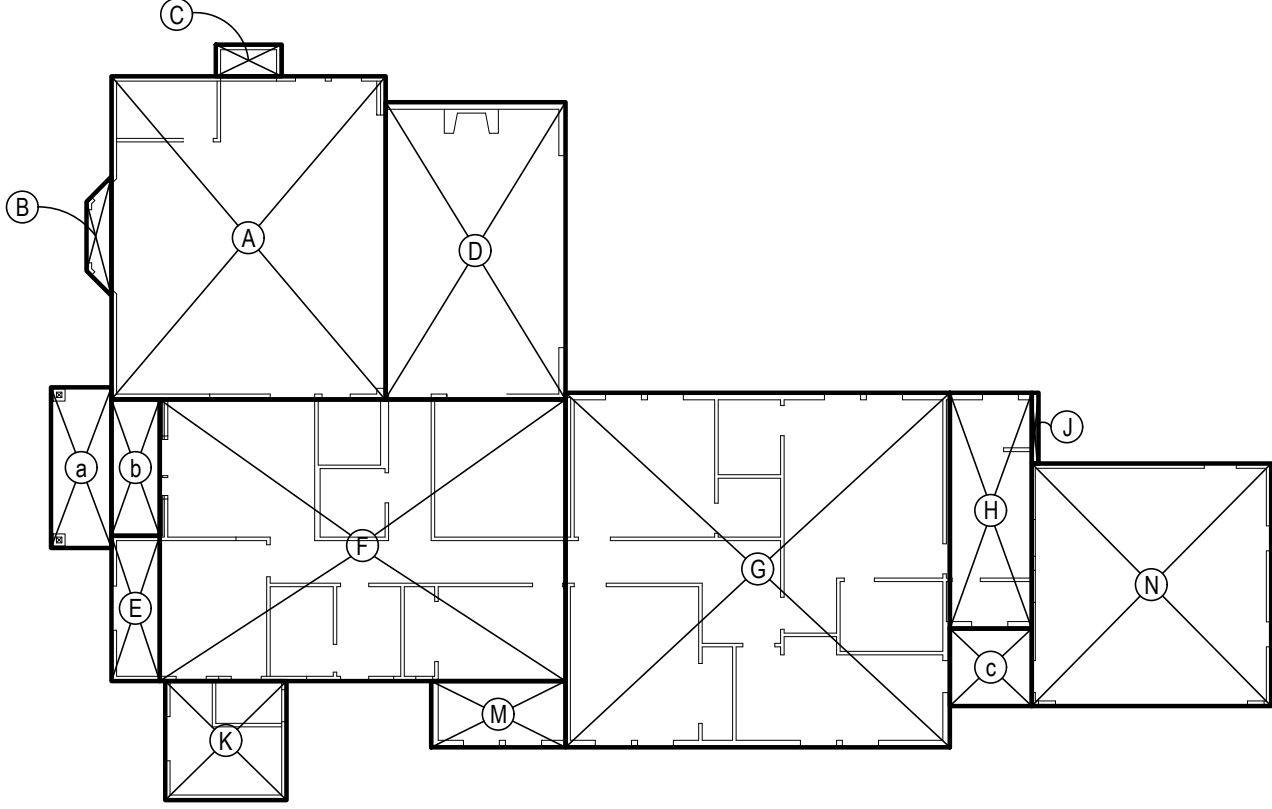


376 0 188 376 Feet
WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services
Scale 1: 2,257

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

FLOOR AREA DIAGRAM

FLOOR AREA CALCULATIONS		
AREA	DIMENSIONS	SF
MAIN HOUSE		
A	22' - 10" x 26' - 11"	615
B	2' - 1" x 7' - 11"	16
C	5' - 6" x 2' - 7"	14
D	15' - 0" x 24' - 19"	371
E	4' - 0" x 12' - 1"	48
F	33' - 10" x 23' - 6"	795
G	32' - 0" x 29' - 8"	950
H	6' - 10" x 19' - 9"	135
J	0' - 7" x 6' - 0"	3.5
K	10' - 0" x 10' - 0"	100
M	11' - 2" x 5' - 6"	61
SUB TOTAL	3,109	
N (GARAGE)	19' - 11" x 20' - 2"	406
SUB TOTAL	406	
TOTAL FLOOR AREA		3,515
COVERED PORCHES		
a	5' - 0" x 13' - 5"	67.5
b	4' - 3" x 11' - 4"	48.5
c	6' - 10" x 6' - 6"	44
TOTAL		160

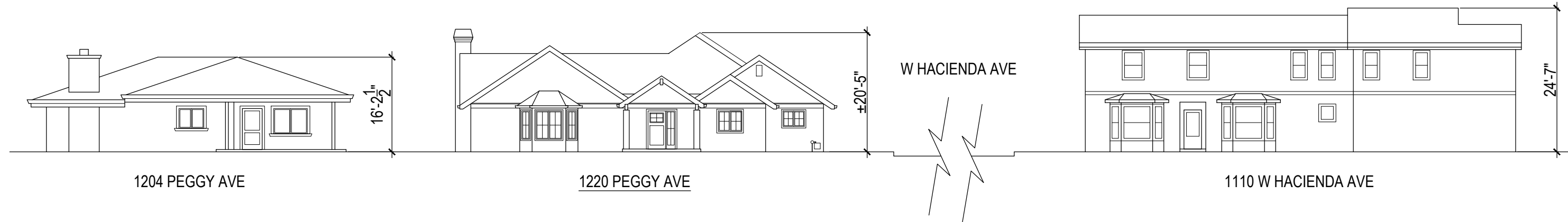
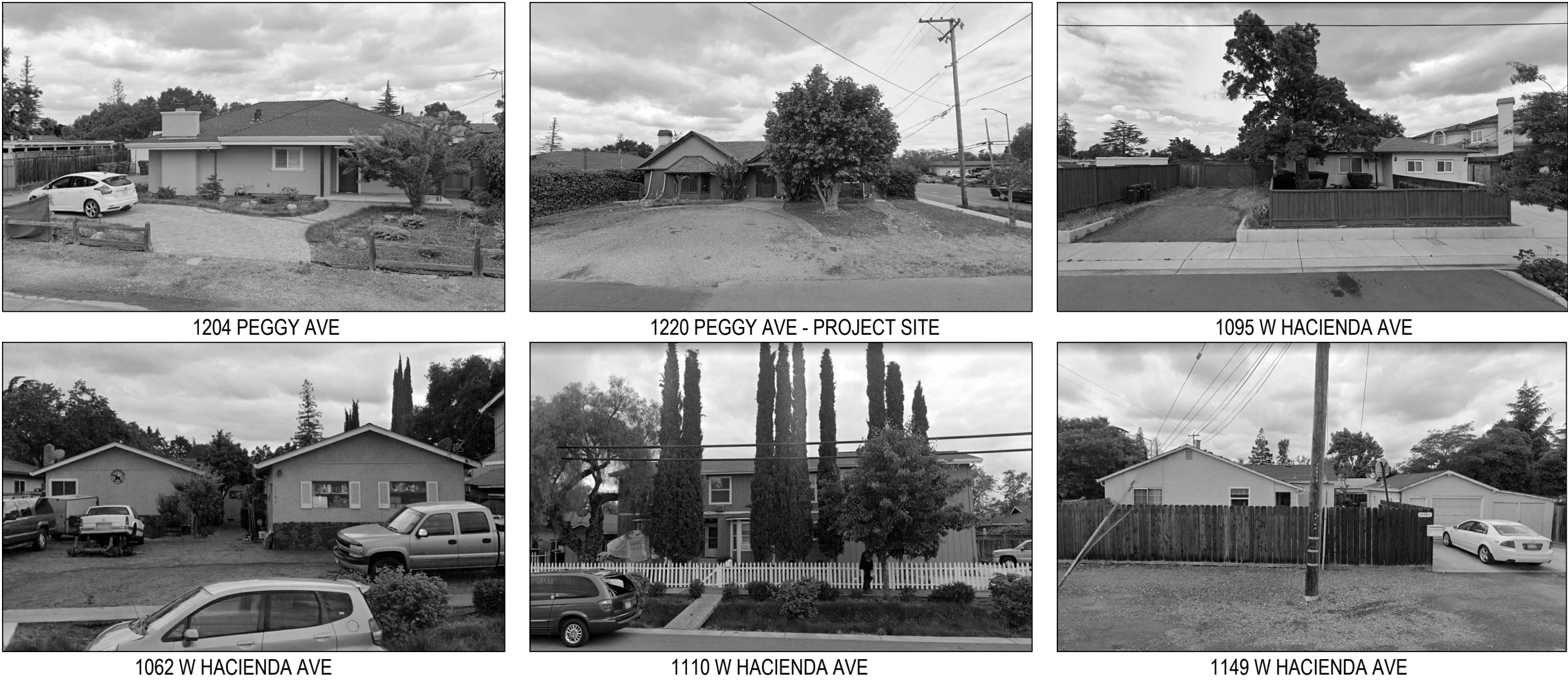


MAIN DWELLING FLOOR PLAN
SCALE: 3/16" = 1'-0"

3D RENDERINGS



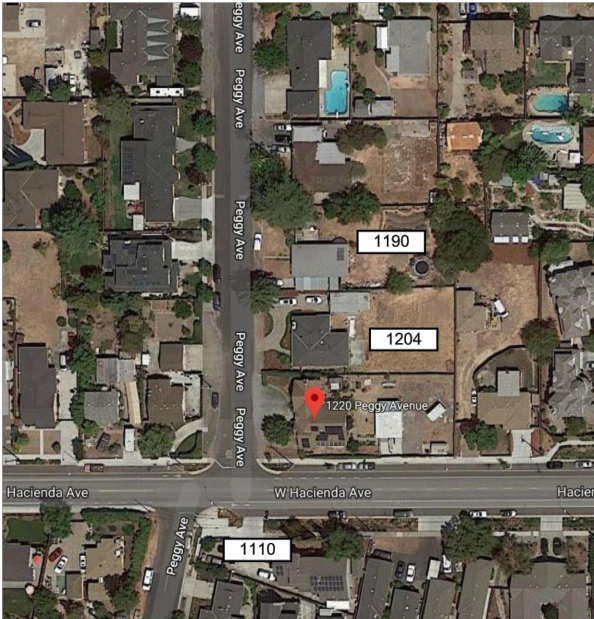
STREETSCAPE PHOTOS + DRAWINGS



PROJECT DATA

PROJECT ADDRESS:	1220 PEGGY AVE		
A.P.N. :	406-14-057		
LOT AREA:	13,914 SF		
ZONING:	R-1-8 (SAN TOMAS NEIGHBORHOOD PLAN)		
YEAR BUILT:	1950		
OCCUPANCY:	R3/U (SINGLE FAMILY DWELLING / UTILITY)		
CONSTRUCTION TYPE:	V-B		
REQUIRED PARKING:	2 ON-SITE, 1 COVERED SPACES		
FIRE SPRINKLERS:	YES, REQUIRED		
<u>SETBACKS</u>	<u>ALLOWED</u>		
FRONT:	20'		
STREET SIDE:	12'		
INTERIOR SIDE:	GREATER THAN 8' OR 60% OF THE HEIGHT OF THE BUILDING WALL ADJACENT TO THE PROPERTY LINE		
REAR:	20'		
<u>BUILDING HEIGHT</u>	<u>ALLOWED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
HOUSE:	28'	±19'-10.5"	± 20'-5"
MAX FLOOR AREA RATIO (FAR) = .45 (= 13,914 SF x .45 = 6,261 SF)			
MAX BUILDING COVERAGE = .35 (= 13,914 SF x .35 = 4,870 SF)			

