



CITY OF CAMPBELL
Community Development Department

March 25, 2022

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 1480 York Ave.

Zoning | Area Plan: R-1-9 / STANP

Neighborhood Association(s): STACC

File No.: PLN-2021-194

APN: 403-18-002

Applicant: Michelle Miner Design

Property Owner: Noam & Elina B Cadouri

Application Type: Admin. Site and Architectural Review Permit

Project Description: Construction of a new two-story home with a two-car attached garage and retention of an existing detached garage that will be converted to an accessory dwelling unit (ADU)



This project will be decided by the Community Development Director, and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 25, 2022 and ends on April 4, 2022. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 PM on **April 4, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's website by scanning the QR code, below.

Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.





Location Map 1480 York Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

| SETBACKS | REQUIRED | PROPOSED |
|-------------|-------------|----------|
| FRONT | 20'-0" | 20'-0" |
| RIGHT | 5'-2" (50%) | 5'-2" |
| RIGHT UPPER | 9'-6" (50%) | 10'-2" |
| REAR | 20'-0" | 46'-0" |
| LEFT | 5'-2" (50%) | 5'-2" |
| LEFT UPPER | 9'-6" (50%) | 13'-5" |

BUILDING HEIGHT 25'-8"
ALLOWABLE HEIGHT 28'-0"



REVISIONS

| REV # | DATE | BY |
|-------|------|----|
| | | |

DESIGNER'S SIGNATURE

Michelle Miner

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEVICES SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MICHELLE MINER DESIGN.

michelle miner
design

18488 Prospect Rd. #6 Saratoga, CA 95070
408.396.0984 Shelminer@aol.com
WWW.MMDesignHomes.Com

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MICHELLE MINER DESIGN, AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MICHELLE MINER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MICHELLE MINER DESIGN PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MICHELLE MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MICHELLE MINER DESIGN.

SPECIAL NOTES

BEFORE YOU START CONSTRUCTION REVIEW ALL SHEETS CAREFULLY. READ THE GREEN CHECKLIST SHEETS AND THE TITLE 24 SHEETS FOR REQUIREMENTS AS RULES HAVE CHANGED AND THERE MAY BE THINGS YOU ARE NOT EXPECTING

SCOPE OF WORK

CONVERT DETACHED GARAGE TO NEW ADU
DEMO EXISTING HOUSE WALLS, LEAVE FOUNDATION
ADD NEW 2 STORY HOME WITH 2 CAR GARAGE
EXISTING HOME IS 2 BEDROOM 1 BATH
NEW HOME IS 5 BEDROOM 3 BATH

ANALYSIS

| | |
|-----------------------|--------------------|
| ASSESSOR'S PARCEL # | 403-18-002 |
| NET LOT AREA: | 1439 S.F. |
| ZONING: | R-1-6 |
| TYPE OF CONSTRUCTION: | V-B |
| OCCUPANCY RATING: | R-3, U |
| EXISTING USE: | SINGLE FAMILY RES. |
| SLOPE OF LOT | FLAT LOT |
| FLOOD ZONE | NO |
| HISTORIC | NO |
| PARKING STALLS | 2 |

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GENERAL NOTES

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MICHELLE MINER DESIGN PRIOR TO COMMENCING.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES IN 5% '0'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE & LANDSCAPED AREA & SLOPE GRADE 2% MIN. & PAVED AREAS.

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIPLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.

ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. MIN. 4" HIGH X 1" WIDE PER CRC R313.

DUCT OPENINGS, TO BE COVERED AND PROTECTION OF MECHANICAL EQUIPMENT TO BE PROVIDED DURING CONSTRUCTION

VOC COMPLIANCE - CAULKS, SEALANTS, ADHESIVES, SHALL BE COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER COMPOUNDS (TABLE 4.804.1)

PAINTS AND COATINGS COMPLIANT WITH VOC LIMITS (TABLE 4.804.3)

AEROSOLS AND COATINGS SHALL BE COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS

VERIFICATION AND DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS

VOC COMPLIANCE - CARPET & CARPET SYSTEMS

80% FLOOR AREA RECEIVING RESILIENT FLOORING MEET VOC-EMISSION LIMITS PER CHFS

PARTICLEBOARD, MDF, HARDWOOD FLOORING COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (TABLE 4.804.5)

MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE

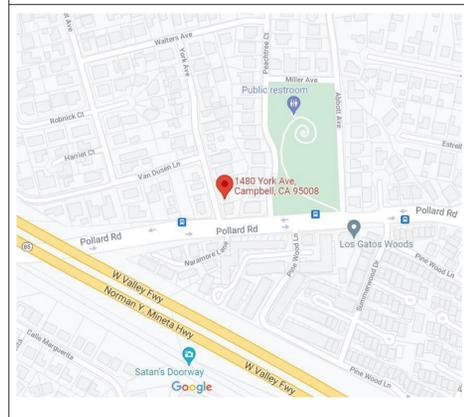
BATHROOM EXHAUST FANS SHALL TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

CONSTRUCTION WASTE MANAGEMENT.
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:
1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE; OR
2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2; OR
3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3; OR
4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION

OPERATION AND MAINTENANCE MANUAL
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

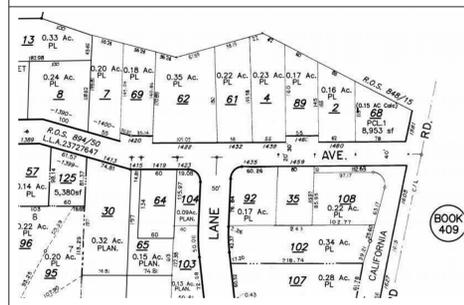
VICINITY MAP



APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:
2019 CALIF. FIRE CODE
2019 CALIF. BLDG CODE
2019 CALIF. RESIDENTIAL CODE
2019 CALIF. MECH. CODE
2019 CALIF. PLUMB'G CODE
2019 CALIF. ELEC. CODE
2019 CALIF. ENERGY CODES
2019 CALIF. GREEN BUILDING CODES
ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

PARCEL MAP



PERSONAE

OWNER
Noam & Elina Cadouri
1480 York Avenue
Campbell, CA 95008

STRUCTURAL ENGINEER
NJM CONSULTING ENGINEERING INC.
2333 SHANNON DR.
SOUTH SAN FRANCISCO, CA 94080
415-676-9996

DESIGNER
MICHELLE MINER DESIGN
MICHELLE MINER
18488 PROSPECT RD. #6
SARATOGA, CA 95070
(408) 396-0984

TITLE 24
FRI ENERGY CONSULTANTS
21 N. HARRISON AVE, SUITE 210
CAMPBELL, CA 95008
408-866-1620

| | |
|----------------------------|-----------|
| EXISTING LIVING: | 740 S.F. |
| EXISTING DETACHED GARAGE: | 525 S.F. |
| TOTAL EXISTING | 1265 S.F. |
| PROPOSED | |
| NEW LOWER FLOOR: | 1420 S.F. |
| NEW UPPER FLOOR: | 1380 S.F. |
| NEW GARAGE: | 455 S.F. |
| COVERED FRONT PORCH: | 50 S.F. |
| TOTAL SQUARE FOOTAGE 44.4% | 3305 S.F. |
| M.F.A.F.A.R. 45% | 3341 S.F. |
| GARAGE CONVERTED TO ADU: | 525 S.F. |
| COVERAGE | |
| NEW LOWER FLOOR: | 1420 S.F. |
| NEW GARAGE: | 455 S.F. |
| COVERED FRONT PORCH: | 50 S.F. |
| BACK PATIO: | 250 S.F. |
| DRIVES AND WALKS: | 785 S.F. |
| TOTAL COVERAGE 39.7% | 2960 S.F. |
| ALLOWABLE COVERAGE 40% | 2975 S.F. |