PROPERTY + ADJACENT IMAGES



INDEX

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BMP	Blueprint for Clean Bay
T-1	Topographic Survey
A1.4	Existing + Demo Site Plan
A1.5	Proposed Site Plan
A2.1	Existing + Demo First Floor Plan
A2.2	Existing + Demo Second Floor Plan
A2.3	Existing Roof Plan
A2.4	Proposed Floor Plan
A2.5	Proposed Roof Plan
A3.1	Existing +Proposed Exterior Elevations
A3.2	Existing +Proposed Exterior Elevations
A3.3	Existing +Proposed Exterior Elevations
A3.4	Existing +Proposed Exterior Elevations
A4.1	Building Sections
A4.2	Building Sections

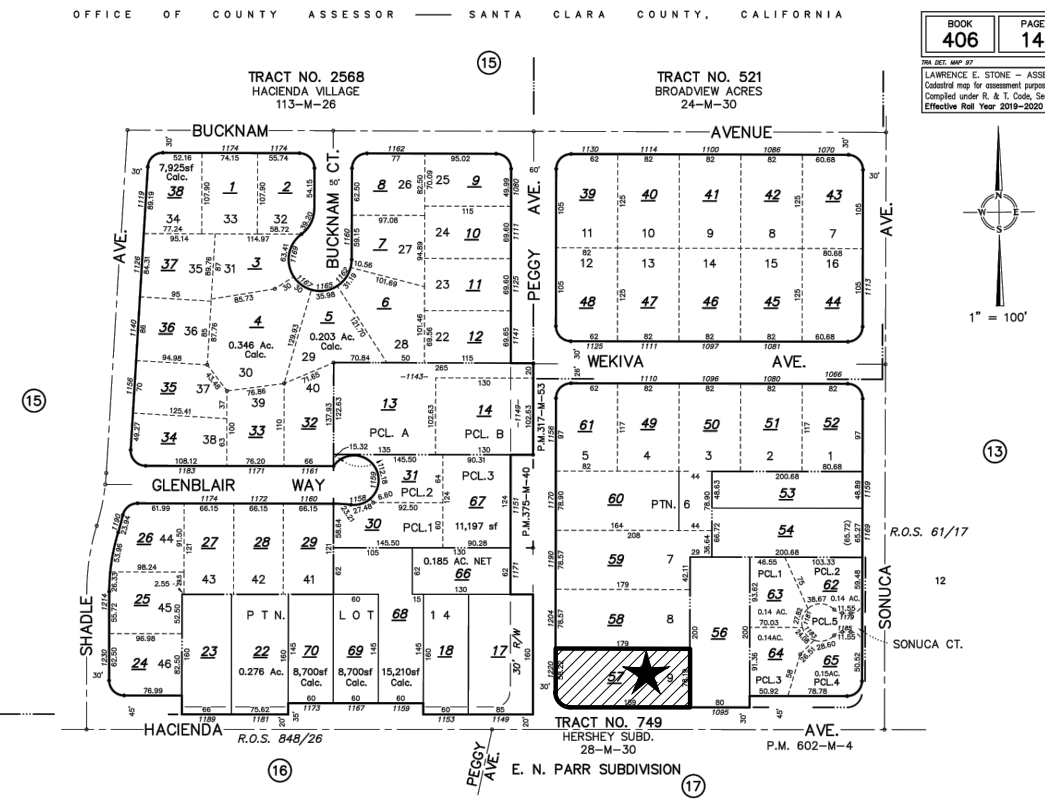
PROJECT INFO.

Owner: Elizabeth + Peter Nguyen 1220 Peggy Ave Campbell, California 95008
Designer: Studio 3 Design Contact: Bess Wiersema bess@studio-three.com 638 University Avenue Los Gatos, California 95032 ph: (408) 292-3252 fax: (253) 399-1125
Topo Survey: Christensen + Plouff Land Surveying Contact: Kacie Plouff 101 Church St. #29 Los Gatos, California 95030 ph: (408) 755-9784

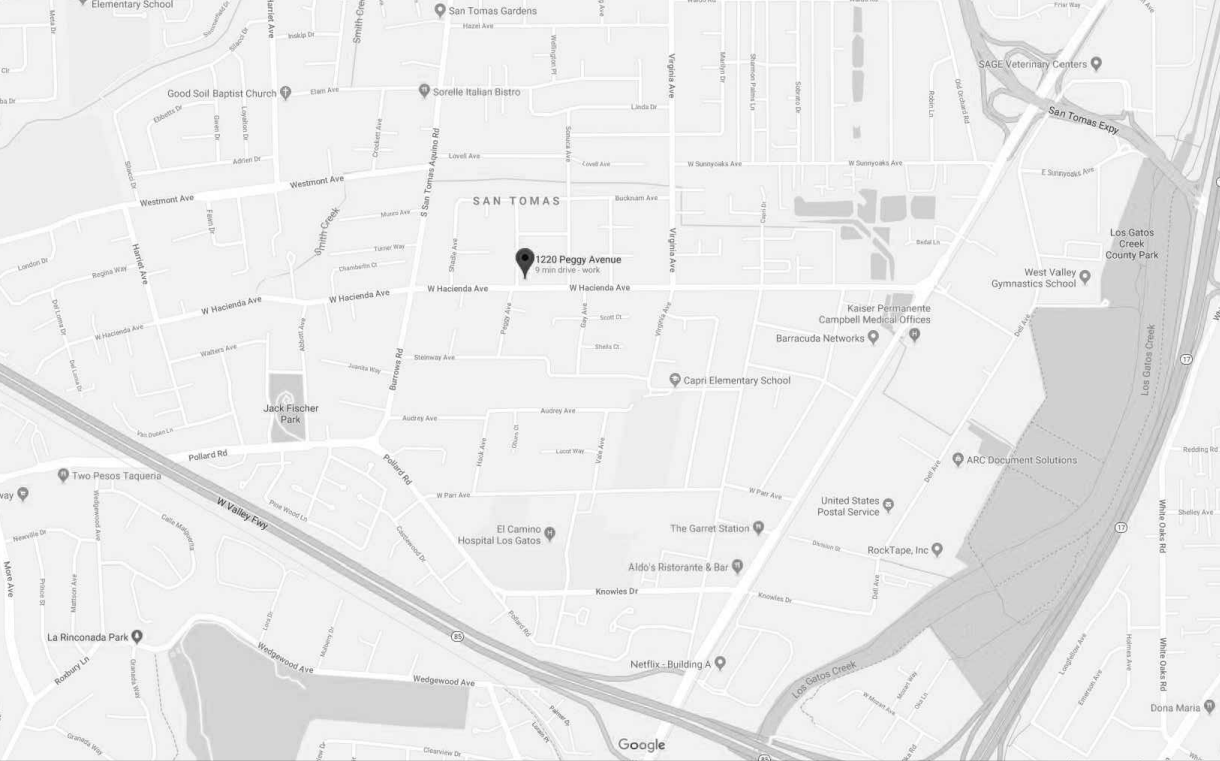
PROJECT DESCRIPTION

This project is for a remodel + addition to an existing two-story single family residence (2,264 SF), and the remodel to the existing detached garage (406 sq. ft.), with the demolition of the two existing sheds, (shed #1, 194 sq. ft. and shed #2, 134 sq. ft.). The existing second floor will be removed (converting a two-story to a one-story residence). The existing garage (406 sq. ft.) will be attached to the proposed one-story residence (3,109 sq. ft.). Remodel includes new entry, kitchen, family room with five bedrooms, three full bathrooms, one half bathroom, and new mud/laundry room. The existing entry porch will be extended.

PARCEL MAP



VICINITY MAP



SCC FIRE DEPARTMENT NOTES

Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one and two-family dwellings (including attached garages) as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 sq. ft.

Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background.

Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S 1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
F 253.399.1125

NGUYEN
1220 PEGGY AVE
CAMPBELL,
CA 95008

A.P.N. 406-14-057

08 AUGUST 2019

18 NOVEMBER 2019
BLDG. DETERMINATION

12 DECEMBER 2019
SITE + ARCH SUBMITTAL

12 JUNE 2020
SITE + ARCH SUBMITTAL

28 OCTOBER 2020
SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

18 FEBRUARY 2021
SITE + ARCH SUBMITTAL

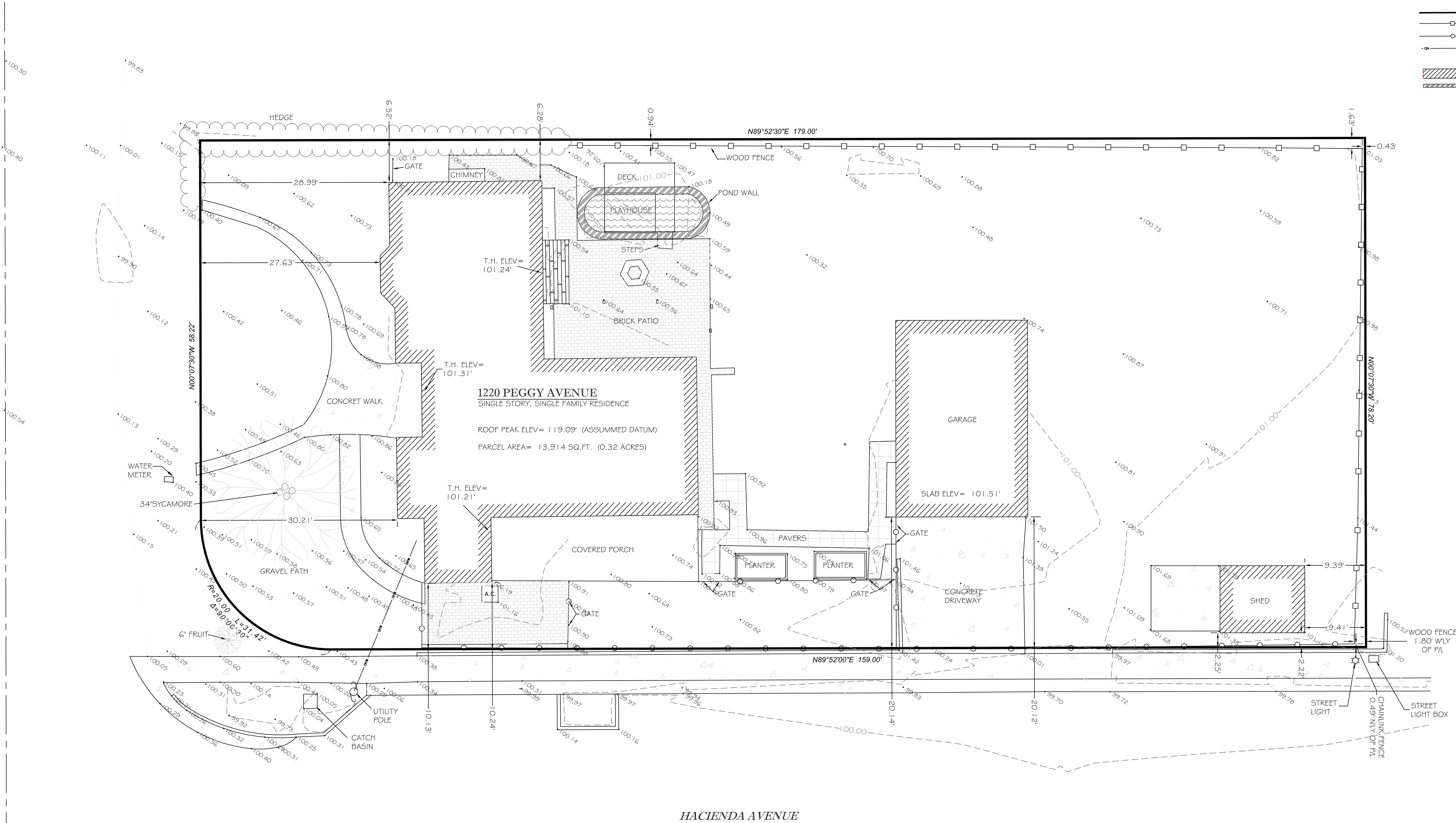
SCALE: N/A

COVER SHEET

A 1 . 1

FRESH CONCRETE AND MORTAR APPLICATION		LANDSCAPING, GARDENING, AND POOL MAINTENANCE		HEAVY EQUIPMENT OPERATION		PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES	
BEST MANAGEMENT PRACTICES FOR:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP	
- Masons and bricklayers - Sidewalk construction crews - Patio construction workers - Construction inspectors - General contractors - Home builders - Developers		- Landscapers - Gardeners - Swimming pool/spa service and repair workers - General contractors - Home builders - Developers		- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash. - Dispose of unused pesticide as hazardous waste. - Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost. - In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste. - Do not place yard waste in gutters. - Do not blow or rake leaves, etc. into the street.		- Painters - Paperhangers - Plasterers - Graphic artists - Dry wall crews - Floor covering installers - General contractors - Home builders - Developers	
GENERAL BUSINESS PRACTICES		GENERAL BUSINESS PRACTICES		SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE		WHAT CAN YOU DO?	
- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind. - Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff. - Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.		- When breaking up paving, be sure to pick up all the pieces and dispose properly. - Recycle large chunks of broken concrete at a landfill. - Dispose of small amounts of excess dry concrete, grout, and mortar in the trash. - Never bury waste material.		- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. - Maintain all vehicles and heavy equipment. Inspect frequently for leaks. - Perform major maintenance, repair jobs, vehicle and equipment washing off site. - If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible. - Do not use diesel oil to lubricate equipment or parts. - Clean up spills immediately when they happen.		- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream. - For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.	
DURING CONSTRUCTION		STORM DRAIN POLLUTION FROM MASONRY AND PAVING		STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE		PAINT REMOVAL	
- Don't mix up more fresh concrete or cement than you will use in a day. - Set up and operate small mixers on tarps or heavy plastic drop cloths.		Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.		Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algacides should never be discharged to storm drains. These chemicals are toxic to aquatic life.		- Recycle/reuse leftover paints whenever possible. - Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste. - Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.	
EARTH MOVING ACTIVITIES		ROADWORK AND PAVING		GENERAL CONSTRUCTION AND SITE SUPERVISION		BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION	
BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE: STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE	
- Bulldozers, backhoe, and grading machine operators - Dump truck drivers - Site supervisors - General contractors - Home builders - Developers		- Road Crews - Driveway/sidewalk/parking lot construction crews - Seal coat contractors - Operators of: grading equipment paving machines dump trucks concrete mixers - Construction inspectors - General contractors - Developers		Construction industry		- Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job. - Use recyclable materials whenever possible. - Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay). Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.	
DURING CONSTRUCTION		WHAT CAN YOU DO?		WHAT CAN YOU DO?		STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES	
- Remove existing vegetation only when absolutely necessary. - Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned. - Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales. - Use check dams or ditches to divert runoff around excavations. - Cover stockpiles and excavated soil with secured tarps or plastic sheeting.		- Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use. - Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil. - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. - Avoid over application by water trucks for dust control.		- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site. - Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels. - Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter. - Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. - Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down. - Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site. - Make sure portable toilets are in good working order. Check frequently for leaks.		- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash. - When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer.	
GENERAL BUSINESS PRACTICES		GENERAL BUSINESS PRACTICES		STORM DRAIN POLLUTION FROM ROADWORK		ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL	
- Schedule excavation and grading work for dry weather. - Perform major equipment repairs away from the job site. - When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains. - Do not use diesel oil to lubricate equipment or parts.		- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks. - Do not use diesel oil to lubricate equipment or parts. - Recycle used oil, concrete, broken asphalt, etc. whenever possible.		- Avoid creating excess dust when breaking asphalt or concrete. - After breaking old pavement, be sure to remove all chunks and pieces. - Make sure broken pavement does not come in contact with rainfall or runoff. - Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary. - Never hose down streets to clean up tracked dirt.		A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense. B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense. C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter. D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.	
PLAN FOR THE IMPROVEMENT OF		PLAN FOR THE IMPROVEMENT OF		PLAN FOR THE IMPROVEMENT OF		PLAN FOR THE IMPROVEMENT OF	
BLUEPRINT FOR A CLEAN BAY		BLUEPRINT FOR A CLEAN BAY		BLUEPRINT FOR A CLEAN BAY		BLUEPRINT FOR A CLEAN BAY	
ENCROACHMENT PERMIT NO.		ENCROACHMENT PERMIT NO.		ENCROACHMENT PERMIT NO.		ENCROACHMENT PERMIT NO.	
SCALE: N.T.S.		SCALE: N.T.S.		SCALE: N.T.S.		SCALE: N.T.S.	
SHEET: X OF X		SHEET: X OF X		SHEET: X OF X		SHEET: X OF X	

PEGGY AVENUE



- LEGEND:**
- PROPERTY LINE
 - WOOD FENCE
 - CHAINLINK FENCE
 - OVERHEAD WIRES
 - MAJOR CONTOUR
 - BUILDING
 - WALL
 - CONCRETE
 - PAVEMENT
 - BRICK
 - SLATE / STONE
 - GRASS
 - SPOT ELEVATION
 - TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
 - TREE DRIPLINE

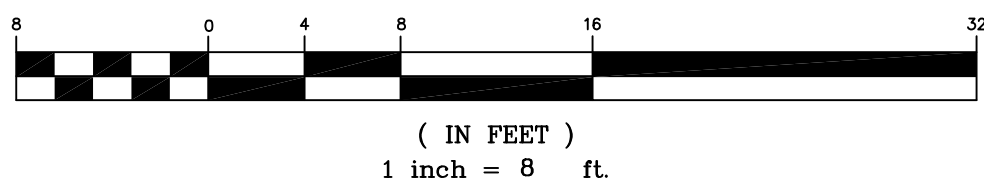
LEGAL DESCRIPTION

LOT 9 AS SHOWN ON TRACT NO. 749 RECORDED IN VOL.28 PG. 30 OF SANTA CLARA COUNTY RECORDS.

SURVEYOR'S NOTES

- ELEVATIONS ARE BASED ON ASSUMED DATUM. PROJECT SITE BENCHMARK IS SHOWN HEREON.
- ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.
- DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

GRAPHIC SCALE



SURVEYOR'S CERTIFICATE

I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013).
I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KACIE A. PLOUFF, PLS 9013

CHRISTENSEN & PLOUFF
LAND SURVEYING
• 101 CHURCH STREET, #204 •
• LOS GATOS, CA 95030 •
• 408-759-5784 • www.calsurveying.com

DATE: 10/9/17
DRAWING SCALE: 1" = 8'
PREPARED BY: KACIE PLOUFF
APPROVED BY: KACIE PLOUFF
FILE NAME: CA-17-087-1220 PEGGY CAMPBELL

STREET, CITY
COUNTY OF
STATE OF CALIFORNIA
APN:

TOPOGRAPHIC SITE PLAN

PROJECT NO.
NCA-17-087

SHEET NO.

1 OF 1



INTERIORS
REMDELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
F 253.399.1125

NGUYEN
1220 PEGGY AVE
CAMPBELL,
CA 95008

A.P.N. 406-14-057

08 AUGUST 2019

18 NOVEMBER 2019
BLDG. DETERMINATION

12 DECEMBER 2019
SITE + ARCH SUBMITTAL

12 JUNE 2020
SITE + ARCH SUBMITTAL

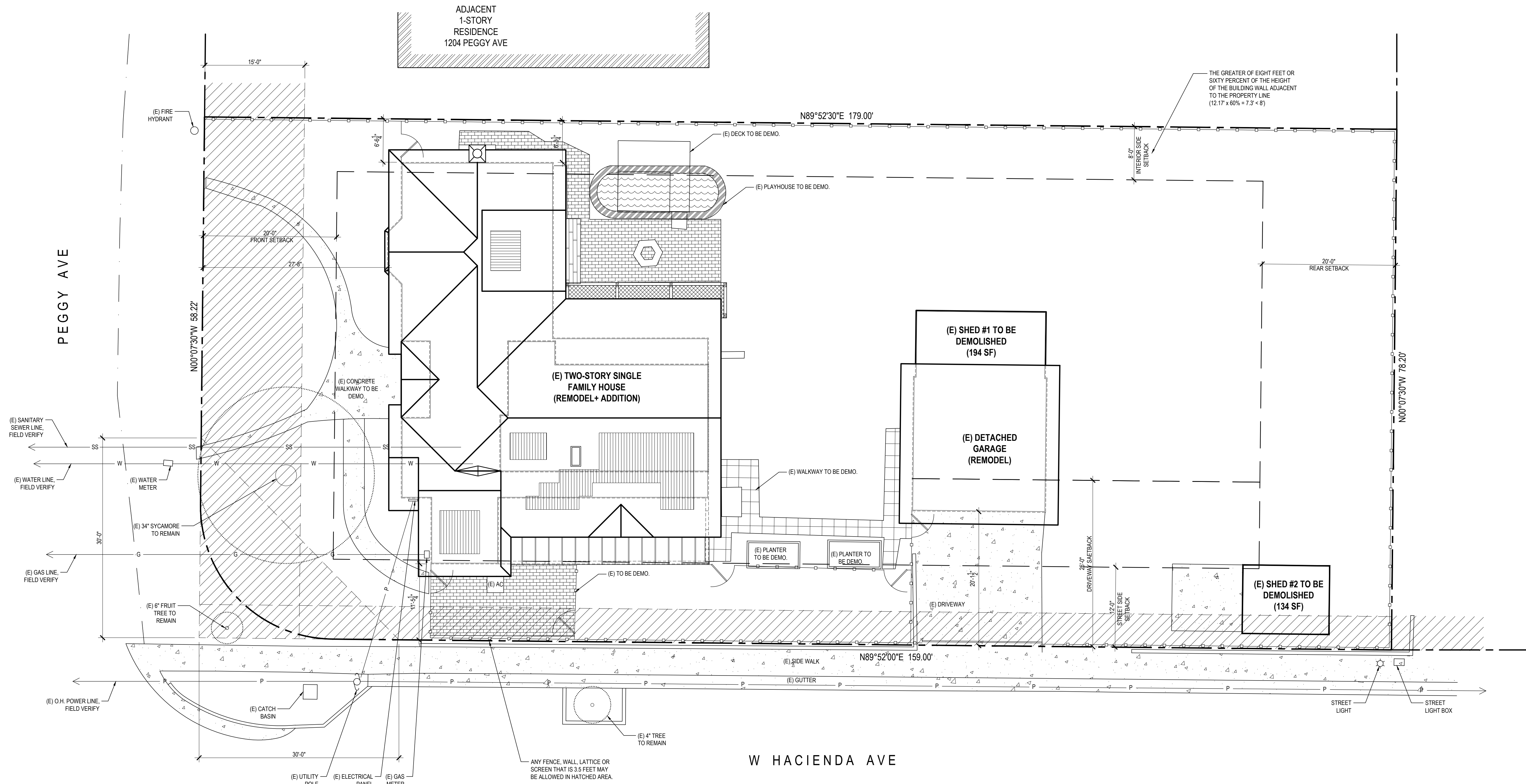
28 OCTOBER 2020
SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: $\frac{1}{8}" = 1'-0"$