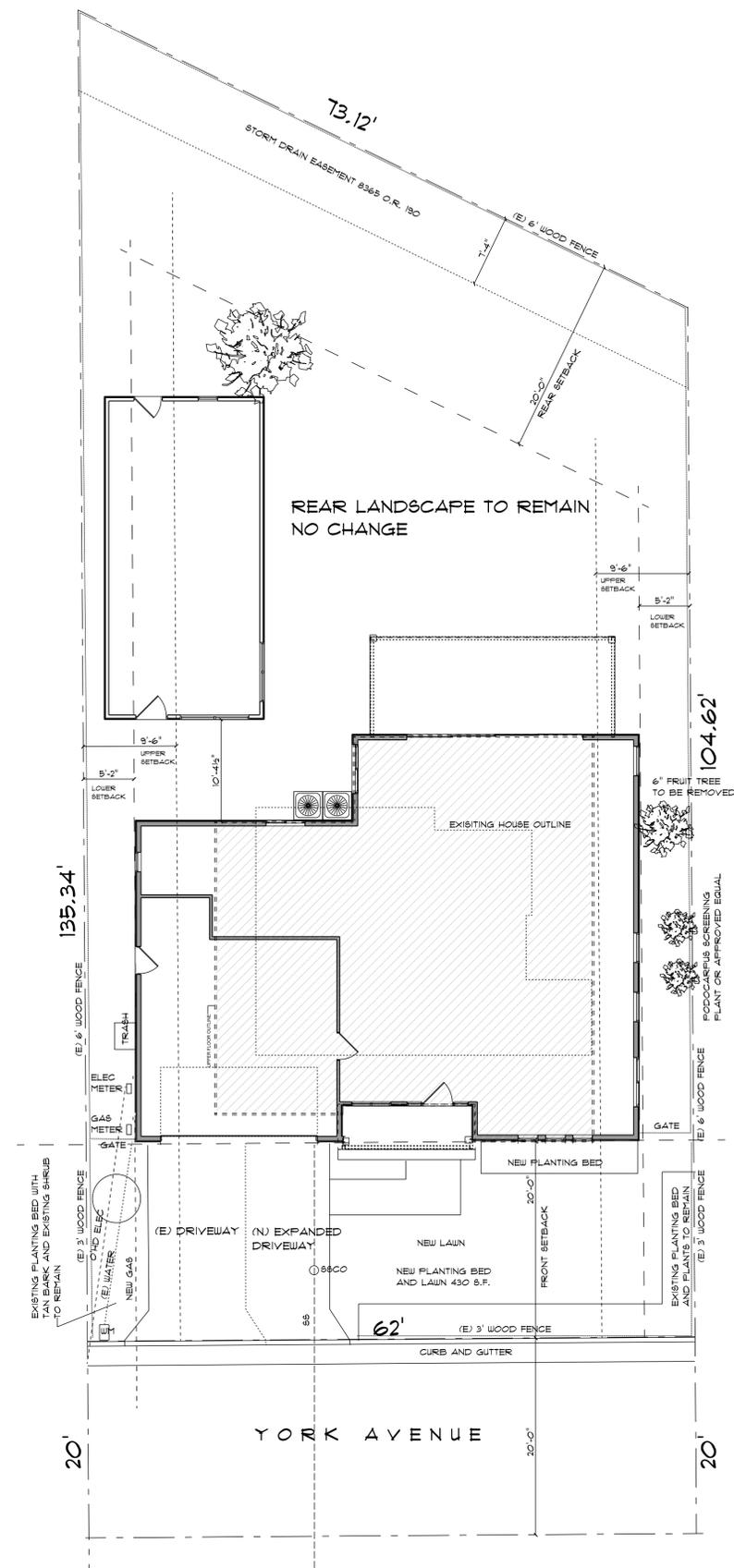
DEFERRED SUBMITTALS

FIRE SPRINKLERS REQUIRED
1. FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS - NOTE THAT PER CRC 313.3.7. A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUT OFF VALVE TO THE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING: THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS, AND AUTOMATIC SHUT OFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."

2. CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

Noam & Elina Cadouri
1480 York Avenue, Campbell, CA 95008
cadouri@gmail.com

| | |
|---------|-----------|
| DRAWN | NM |
| CHECKED | NM |
| DATE | 9/28/2021 |
| SCALE | AS SHOWN |
| JOB NO. | |
| PAGE: | 1/11 |



SITE PLAN NOTES

- SITE GRADING AND PAVING WILL MANAGE SURFACE WATER AWAY FROM BUILDINGS
- EXISTING PUBLIC RIGHT OF WAY - ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- WATER METER - CONTRACTOR TO COORDINATE IN 1 METER WITH LOCAL WATER COMPANY. IF REQUIRED BY INCREASED FIXTURE LOAD.
- ELECTRICAL METER LOCATION - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE TO (E) ELECTRICAL SERVICE IF APPLICABLE.
- UPPER GROUND CONNECTION PER CEC 260-92 IF APPLICABLE.
- (E) TREES TO REMAIN - PROTECTED AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE AIRPORTS REPORTS IF PROVIDED FOR ADDITIONAL INFORMATION.
- HARDSCAPE SLOPE AWAY FROM HOUSE AT 2% MIN.
- (N) 36" MIN. DEEP LEVEL LANDING PER CRC 313.3.2 STEPS 7 MAX 1.75 RISE 1 - PROVIDE EQUAL RISES IF MORE THAN ONE STEP.
- (N) A/C UNIT CONDENSER PAD(S) PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED. VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. A/C UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE IF APPLICABLE.
- CURB CUT PER LOCAL JURISDICTION STANDARDS DETAIL IF APPLICABLE.