EXISTING + DEMO
SITE PLAN

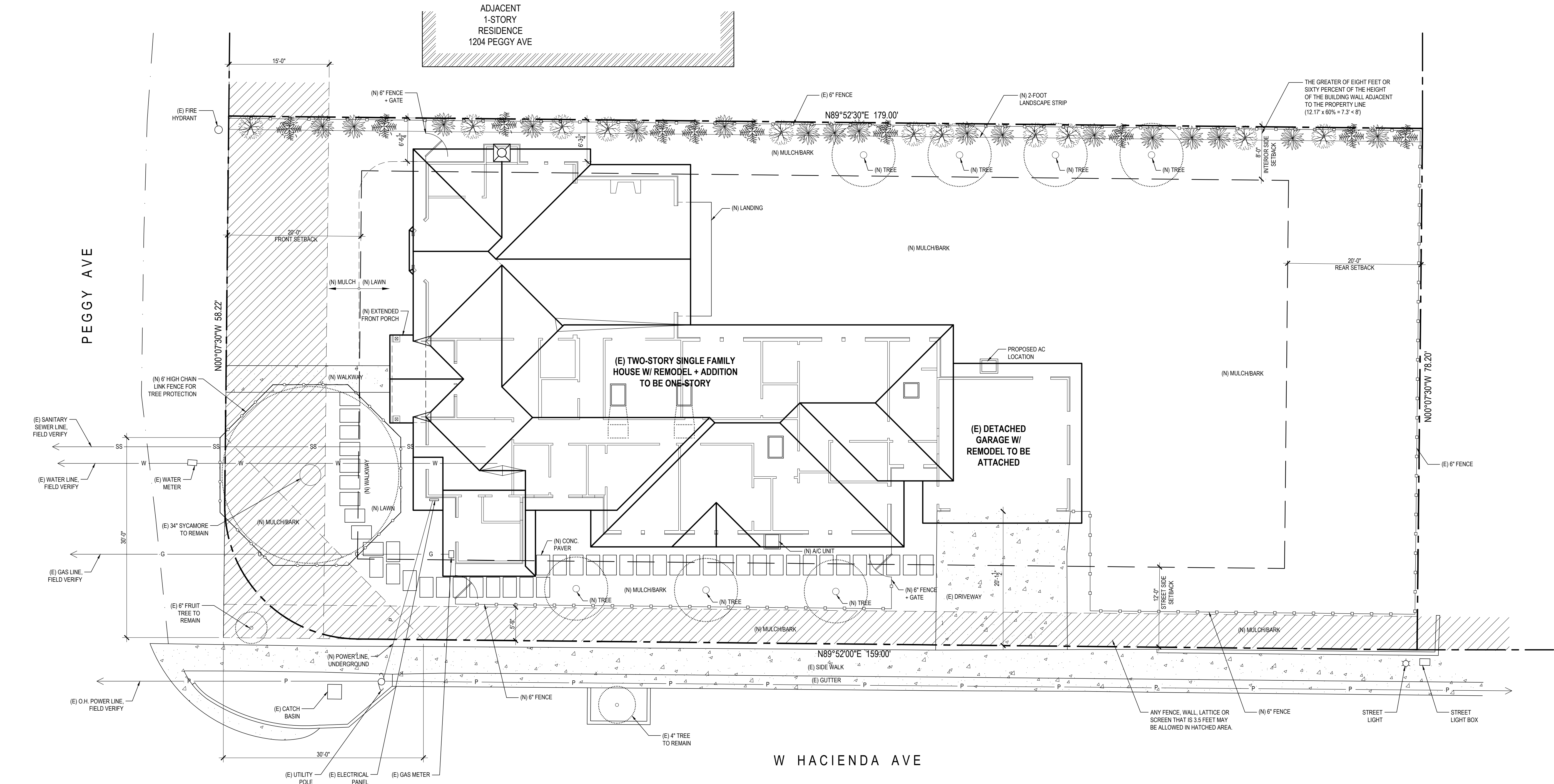
A1.4



EXISTING + DEMO SITE PLAN

LEGEND

—	PROPERTY LINE
- - -	BUILDING SETBACK
-○-	FENCE
G	GAS LINE
W	WATER LINE
P	POWER LINE
SS	SANITARY SEWER LINE



PROPOSED SITE PLAN

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	FENCE
	TREE PROTECTION
	GAS LINE
	WATER LINE
	POWER LINE
	SANITARY SEWER LINE

PLANT LEGEND	
	5 GALLON ESCALLONIA FRADESII
	5 GALLON BERBERIS ROSE GLOW
	24" BOX FRAXINUS RAYWOOD, ASH TREE

LANDSCAPE NOTES + REQUIREMENTS:

COMPLIANCE OPTIONS TO MODEL WATER EFFICIENT LANDSCAPE ORDINANCE

- TOTAL FRONT YARD: 2,258 SF, MIN. 50% UNPAVED = 1,129 SF
LANDSCAPED AREA: 2,046 SF (1,478 MULCH + 59 LANDSCAPE STRIP + 509 LAWN), 90%
PAVED AREA: 212 SF (212 WALKWAY), 10%
- TOTAL REAR YARD: 7,933 SF
LANDSCAPED AREA: 7,266 SF (6,967 MULCH + 299 LANDSCAPE STRIP)
PAVED AREA: 667 SF (174 PAVES + 85 LANDING + 408 DRIVEWAY)
- TOTAL LANDSCAPE AREA: 9,312 SF, MAX. 25% LAWN = 2,328 SF
FRONT YARD: 2,046 SF (1,478 MULCH + 59 LANDSCAPE STRIP + 509 LAWN)
REAR YARD: 7,266 SF (6,967 MULCH + 299 LANDSCAPE STRIP)
- TOTAL LAWN AREA: 509 SF (509 FRONT), 5.5%

MIN. ONE TREE PER 2,000 SF OF NET LOT AREA: 8 TREES REQUIRED, MIN.
NO PROTECTED TREES ON SITE
NO IRRIGATION SYSTEM ON SITE

PROJECT TYPE: PARTIAL DEMO OF EXISTING SINGLE FAMILY RESIDENCE FOR NEW

WATER SUPPLY: SAN JOSE WATER CO.

STATEMENT:
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWLO

SIGNATURE _____ DATE _____

- INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF A DEPTH OF SIX INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).
- PLANT MATERIAL SHALL COMPLY WITH ALL OF THE FOLLOWING:
 - FOR RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER; FOR NON-RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 100% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
 - A MINIMUM THREE INCH (3-INCH) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- TURF SHALL COMPLY WITH ALL OF THE FOLLOWING:
 - TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS, AND THERE SHALL BE NO TURF IN NON-RESIDENTIAL AREAS.
 - TURF SHALL NOT BE PLANTED ON SLOPED AREAS WHICH EXCEED A SLOPE OF 1 FOOT VERTICAL ELEVATION CHANGE FOR EVERY 4 FEET OF HORIZONTAL LENGTH.
 - TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE, UNLESS THE PARKWAY IS ADJACENT TO A PARKING STRIP AND USED TO ENTER AND EXIT VEHICLES. ANY TURF IN PARKWAYS MUST BE IRRIGATED BY SUB-SURFACE IRRIGATION OR BY OTHER TECHNOLOGY THAT CREATES NO OVERSPRAY OR RUNOFF.

- IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING:
 - AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
 - IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
 - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
 - MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
 - ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014, "LANDSCAPE IRRIGATION SPRINKLER AND Emitter STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.85 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
 - AREAS LESS THAN TEN (10) FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, A PRIVATE SUBMITTER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

SITE DATA:	
EXISTING IMPERVIOUS AREA:	
RESIDENCE	1,780 SF
DETACHED GARAGE	406 SF
STORAGE SHED	194 SF
ENTRY PORCH	48 SF
COVERED PATIO	531 SF
UNCOVERED PATIO	106 SF
DRIVEWAY	408 SF
HARDSCAPE	1,168 SF
TOTAL	4,641 SF
PROPOSED IMPERVIOUS AREA:	
RESIDENCE	3,179 SF
ATTACHED GARAGE	406 SF
ENTRY PORCH	116 SF
DRIVEWAY	408 SF
HARDSCAPE	466 SF
TOTAL	4,575 SF
NET CHANGE	-66 SF
LOT AREA	13,914 SF
SITE COVERAGE:	
EXISTING	33.3%
PROPOSED	32.8%
NUMBER OF PARKING:	2 ON-SITE, 1 COVERED

- GENERAL NOTES:
- EXISTING SITE CONDITIONS TO REMAIN
 - THE SITE IS ESSENTIALLY FLAT AND REQUIRES MINIMAL GRADING.
 - PROJECT TO MAINTAIN EXISTING DRAINAGE PATTERNS.
 - UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
 - ANY EXCESS MATERIAL SHALL BE DISPOSED OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
 - ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
 - NO CHANGE TO EXISTING WATER AND SEWER SERVICE LINES.
 - CONTRACTOR TO VERIFY/INSTALL A STREET NUMBER @ ROADSIDE IN FRONT OF PROJECT.
 - RECYCLE AND/OR SALVAGE FOR REUSE A MIN. OF 50% OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
 - PROTECT EXISTING STREET INLETS WITHIN 200' OF PROJECT SITE OR AS DIRECTED BY CITY ENGINEER.
 - THE LANDING SHALL NOT BE MORE THAN 7'-3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1'-1/2" AT DOORS SWINGING OVER THE LANDING.
 - LANDING LENGTH NEED NOT EXCEED 36" CBC 1008.1.6, WITH A WIDTH EQUAL THAT OF THE ADJACENT OPENING.
 - ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS, ETC.
 - FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL EAVES. DOWNSPOUTS TO GO TO NEW AND/OR EXISTING DRAINS.
 - FINISH GRADE AROUND STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET (CBC 1804.3).
 - IMPERVIOUS SURFACES WITHIN 10-FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CBC 1804.3)



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
F 253.399.1125

NGUYEN
1220 PEGGY AVE
CAMPBELL,
CA 95008

A.P.N. 406-14-057

08 AUGUST 2019

18 NOVEMBER 2019
BLDG. DETERMINATION

12 DECEMBER 2019
SITE + ARCH SUBMITTAL

12 JUNE 2020
SITE + ARCH SUBMITTAL

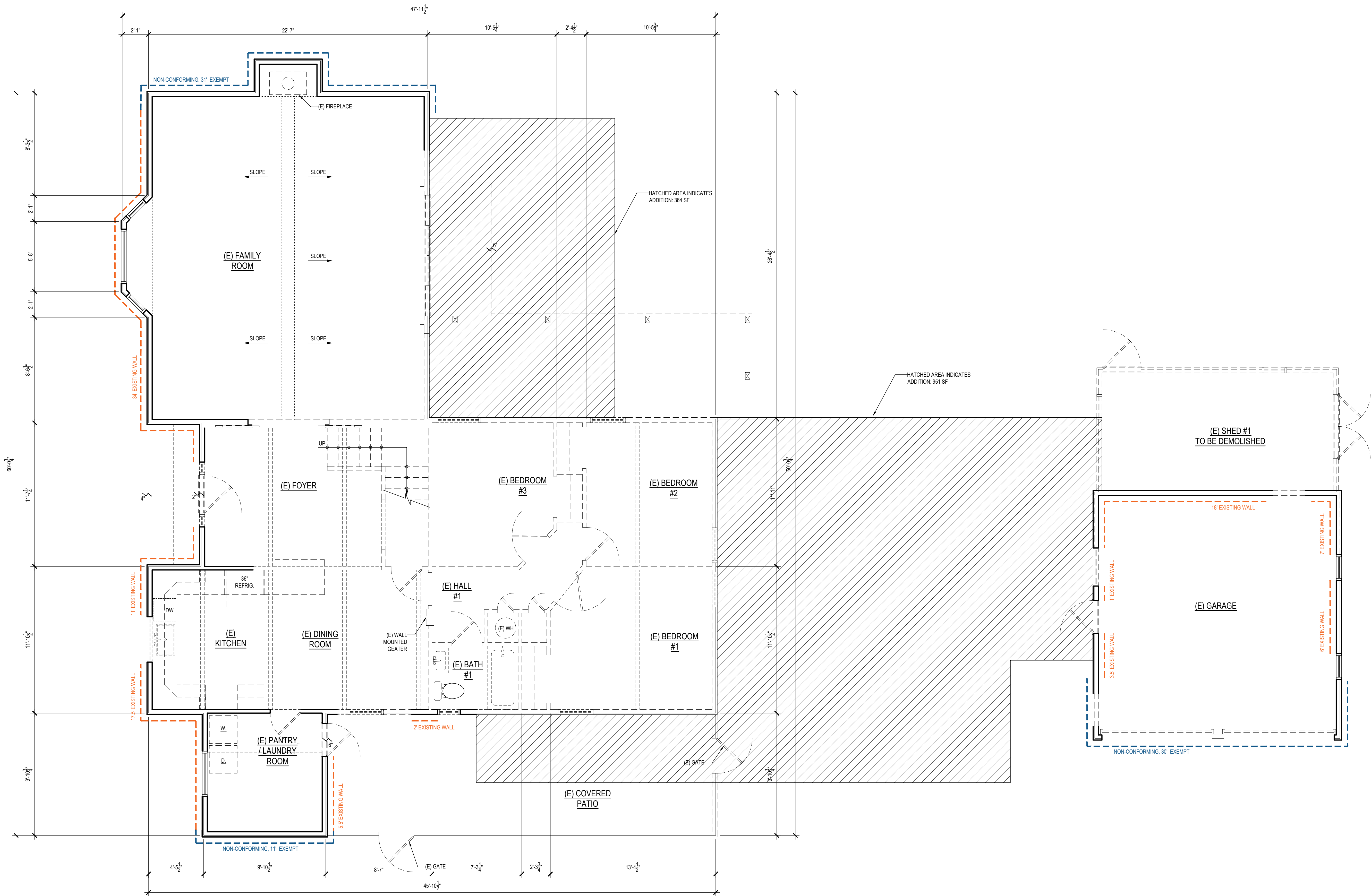
28 OCTOBER 2020
SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