SITE PLAN
 SCALE: 1/8" = 1'-0"

| REVISIONS | | |
|-----------------------|------|----|
| REV # | DATE | BY |
| | | |
| DESIGNER'S SIGNATURE | | |
| <i>Michelle Miner</i> | | |

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 cadouri@gmail.com

| | |
|-----------|-----------|
| DRAWN | MM |
| CHECKED | MM |
| DATE | 9/28/2021 |
| SCALE | AS SHOWN |
| JOB NO. | |
| PAGE: | 2/11 |
| SITE PLAN | |

LEGEND

- T = TREE (APPROX. DIA. @ BREAST HEIGHT)
- AD = AREA DRAIN
- AP = ANGLE POINT
- BC = BUILDING CORNER
- BFP = BACK FLOW PREVENTER
- BL = BUILDING LINE
- BOL = BOLLARD
- BW = BOTTOM OF WALL
- C = TOP OF CURB
- CB = CATCH BASIN
- CL = CENTER LINE
- COL = COLUMN
- CONC = CONCRETE
- DI = DRAIN INLET
- DL = DAYLIGHT
- DW = DRIVEWAY
- E/ = EDGE OF
- EB = ELECTRIC BOX
- EP = EDGE OF PAVEMENT
- F = FENCE
- FDC = FIRE DEPARTMENT CONNECTION
- FF = FINISH FLOOR
- FH = FIRE HYDRANT
- FL = FLOW LINE
- G = GAS LINE
- GB = GRADE BREAK
- GL = GUTTER LIP
- GM = GAS METER
- GP = GATE POST
- GR = GROUND ELEVATION
- GUY = GUY WIRE
- GV = GAS VALVE
- HB = HOSE BID
- HCR = HANDICAP RAMP
- INV = INVERT
- JP = JOINT POLE
- JP/C = JOINT POLE W/CONDUIT
- MB = MAILBOX
- P = PAVEMENT
- PP = POWER POLE
- PBB = PACIFIC BELL BOX
- POE = PACIFIC GAS AND ELECTRIC
- PLMR = PLANTER
- POC = POINT ON CURVE
- RET = RETURN
- RMP = RAMP
- R/W = RIGHT OF WAY
- S = SIGN
- SD = STORM DRAIN LINE
- SSMH = STORM DRAIN MANHOLE
- SL = STREET LIGHT
- SLB = STREET LIGHT BOX
- SSL = SANITARY SEWER LINE
- SSMH = SANITARY SEWER MANHOLE
- SSCO = SANITARY SEWER CLEAN OUT
- STR = STAIRS
- T = TOP OF SLOPE
- TEL = UNDERGROUND TELEPHONE LINE
- TEL = OVERHEAD TELEPHONE & ELECTRIC
- T/C = TOP OF CONCRETE
- TW = TOP OF WALL
- UB = UTILITY BOX
- VC = VALLEY GUTTER
- W = WATER LINE
- WL = WALK
- WM = WATER METER
- WV = WATER VALVE

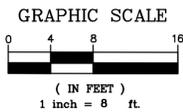
VAN DUSEN LN.
(50' STREET R/W)

YORK AVENUE
(STREET R/W VARIES)

POLLARD ROAD
(STREET R/W VARIES)

GENERAL NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
2. CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
3. BASIS OF BEARINGS: THE CALCULATED BEARING N15°03'31"W BETWEEN TWO FOUND MONUMENTS ON YORK AVENUE AS SHOWN ON THE RECORD OF SURVEY, FILED OCTOBER 24, 2011, IN BOOK 848 OF R.O.S. AT PAGE 15, SANTA CLARA COUNTY RECORDS.
4. BENCHMARK: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), ESTABLISHED BY AN RTK GPS SURVEY, REFERENCED TO THE TOPNET LIVE REAL TIME GNSS REFERENCE NETWORK.
5. BOUNDARY LINES ARE APPROXIMATE ONLY, AND ARE BASED ON AVAILABLE RECORD INFORMATION.
6. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.



Patrick M. Reid
 PATRICK M. REID
 L.S. # 8178
 DATE

PRECISE GRADING PLAN

FOR CADOURI RESIDENCE

1480 YORK AVE., CAMPBELL, CA 94564

OWNER/SUBDIVIDER:

NOAM CADOURI
1480 YORK AVE.
CAMPBELL, CA 94564

CADOURI RESIDENCE

TITLE SHEET

PROJECT ADDRESS
1480 YORK AVE.,
CAMPBELL, CA 94564

EROSION CONTROL

- TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
- EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15.
- BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
- TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

REQUIRED INSPECTIONS

- A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
- A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.

GRADING FILLS/CUTS

- GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
- AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
- FILLS SHALL BE KEYED OR BENCHED INTO COMPETENT MATERIAL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OF, OR POSSIBILITY OF FUTURE ACCUMULATION OF, SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
- ALL TRENCH BACKFILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION, AND APPROVED BY THE SOILS ENGINEER. THE BUILDING DEPARTMENT MAY REQUIRE CORING OF CONCRETE FLAT WORK PLACED OVER UNTESTED BACKFILLS TO FACILITATE TESTING.
- THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
- LANDSCAPING OF ALL SLOPES AND PADS SHALL BE IN ACCORDANCE WITH CHAPTER 15 OF THE NDMC.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND AND SUBMIT NECESSARY TREATMENT TO THE BUILDING DEPARTMENT FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL OBTAIN APPROVAL OF DESIGN, LOCATION AND CALCULATIONS FROM THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL INSPECT AND TEST THE CONSTRUCTION OF ALL BUTTRESS FILLS AND ATTEST TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS DURING GRADING.
- NOTIFICATION OF NONCOMPLIANCE: IF, IN THE COURSE OF FULFILLING THEIR RESPONSIBILITY, THE CIVIL ENGINEER, THE SOILS ENGINEER, THE ENGINEERING GEOLOGIST OR THE TESTING AGENCY FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERSON IN CHARGE OF THE GRADING WORK AND TO THE BUILDING INSPECTOR. RECOMMENDATIONS FOR CORRECTIVE MEASURES, IF NECESSARY, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

OFFSITE IMPROVEMENT NOTICE

- AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (MUNICIPAL CODES 14.24.020 AND 14.08.030). SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORK INSPECTOR. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PUBLIC RIGHT OF WAY AT ALL TIMES DURING THE CONSTRUCTION PROJECT. A STOP WORK NOTICE MAY BE ISSUED FOR ANY DAMAGE OR UNMAINTAINED PORTION OF THE PUBLIC RIGHT OF WAY.
- AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.
- ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN "A" LICENSED GENERAL ENGINEERING CONTRACTOR.

DOCUMENTATION

- AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
- A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
- A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

ENGINEER'S NOTICE TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITY AND/OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONARY MEANS TO PROTECT THE UTILITIES OF RECORD OR NOT THE RECORD OR NOT SHOWN ON THESE PLANS.
- RELOCATION OR REMOVAL OF ANY EXISTING UTILITIES SHALL BE PERFORMED BY THE RESPECTIVE UTILITY OWNERS, AT THE EXPENSE OF THE DEVELOPER.
- THE GRADING CONTRACTOR SHALL SATISFY HIMSELF AS TO THE GRADING QUANTITY AS SHOWN ON THIS PLAN AS PART OF HIS BID.
- IT IS REQUESTED THAT THE GRADING CONTRACTOR NOTIFY THIS PRIVATE ENGINEER BY CALLING AT LEAST 48 HOURS BEFORE COMPLETION OF THE GRADING OPERATION IN ORDER THAT THIS OFFICE MAY PERFORM A FINAL INSPECTION WITH OUR GRADE CERTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- UNAUTHORIZED CHANGES AND USES: THE ENGINEER PREPARING THESE PLAN WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PROJECT ENGINEER OF WORK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

ADDITIONAL NOTE

- SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSET BEFORE STARTING GRADING.
- IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY THE SURVEY CREW UNDER HIS DIRECT SUPERVISION.

SHEET INDEX

| | |
|---------------------------------|-----|
| TITLE SHEET | C-1 |
| PRECISE GRADING & DRAINAGE PLAN | C-2 |
| UTILITY PLAN | C-3 |
| EROSION CONTROL PLAN | C-4 |

EARTH WORK QUANTITY

| | | |
|---------------------------------|----|------|
| CUT | 43 | C.Y. |
| FILL | 17 | C.Y. |
| IMPORT | 0 | C.Y. |
| EXPORT | 26 | C.Y. |
| OVEREXCAVATION AND RECOMPACTION | 21 | C.Y. |

| | | |
|------------------------|-------|-------|
| LOT SIZE: | 7,439 | SQ-FT |
| TOTAL IMPERVIOUS AREA: | 3,199 | SQ-FT |

NOTE:

QUANTITIES SHOWN HERE ON ARE FOR PERMIT AND/OR BONDING PURPOSE ONLY.

ARCHITECT

MICHELLE MINER
18488 PROSPECT ROAD #6
SARATOGA, CA 95070
EMAIL: SHELMINER@AOL.COM

CIVIL ENGINEER

W.H. CIVIL ENGINEERING INC.
NORTH CA: 1590 OAKLAND RD., SUITE B112
SAN JOSE, CA 95131
SOUTH CA: 25 MAULCHLY, SUITE 323
IRVINE, CA 92618

BENCH MARK

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), ESTABLISHED BY AN RTK GPS SURVEY REFERENCED TO THE TOPNET LIVE REAL TIME GNSS REFERENCE NETWORK.

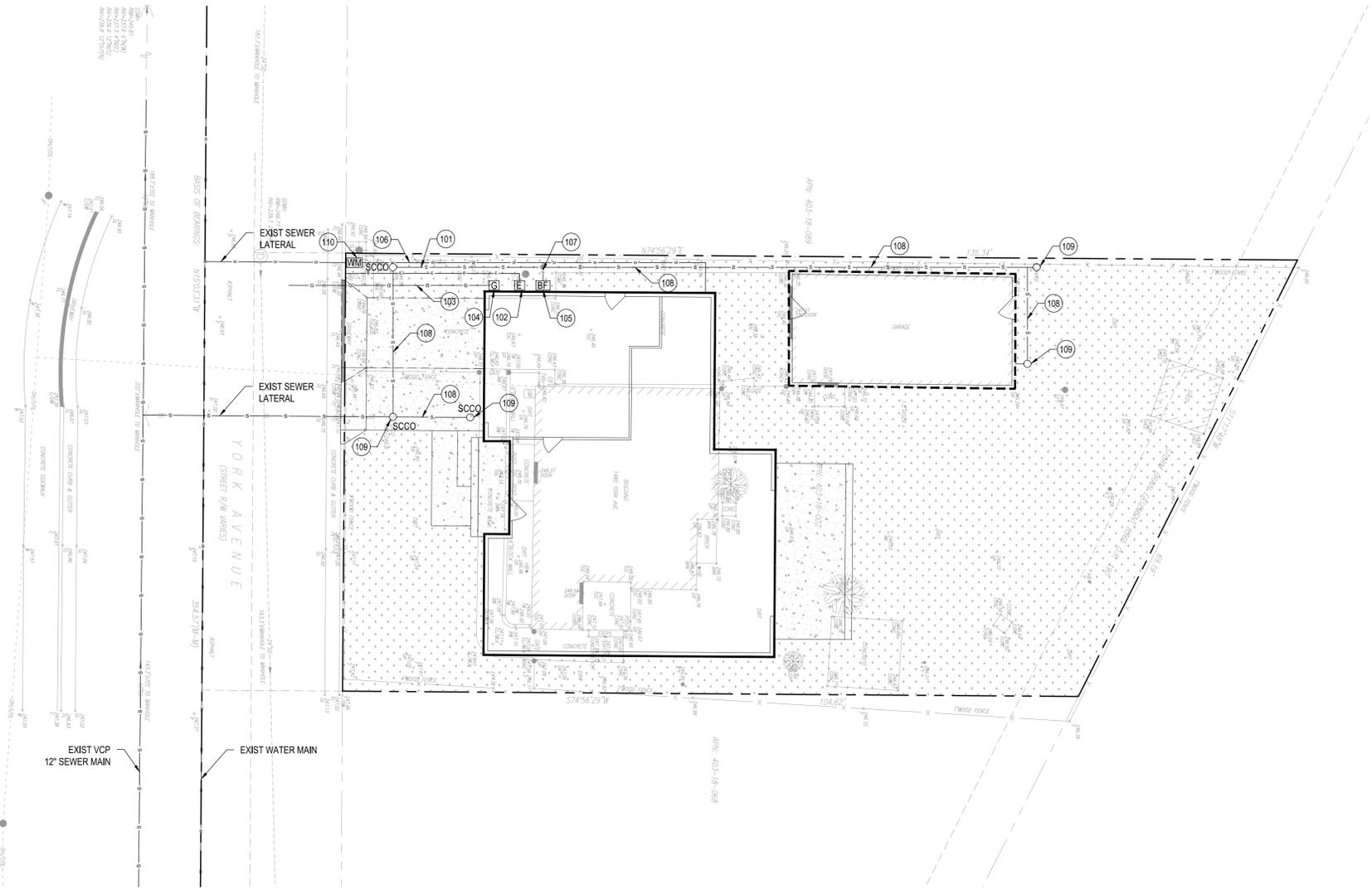
BASIS OF BEARING

THE CALCULATED BEARING N15°03'31"W BETWEEN TWO FOUND MONUMENTS ON YORK AVENUE AS SHOWN ON THE RECORD OF SURVEY, FILED OCTOBER 24, 2011, IN BOOK 848 OF R.O.S. AT PAGE 15, SANTA CLARA COUNTY RECORDS.



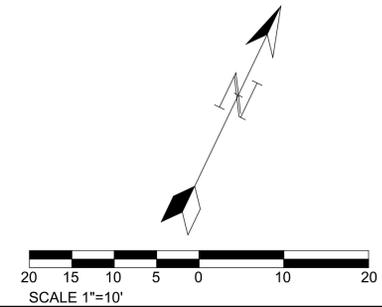
UTILITY PLAN

SCALE 1"=10'



- CONSTRUCTION NOTE**
- 101 RELOCATE EXIST OVERHEAD ELECTRICAL LINE TO NEW ELECTRICAL PANEL.
 - 102 PROPOSED ELECTRICAL PANEL PER MEP PLAN.
 - 103 PROPOSED PRIVATE GAS LATERAL.
 - 104 PROPOSED GAS METER PER MEP PLAN.
 - 105 PROPOSED FIRE BACK FLOW PER MEP PLAN.
 - 106 PROPOSED 3/4" WATER LINE LATERAL TO CONNECT TO EXIST WATER METER.
 - 107 PROPOSED FIRE LINE SIZE PER CONSULTANT REQUIREMENT.
 - 108 PROPOSED 4" DIA. SDR 35 SEWER LATERAL MINIMUM H SLOPE.
 - 109 PROPOSED SEWER CLEANOUT.
 - 110 EXIST WATER METER TO REMAIN IN PLACE.