EXISTING + DEMO FIRST
FLOOR PLAN

A2.1



EXISTING + DEMO FIRST FLOOR PLAN

WALL LEGEND	
	WALLS TO REMAIN
	WALLS TO BE REMOVED

LEGEND	
	AREA OF ADDITION (CONDITIONED)

EXTERIOR WALLS NOTES

- MAIN HOUSE
- EXISTING EXTERIOR WALLS = 225 LINEAR FEET
 - 25% = 56 LINEAR FEET, MIN.
 - NON-CONFORMING WALL, 42 LINEAR FEET EXEMPT
 - EXISTING EXTERIOR WALLS TO REMAIN = 70 LINEAR FEET > 56'
- GARAGE
- EXISTING EXTERIOR WALLS = 80.5 LINEAR FEET
 - 25% = 20 LINEAR FEET, MIN.
 - NON-CONFORMING WALL, 30 LINEAR FEET EXEMPT
 - EXISTING EXTERIOR WALLS TO REMAIN = 35.5 LINEAR FEET > 20'

TOTAL EXISTING WALL AREA = 305.5
25% = 76.5 LINEAR FEET
EXISTING EXTERIOR WALLS TO REMAIN = 105.5 LINEAR FEET > 76.5'

NGUYEN
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CA 95008

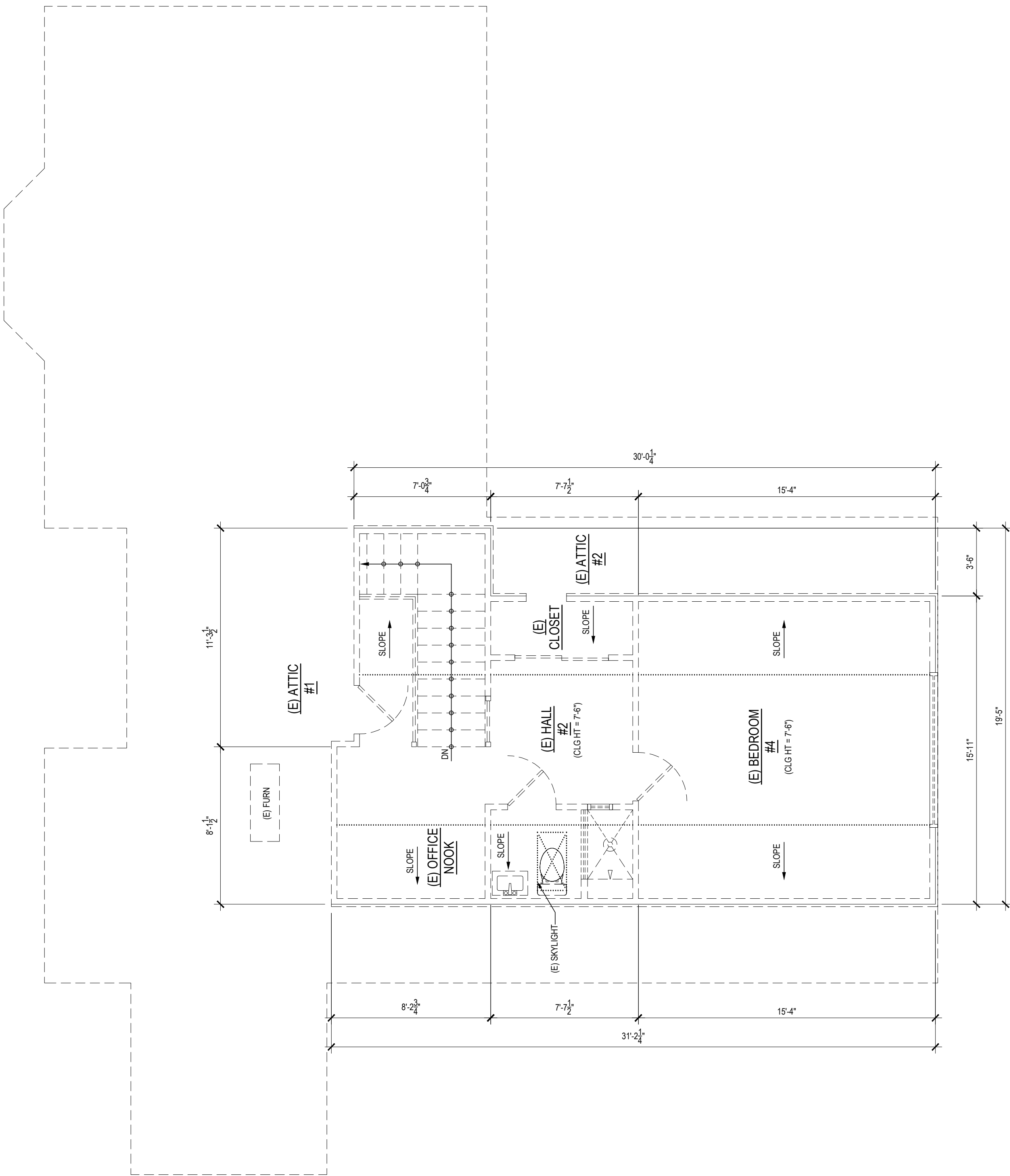
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SITE + ARCH SUBMITTAL
03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

EXISTING + DEMO
SECOND FLOOR PLAN

A2.2



NORTH

EXISTING + DEMO SECOND FLOOR PLAN

WALL LEGEND	
	WALLS TO REMAIN
	WALLS TO BE REMOVED



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SITE + ARCH SUBMITTAL03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: $\frac{1}{4}" = 1'-0"$

EXISTING ROOF PLAN

A2.3



EXISTING ROOF PLAN

ROOF NOTES

ROOF NOTES
MAIN HOUSE

- EXISTING ROOF AREA = 3000 SF
- 25% = 750 SF, MIN.
- NON-CONFORMING ROOF, 100 SF EXEMPT
- EXISTING ROOF TO REMAIN = 1338 SF > 750 SF

GARAGE

- EXISTING ROOF AREA = 720 SF (572 SF GARAGE, 148 SF SHED)
- 25% = 180 SF, MIN.
- EXISTING ROOF TO REMAIN = 572 SF > 180 SF



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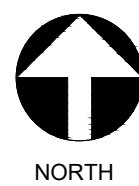
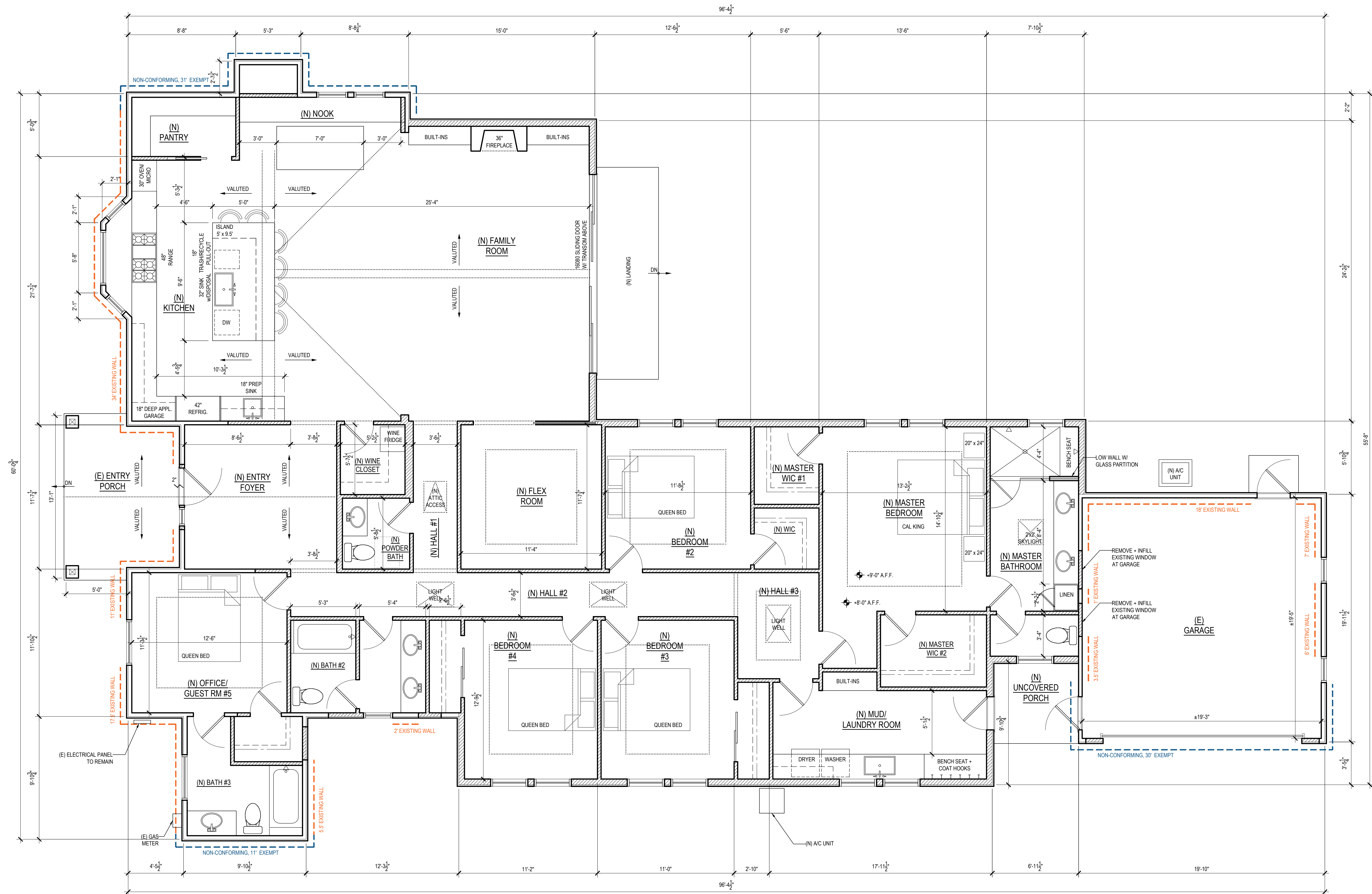
28 OCTOBER 2020
SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: $\frac{1}{4}" = 1'-0"$