- LEGEND**
- SCCO SEWER CLEANOUT
 - S SEWER LINE
 - WM WATER METER
 - W WATER LINE
 - E ELECTRICAL LINE
 - G GAS LINE
 - F FIRE LINE
 - G GAS METER
 - E ELECTRIC METER
 - BF WATER BACKFLOW DEVICE



OWNER/SUBDIVIDER:
NOAM CADOURL
1480 YORK AVE.
CAMPBELL, CA 94564

**CADOU RESIDENCE
UTILITY PLAN
PROJECT ADDRESS
1480 YORK AVE.,
CAMPBELL, CA 94564**

PLANS PREPARED BY:
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SOUTH CA 25 MAULCHLY, SUITE 333, IRVINE, CA 92618
INFO@WHENGINEERINGGROUP.COM

W.H. ENGINEERING GROUP
REGISTERED PROFESSIONAL ENGINEER
NO. 51313
EXPIRES 06/30/2025
STATE OF CALIFORNIA

DATE: 09/27/2021

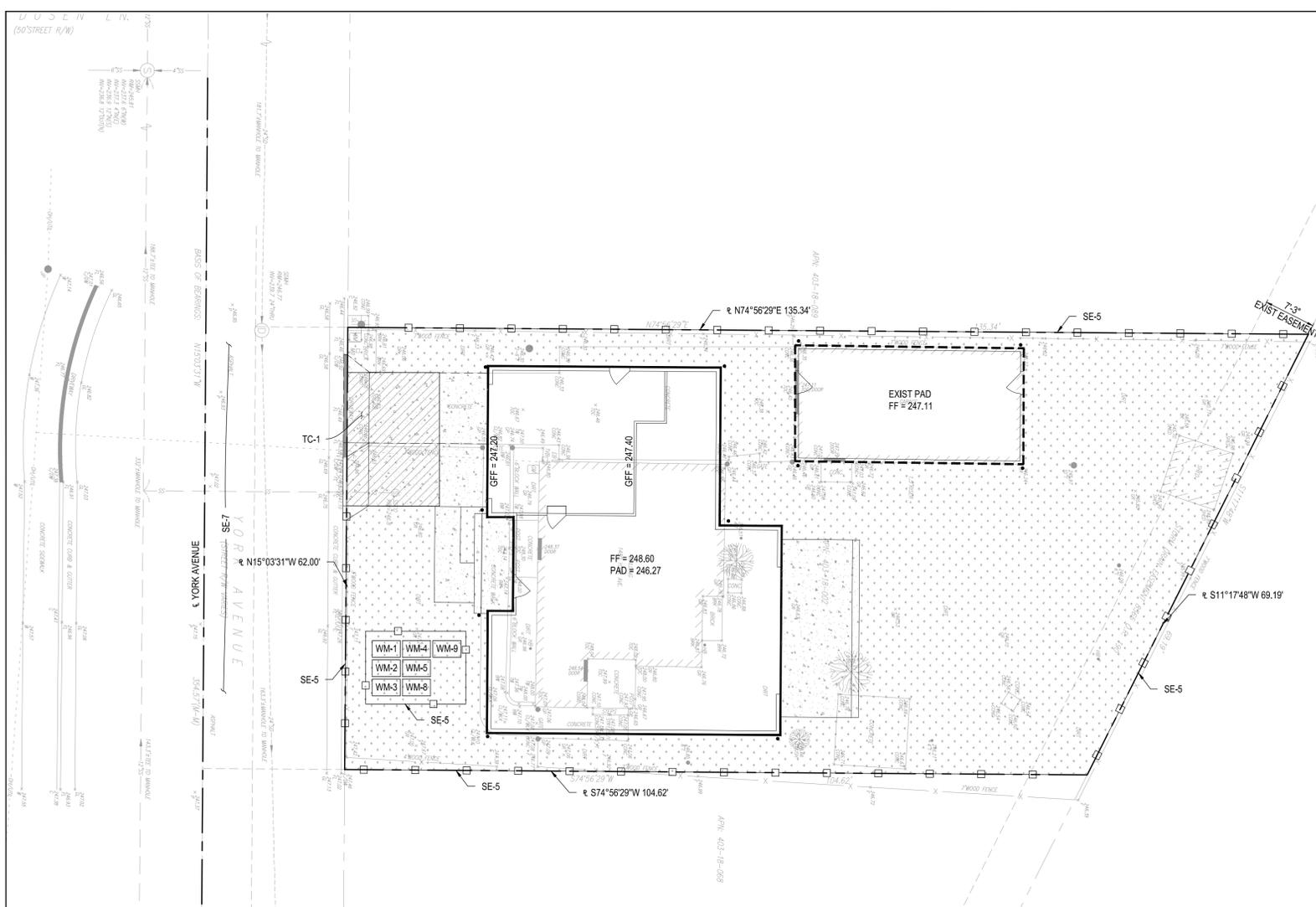


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| DESIGNER | DESIGNED BY: | DRAFTED BY: | APPROVED BY: |
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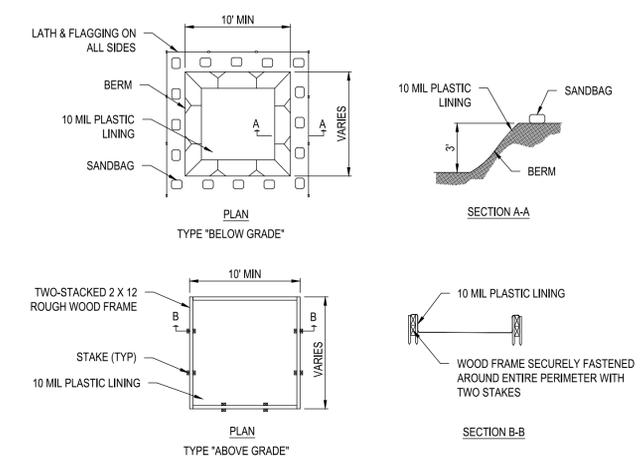
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PROJECT NO.:
202136

SHEET NO.:
C-3

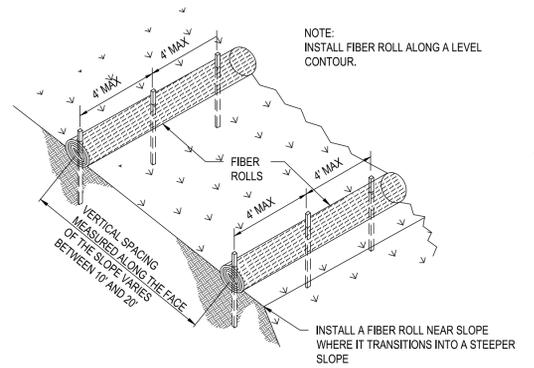


EROSION CONTROL PLAN
SCALE 1"=10'

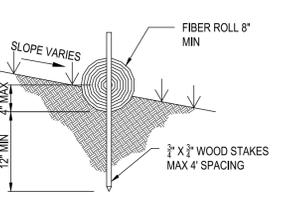


NOTES:
1. ACTUAL LAYOUT DETERMINES IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

DETAIL CONCRETE WASTE MANAGEMENT
NOT TO SCALE



DETAIL FIBER ROLLS
NOT TO SCALE



DETAIL STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

| EROSION CONTROL BMPS | | |
|--|---------------------------------------|--|
| EC-1 | SCHEDULING | SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION. |
| TEMPORARY SEDIMENT CONTROL | | |
| SE-1 | SILT FENCE | INSTALL SILT FENCES ALONG LEVEL CONTOURS BEYOND THE DISTURBED AREA LIMITS. |
| SE-2 | SEDIMENT BASIN | CONSTRUCT SEDIMENT BASINS WHERE SHOWN ON THE PLANS. BASIN WITHIN THE DEVELOPMENT LIMITS ARE TEMPORARY UNTIL PRECISE GRADING COMMENCES. |
| SE-5 | FIBER ROLLS | INSTALL WHERE SHOWN ON PLAN. |
| SE-6 | GRAVEL BAG BERM | INSTALL WHERE SHOWN ON PLAN. |
| SE-7 | STREET SWEEPING AND VACUUMING | STREET SHALL BE SWEEPED, SEDIMENT COLLECTED, AND DISPOSED OF OFF-SITE ON A DAILY BASIS. |
| SE-10 | STORM WATER INLET PROTECTION | ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM. |
| WIND EROSION CONTROL BMPS | | |
| WE-1 | WIND EROSION CONTROL | WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE ON THE ROUGH GRADED PADS AND ANY STOCKPILE AREAS. |
| TRACKING CONTROL | | |
| TC-1 | STABILIZED CONSTRUCTION EXIT | RUMBLE RACK SHALL BE PLACED ON THE DRIVEWAY TO ENSURE THAT ALL VEHICLES LEAVING THE SITE PASS OVER THE DEVICES BEFORE ENTERING THE PUBLIC STREET. |
| NON-STORMWATER MANAGEMENT | | |
| NS-1 | WATER CONSERVATION PRACTICES | MAINTAIN WATER EQUIPMENT TO PREVENT NON-STORMWATER DISCHARGES. |
| NS-3 | PAVING AND GRADING OPERATIONS | APPLY PARAMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGE. |
| NS-6 | ILLCIT CONNECTION / ILLEGAL DISCHARGE | CONTRACTOR SHALL REPORT ILLICIT CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE RESIDENT ENGINEER IMMEDIATELY AND CONTRACTOR SHALL TAKE NO FURTHER ACTION UNTIL THE RESIDENT ENGINEER PROVIDE A RESPONSE/ |
| NS-7 | POTABLE WATER / IRRIGATION | EXCISE CARE DURING CONSTRUCTION TO PREVENT NON-STORMWATER DISCHARGES. |
| NS-8 | VEHICLE AND EQUIPMENT CLEANING | ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE. |
| NS-9 | VEHICLE AND EQUIPMENT FUELING | ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE. |
| NS-10 | VEHICLE AND EQUIPMENT MAINTENANCE | ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE. |
| NS-12 | CONCRETE CURING | APPLIES TO ALL CONCRETE CONSTRUCTION. |
| NS-13 | CONCRETE FINISHING | APPLIES TO ALL CONCRETE CONSTRUCTION. |
| WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL | | |
| WM-1 | MATERIAL DELIVERY AND STORAGE | MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS. |
| WM-2 | MATERIAL USE | MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION. |
| WM-3 | STOCKPILE MANAGEMENT | MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL. |
| WM-4 | SPILL PREVENTION AND CONTROL | AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES. |
| WM-5 | SOLID WASTE MANAGEMENT | SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY. |
| WM-8 | CONCRETE WASTE MANAGEMENT | AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY. |
| WM-9 | SANITARY / SEPTIC WASTE MANAGEMENT | ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. |

OWNER/SUBDIVIDER:
NOAM CADOURL
1480 YORK AVE.
CAMPBELL, CA 94564

CADOURI RESIDENCE
EROSION CONTROL PLAN
PROJECT ADDRESS
1480 YORK AVE.,
CAMPBELL, CA 94564

PLANS PREPARED BY:
W.H. ENGINEERING GROUP
NORTH CA 1590 OAKLAND RD., SUITE 112, SAN JOSE, CA 95131
SOUTH CA 25 MAULCHLY, SUITE 333, IRVINE, CA 92618
INFO@WHENGINEERINGGROUP.COM

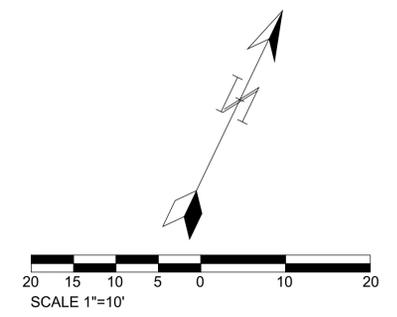
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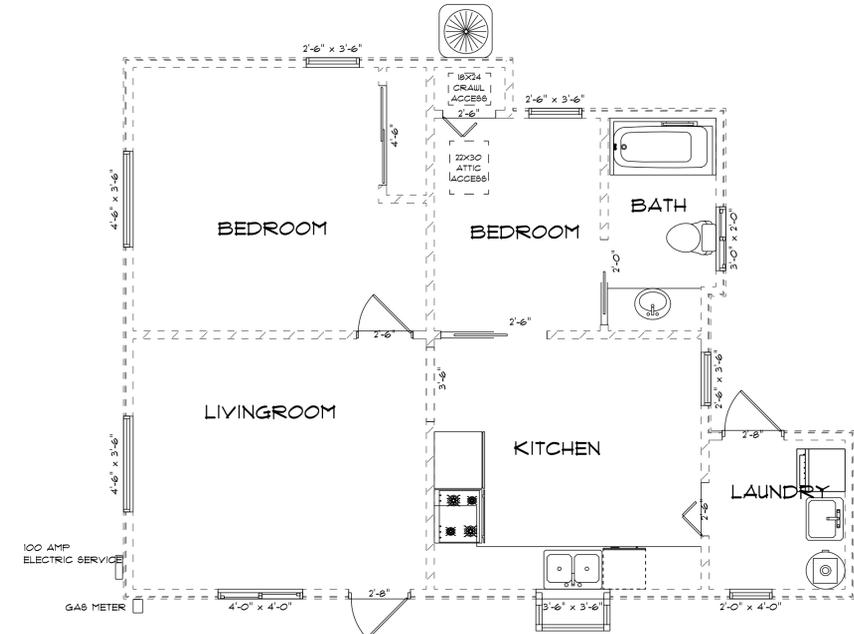
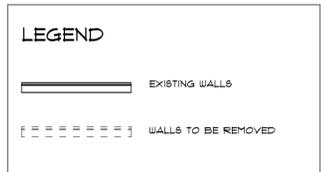
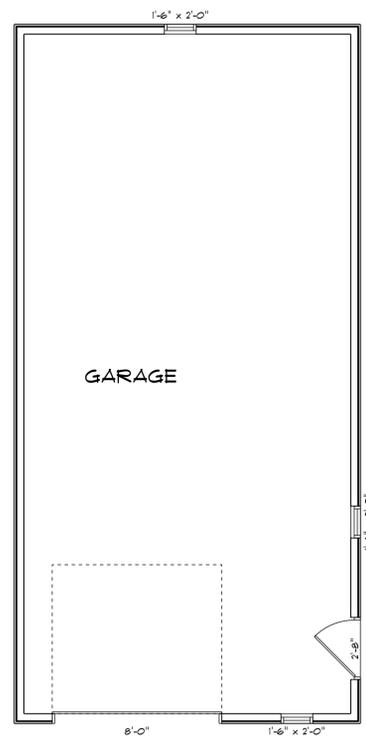
REGISTERED PROFESSIONAL ENGINEER
NO. 51347
EXPIRES 09/30/2024
STATE OF CALIFORNIA

| DESIGNER | DESIGNED BY | DRAFTED BY | CHECKED BY |
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| NO. | DATE | REVISIONS |
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PROJECT NO.: 202136
SHEET NO.: C-4