PROPOSED FLOOR PLAN

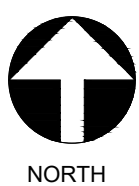
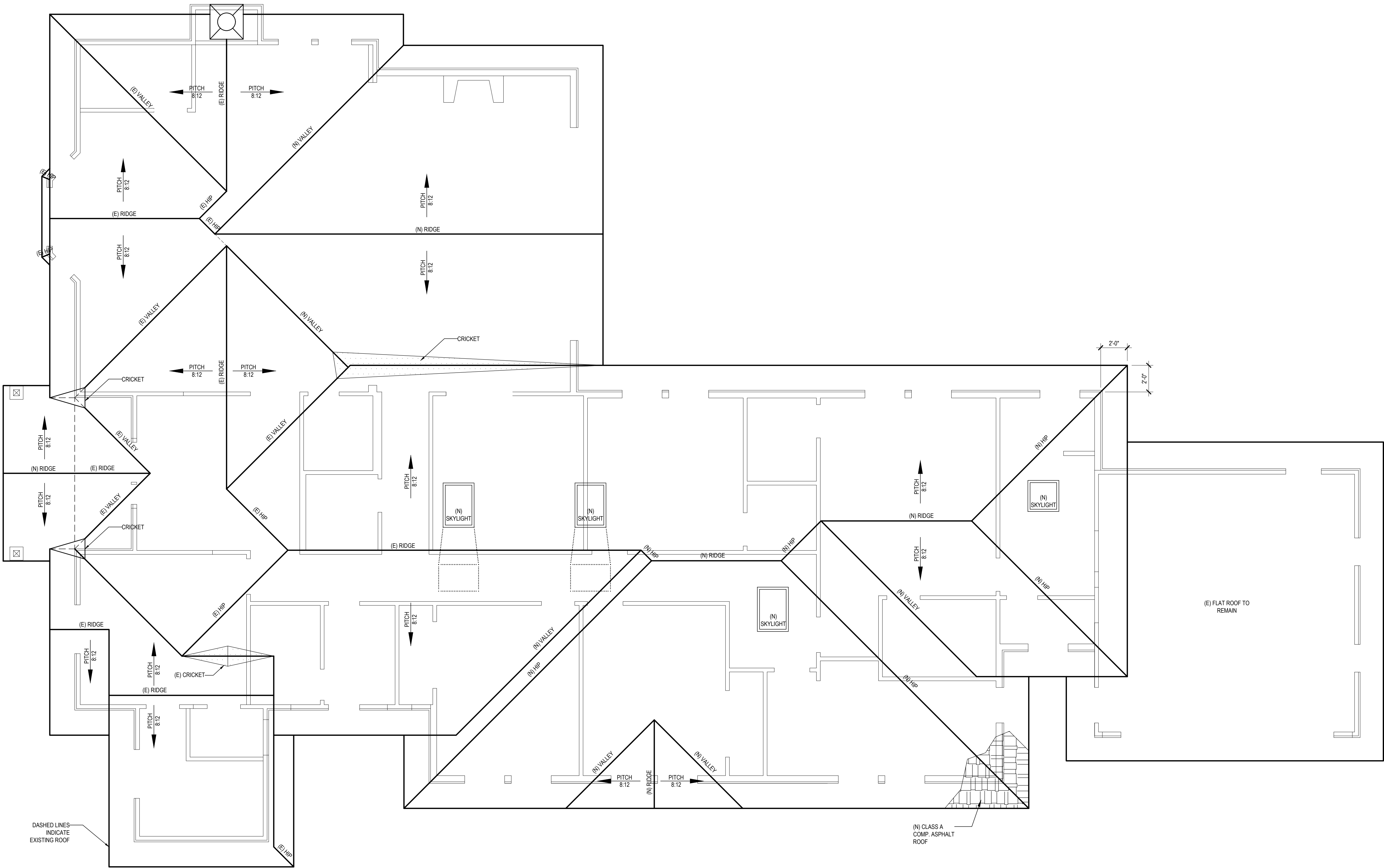
A2.4



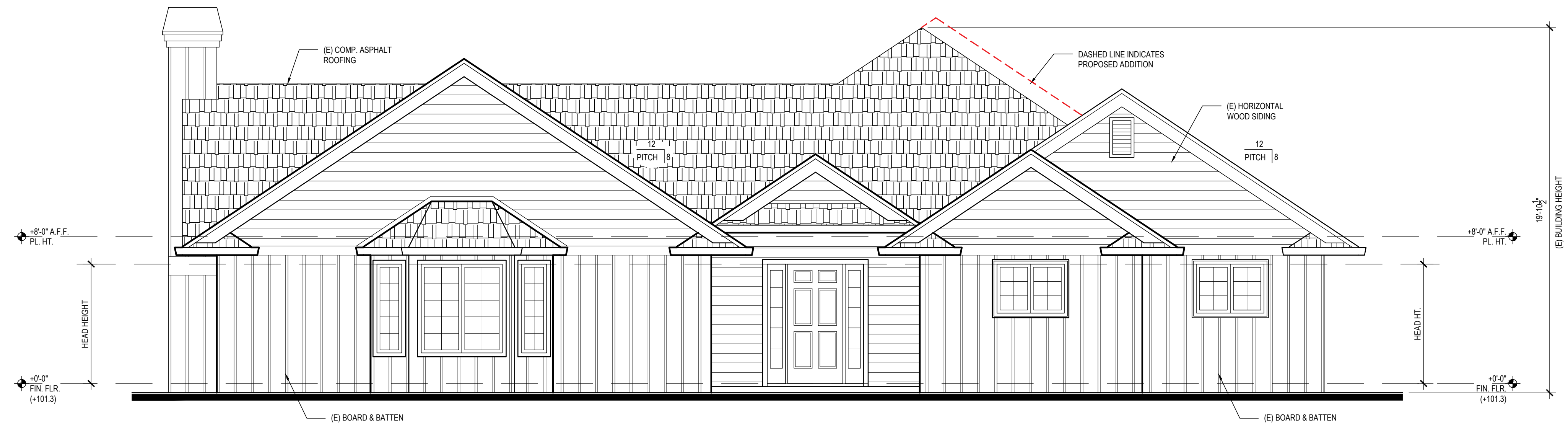
PROPOSED FLOOR PLAN

WALL LEGEND

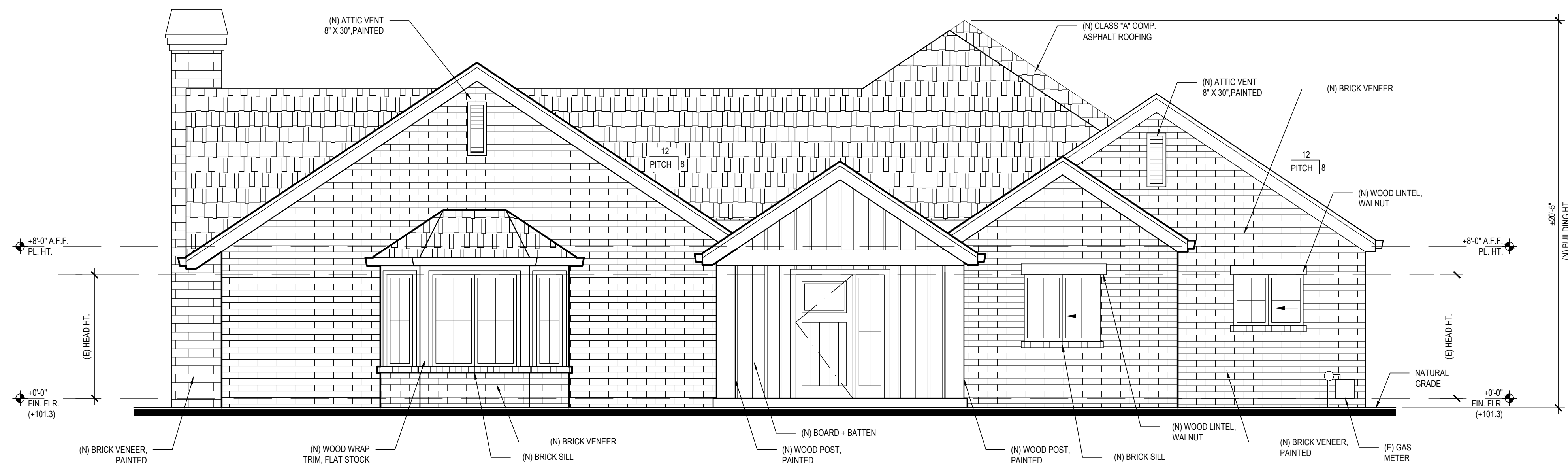
WALLS TO REMAIN
NEW WALLS



PROPOSED ROOF PLAN

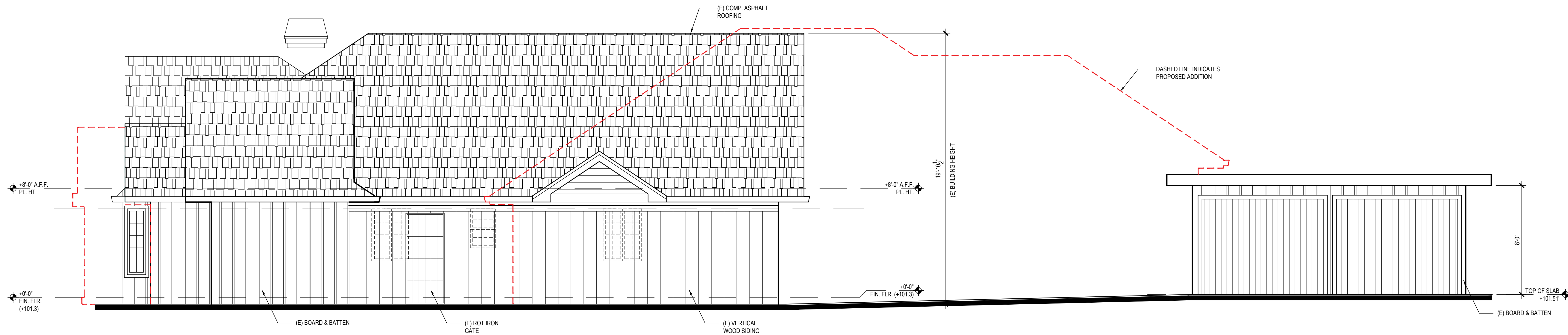


1 - EXISTING WEST ELEVATION
(FRONT - PEGGY AVE)

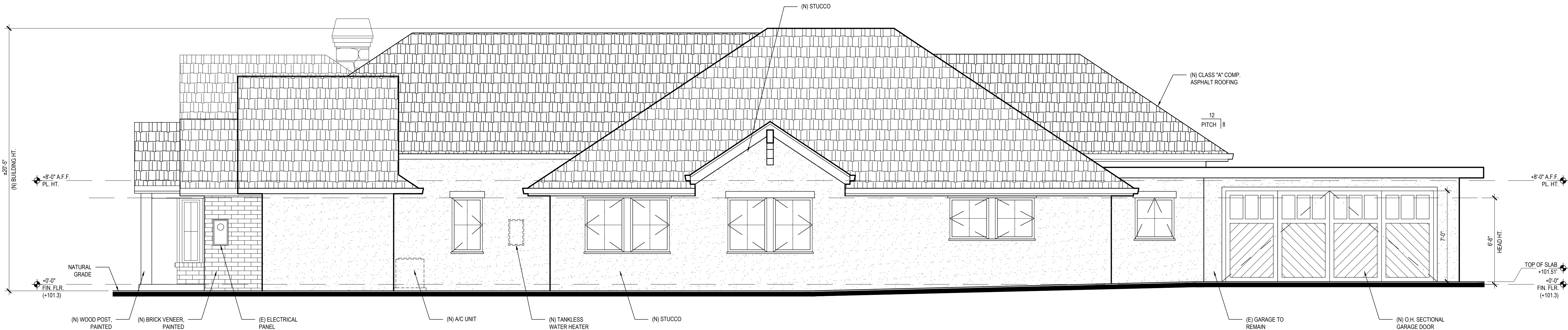


5 - PROPOSED WEST ELEVATION
(FRONT - PEGGY AVE)