EXISTING FLOOR PLAN / DEMO PLAN

SCALE: 1/4" = 1'-0"

| REVISIONS | | |
|---|------|----|
| REV # | DATE | BY |
| | | |
| DESIGNER'S SIGNATURE | | |
| <i>Michelle Miner</i> | | |
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 408.396.0984 Shelminer@aol.com
 WWW.MMDesignHomes.Com

Noam & Elina Cadouri
 1480 York Avenue, Campbell, CA 95008
 cadouri@gmail.com

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| PAGE: | 4/11 |

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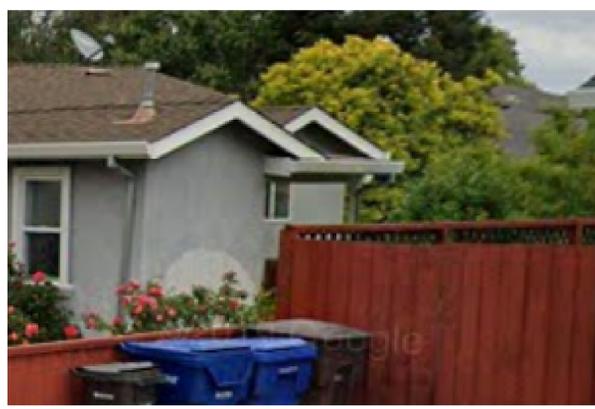
FRONT



REAR



LEFT SIDE



RIGHT SIDE



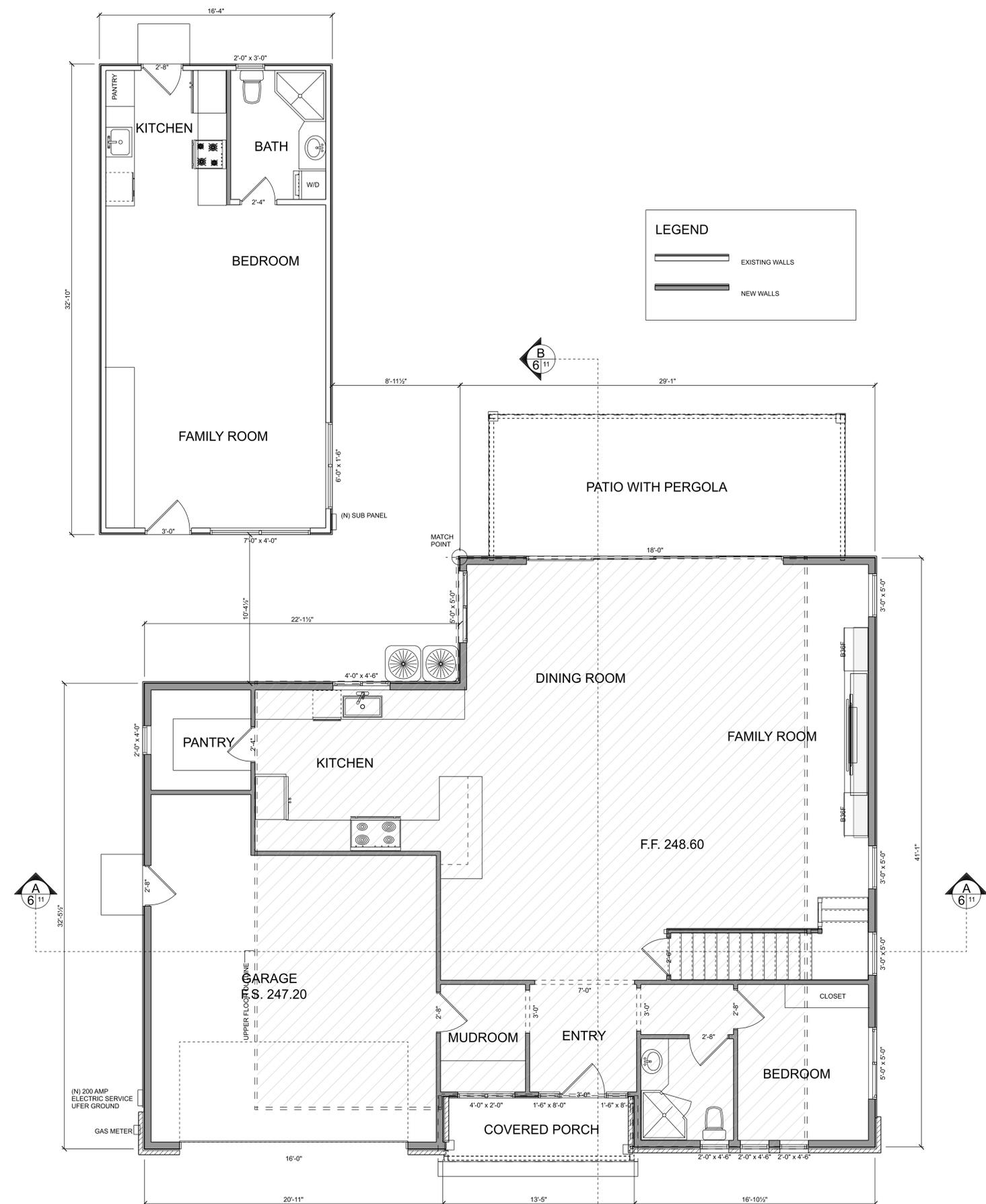
RIGHT SIDE

SITE PHOTOGRAPHY SHEET

SCALE: 1/8" = 1'-0"

Noam & Elina Cadouri
 1480 York Avenue, Campbell, CA 95008
 cadouri@gmail.com

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| DATE | 9/28/2021 |
| SCALE | AS SHOWN |
| JOB NO. | |



LEGEND

— EXISTING WALLS

— NEW WALLS

NEW LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

| REVISIONS | | |
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| | | |
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| NEW LOWER FLOOR PLAN | |