MATERIALS NOTES:	
SIDING:	VERTICAL BOARD & BATTEN WOOD SIDING, PAINTED, BENJAMIN MOORE, SIMPLY WHITE (OC-117) OR APPROVED EQ.
BRICK VENEER:	PAINTED, BENJAMIN MOORE, SIMPLY WHITE (OC-117) OR APPROVED EQ.
WINDOWS:	MARVIN ELEVATE, BLACK ALUMINUM CLAD EXTERIOR, WOOD INTERIOR, OR APPROVED EQ.
WINDOW TRIM:	PAINTED WOOD, BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
WINDOW LINTEL:	WALNUT
POSTS:	PAINTED, BENJAMIN MOORE, SIMPLY WHITE (OC-117) OR APPROVED EQ.
ROOFING:	CLASS "A" COMPOSITION ASPHALT ROOF, CERTAINTED, LANDMARK TL, MOIRE BLACK OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M., BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
DOWNSPOUTS:	PAINTED G.S.M., BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
FRONT DOOR:	WALNUT
GARAGE DOOR:	CARRIAGE HOUSE CO., WOOD DOOR, PAINTED BLACK



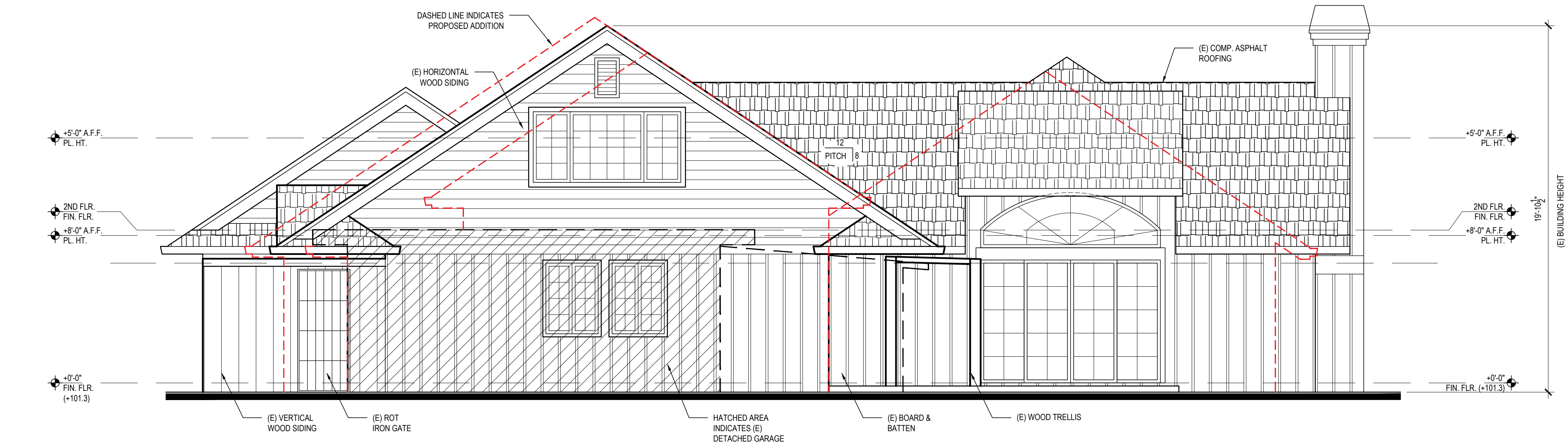
2 - EXISTING SOUTH ELEVATION
(STREET SIDE - W HACIENDA AVE)



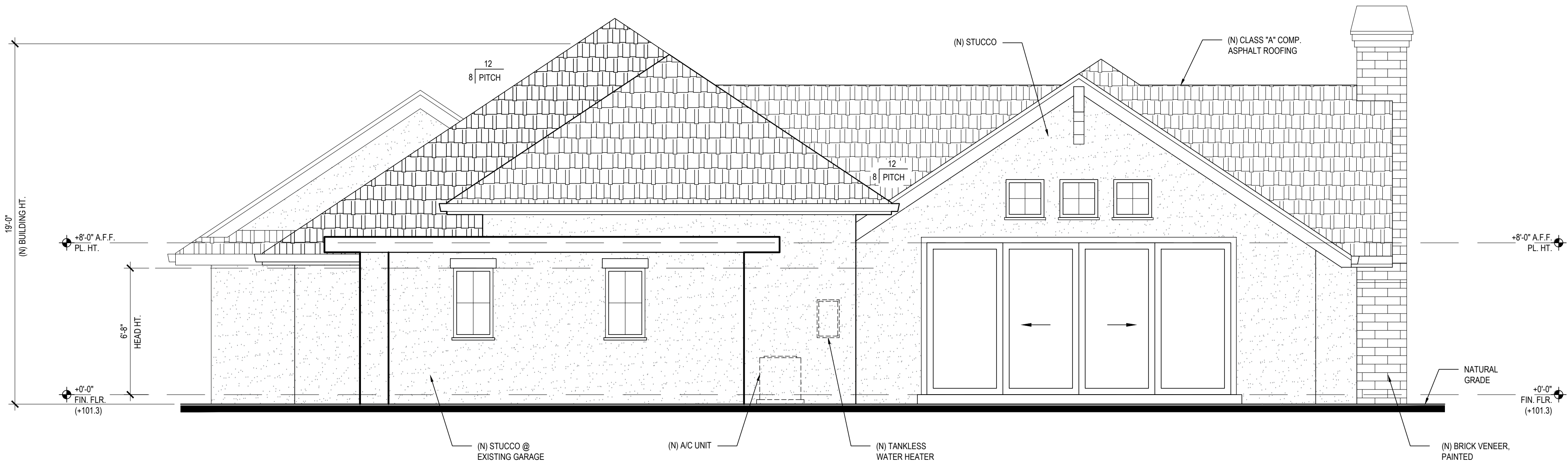
6 - PROPOSED SOUTH ELEVATION
(STREET SIDE - W HACIENDA AVE)

MATERIALS NOTES:

SIDING:	VERTICAL BOARD & BATTEN WOOD SIDING, PAINTED, BENJAMIN MOORE, SIMPLY WHITE (OC-117) OR APPROVED EQ.
BRICK VENEER:	PAINTED, BENJAMIN MOORE, SIMPLY WHITE (OC-117) OR APPROVED EQ.
WINDOWS:	MARVIN ELEVATE, BLACK ALUMINUM CLAD EXTERIOR, WOOD INTERIOR, OR APPROVED EQ.
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WINDOW LINTEL:	WALNUT
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DOWNSPOUTS:	PAINTED G.S.M., BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
FRONT DOOR:	WALNUT
GARAGE DOOR:	CARRIAGE HOUSE CO., WOOD DOOR, PAINTED BLACK



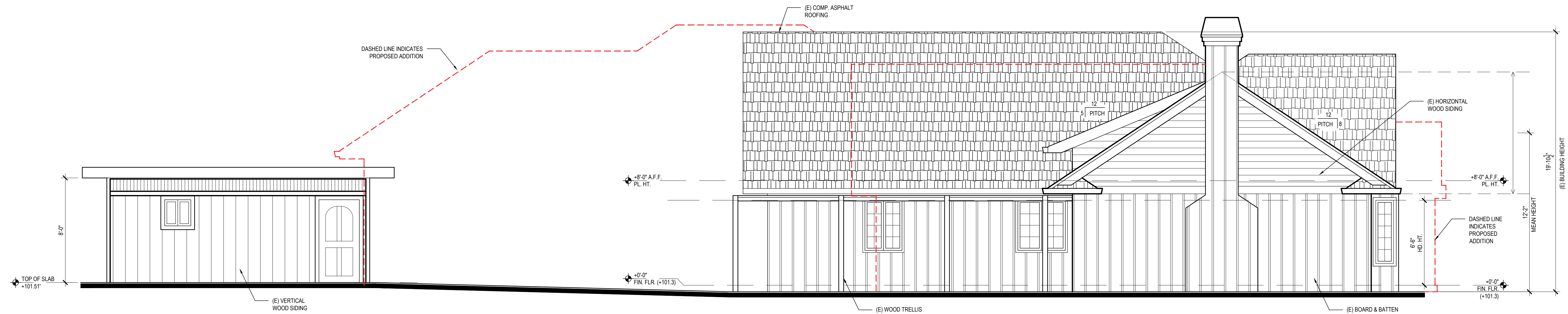
3 - EXISTING EAST ELEVATION
(REAR)



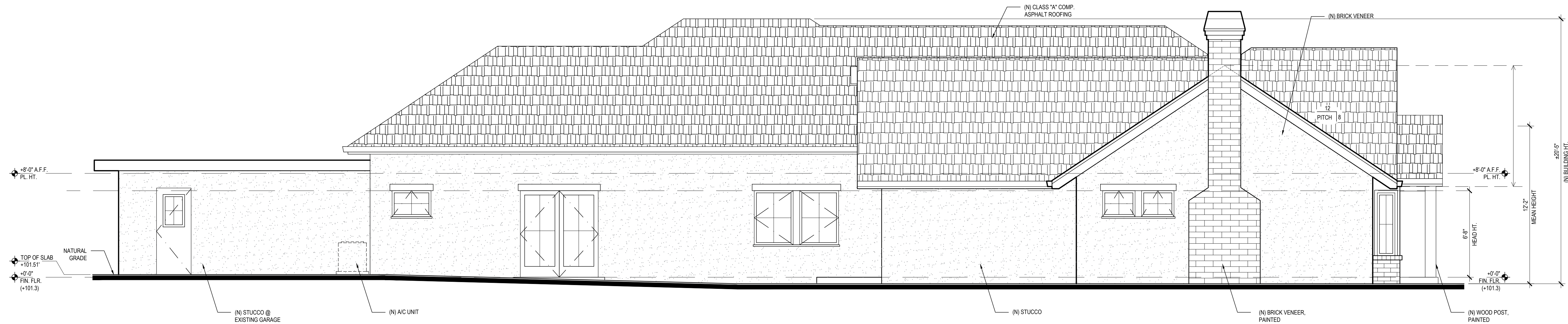
7 - PROPOSED EAST ELEVATION
(REAR)

MATERIALS NOTES:

SIDING:	VERTICAL BOARD & BATTEN WOOD SIDING, PAINTED, BENJAMIN MOORE, SIMPLY WHITE (OC-117) OR APPROVED EQ.
BRICK VENEER:	PAINTED, BENJAMIN MOORE, SIMPLY WHITE (OC-117) OR APPROVED EQ.
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FASCIA & GUTTERS:	PAINTED G.S.M., BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
DOWNSPOUTS:	PAINTED G.S.M., BENJAMIN MOORE, BLACK (2132-10) OR APPROVED EQ.
FRONT DOOR:	WALNUT
GARAGE DOOR:	CARRIAGE HOUSE CO., WOOD DOOR, PAINTED BLACK



4 - EXISTING NORTH ELEVATION
(INTERIOR SIDE)



8 - PROPOSED NORTH ELEVATION
(INTERIOR SIDE)

MATERIALS NOTES:

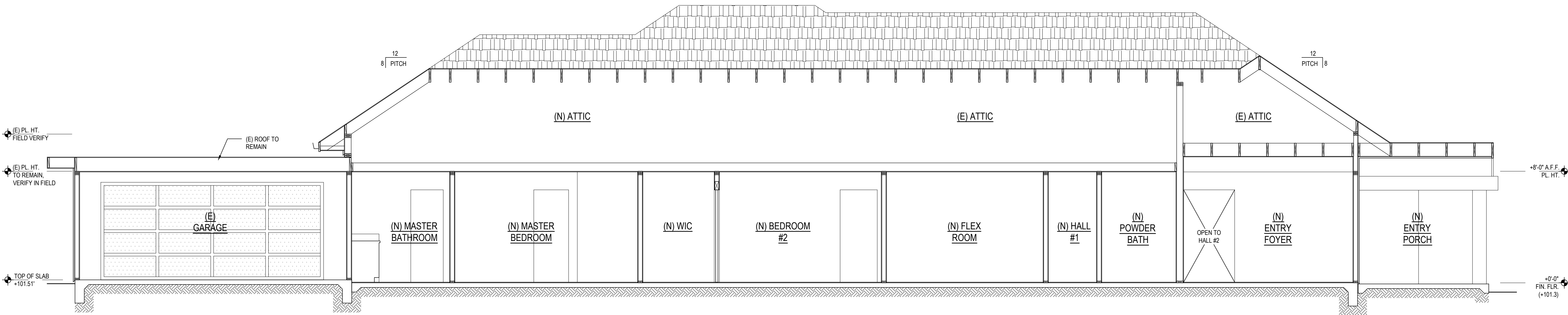
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FRONT DOOR:	WALNUT
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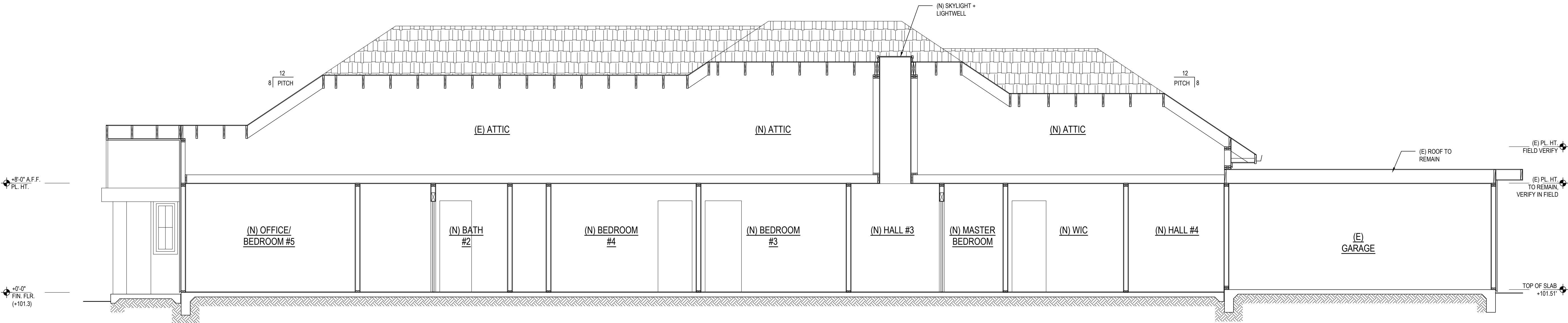
INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
F 253.399.1125



A - BUILDING SECTION



B - BUILDING SECTION

NGUYEN
1220 PEGGY AVE
CAMPBELL,
CA 95008

A.P.N. 406-14-057

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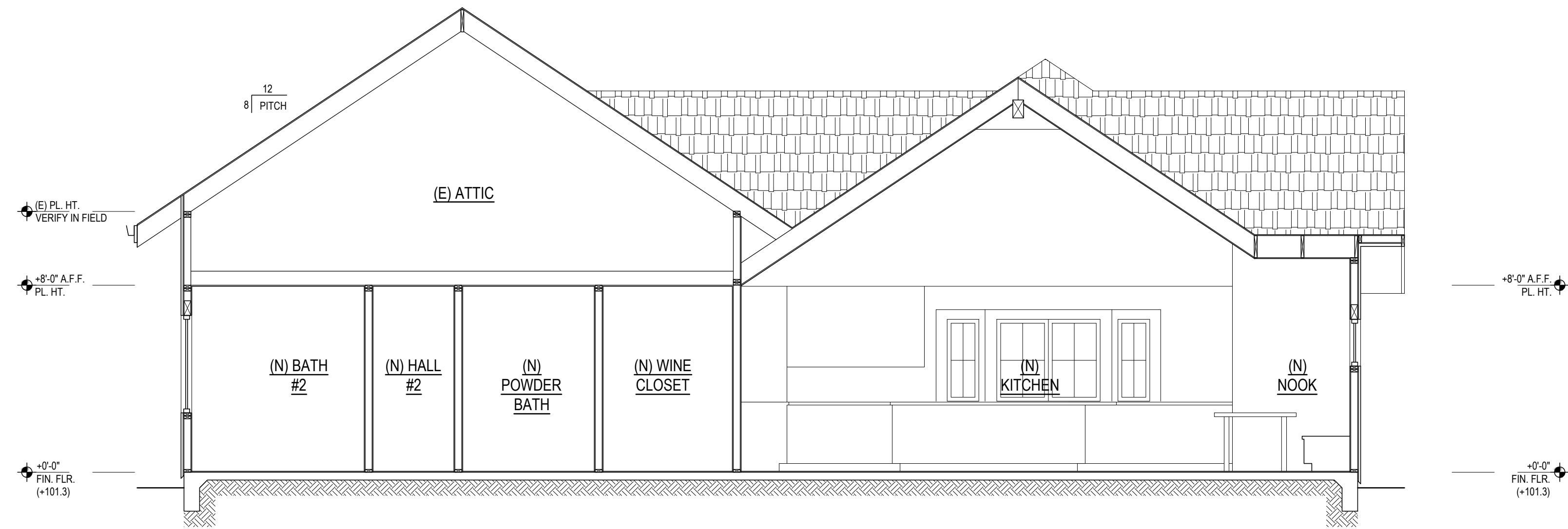
03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS



C - BUILDING SECTION



D - BUILDING SECTION

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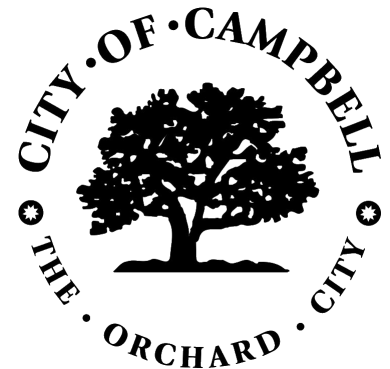
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SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

City of Campbell
70 N. First Street
Campbell, CA 95008
(408) 866-2130



Date: Wednesday, October 28, 2020

Bess Wiersema
Studio Three Design Inc.
638 University Avenue
Los Gatos CA 95032
bess@studio-three.com

Permit Number BLD-2020-1005
Job Address: 1220 PEGGY AVE, CAMPBELL 95008

Bess Wiersema,

This review is from Campbell's Building Inspection Division, as well as additional reviews from other agencies are as listed below. Do not re-submit drawings or other documents until all agencies have completed their review. When ready, upload the revised documents as well as a plan check response letter(s), inclusive of what actions were taken to resolve the comment and the location of said action. No clouding is required.

1. A complete set of Construction Plans (Sub. 2, 3, or 4 etc) in PDF format (including architectural, structural, T-24, electrical, etc)
2. A complete set of the required documents/specs to address comments (Sub. 2, 3, or 4 etc) (such as structural calculations, T-24, soil etc.) (if the documents have not been changed, upload not required).
3. Response letter (Sub. 2, 3, or 4 etc)

Building Plan Check Comments

The following comments have been provided by Bob Lennen. Should you have any questions or require additional information regarding any of these comments, please contact Bob Lennen by telephone at (408) 866-2133 or by email at bobl@campbellca.gov.

In figuring the new house determination, the first and the second floor exterior walls are divided into the walls to remain. The same holds true for the interior walls and the roof. Any wall that will be altered in anyway will not be added to the "to remain" side of the equation. This is not an exacting process and there are understandably areas where there can be some guesswork. I am normally generous in my math and lean towards making remodel determinations.

1220 Peggy 9/22/20 I determine this proposed project would be classified as a new home. Exterior walls to remain, 21%, Interior walls to remain 2%, roof to remain 18%

As-designed at this second submittal I have determined the project to be an Addition/Remodel, however the Planning Department has a comment and request for a site plan before they can make the determination complete.

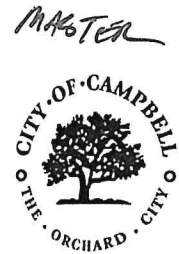
Planning Division

The following comments have been provided by Paula Ruffinelli. Should you have any questions or require additional information regarding any of these comments, please contact Paula Ruffinelli by telephone at (408) 866-2732 or by email at paular@campbellca.gov.

I need a site plan that shows the property boundaries and the setbacks in order to do my review. Please update the plans to reflect that, thank you.

Thank you,

Building Inspections Division
City Hall - Upper Level



New Dwelling Using Portions of the Original Structure

Please complete the following information for a determination by the Building Official if a proposed remodel and addition is to be classified as a construction of a new house. This determination will be made using the following criteria that are provided in Campbell Municipal Code Chapter 18.32:

A project submitted as a "Remodel" or "Remodel and Addition" shall be considered and defined as a "New Dwelling using portions of the original structure" when at least three of the following criteria are satisfied:

1. The valuation of the proposed work exceeds one hundred eighty-five thousand dollars (valuation calculated using established Valuation Tables published by the International Code Council (ICC) and modified by the Building Division);
2. Seventy-five percent or more of the existing roof framing (Area) is proposed to be removed. Existing roof covered by a new roof shall be considered as removed for the purposes of this calculation;
3. Seventy-five percent or more of the existing exterior walls (Lineal Footage of Wall Length) are removed, altered, filled in, or rebuilt. In no event shall new exterior walls exceed more than seventy-five percent of the length of the existing exterior walls as determined by the building official. Nonconforming exterior walls shall not be included in the twenty-five percent remaining calculation;
4. Seventy-five percent or more of the existing interior walls (Lineal Footage of Wall Length) are removed, altered, filled in, or rebuilt. In no event shall new interior walls exceed more than seventy-five percent of the length of the existing interior walls as determined by the building official.

REQUIRED PLANS

- ☒ Floor Plan indicating new walls and existing walls to remain *and* to be removed
- ☒ Roof Plans indicating dimensions, form, and pitch, and the extent of new roofing
- ☒ Site Plans indicating property lines and dimensions, all existing and proposed structures, and existing and proposed setbacks

PROJECT INFORMATION

Property Address: 1220 PE99Y

Project Description: ADD/REN (2 story)

2020-1005
STUDIO THREE DESIGN
'BESS WIERSEMA'

APPELLANT INFORMATION

Name: BESS WIERSEMA Email: BESS C STUDIO-THREE.COM

Address: 638 UNIVERSITY AVE City: LOS GATOS Zip: 95032

Phone: (325) 292-3252

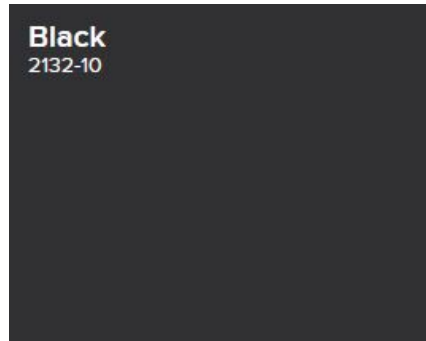
BUILDING OFFICIAL DETERMINATION (FOR CITY USE ONLY)

Remodel and Addition: ☒ New House: ☐

Building Official Signature: [Signature]

Date: 10/28/20

Non-Conforming Setback (Yes/No): _____ Planner: _____



Black
2132-10

Fascia & Gutter, Painted,
Benjamin Moore 2132-10
Black



Simply White
OC-117



Brick Veneer, Painted
Benjamin Moore OC-117
Simply White



Carriage House Door Co.
Wood Garage Door,
Painted Black



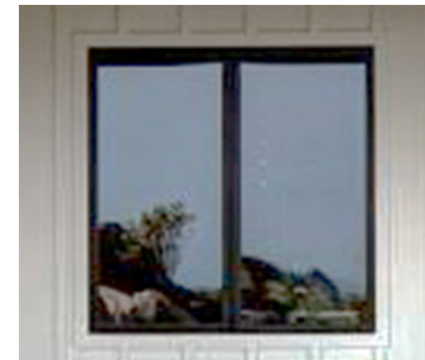
Simply White
OC-117



Vertical Board & Batten Siding,
Painted,
Benjamin Moore OC-117
Simply White



Class A Comp. Asphalt Roofing,
CertainTeed Landmark TL,
Moire Black



Marvin Elevate Windows,
Black Aluminum Clad
Exterior w/Painted Wood
Trim



VIEW 1



VIEW 2



VIEW 3



VIEW 4