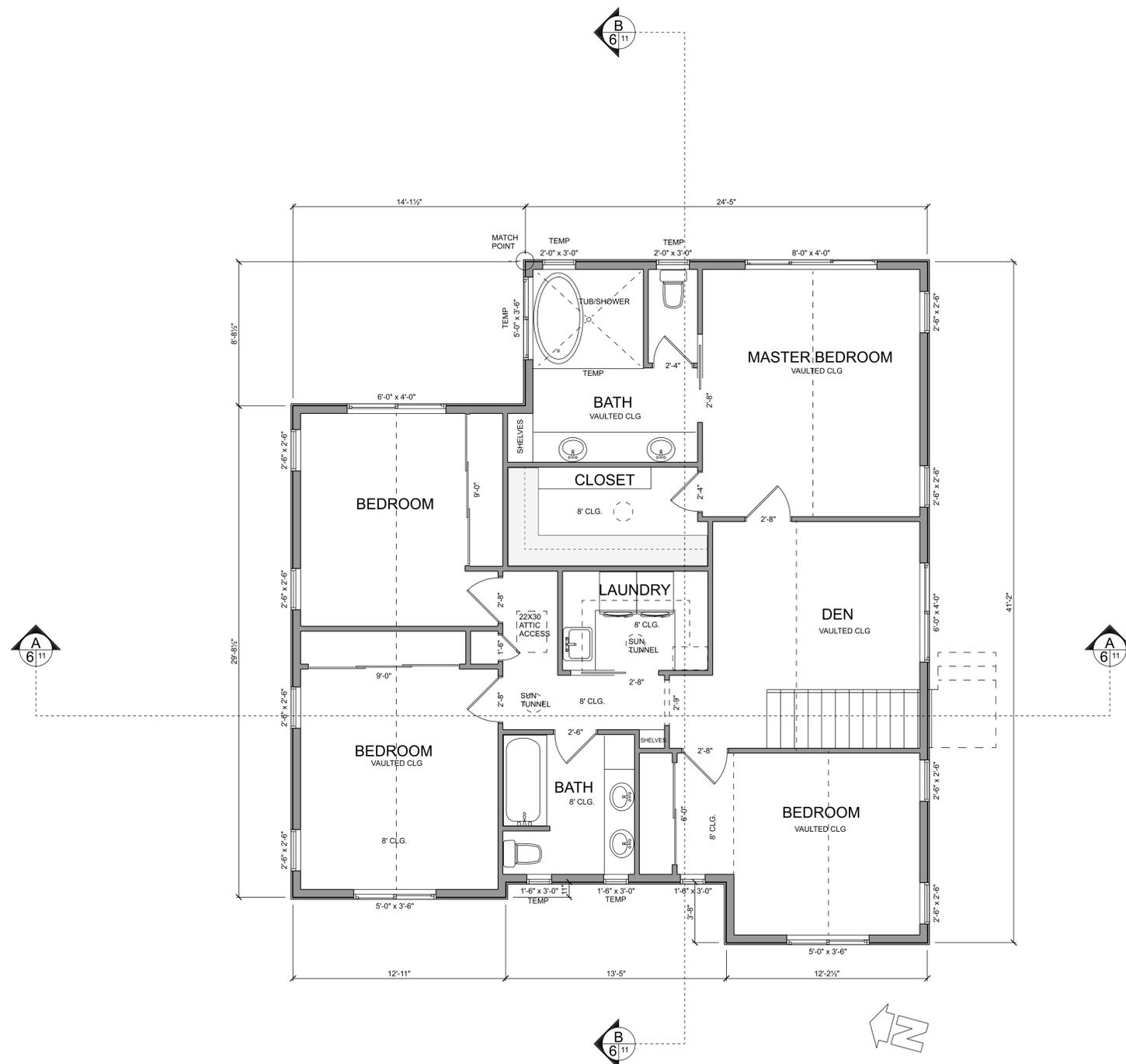
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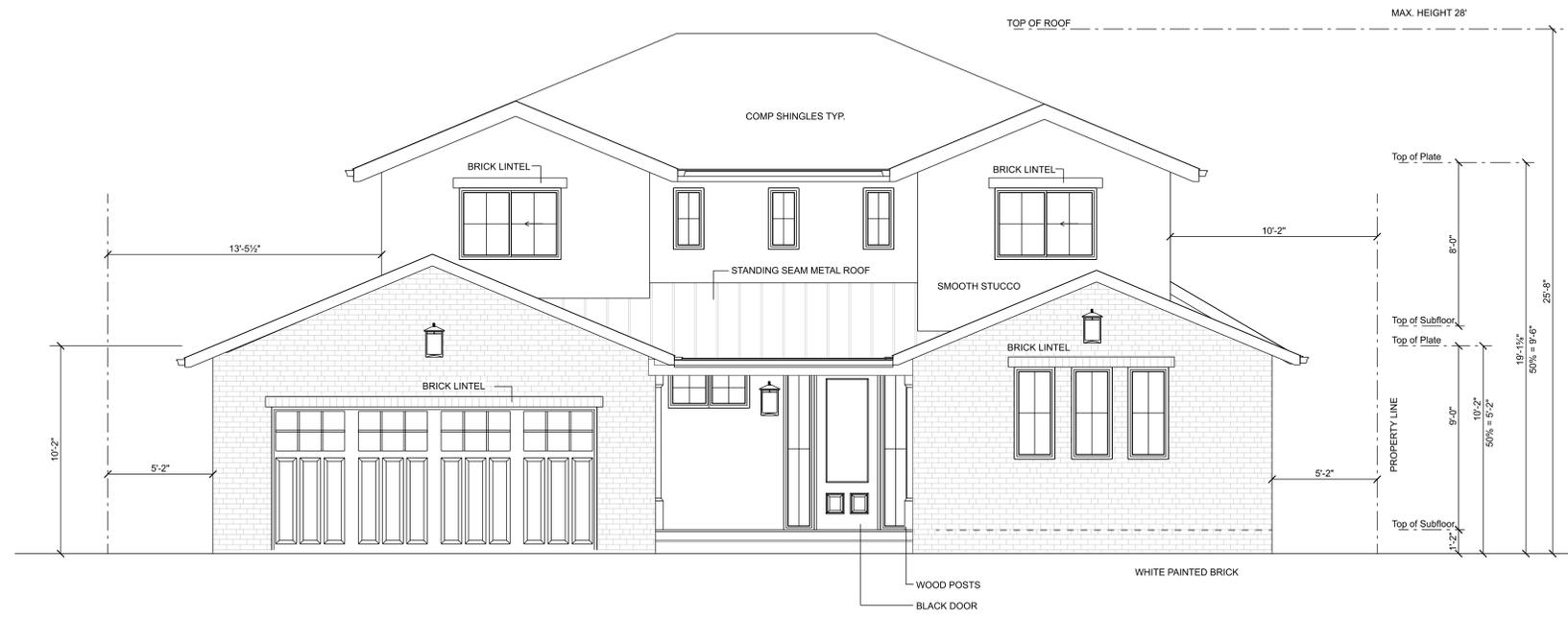
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| NEW UPPER FLOOR | |



NEW UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1/4" FRONT ELEVATION



1/4" REAR ELEVATION

| REVISIONS | | |
|-----------|------|----|
| REV # | DATE | BY |
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DESIGNER'S SIGNATURE
Michelle Miner

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| PAGE: 8/11 |
| EXTERIOR ELEVATIONS |



1/4" RIGHT SIDE ELEVATION



1/4" LEFT SIDE ELEVATION

REVISIONS

REV # DATE BY

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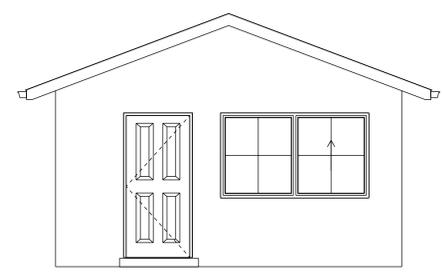
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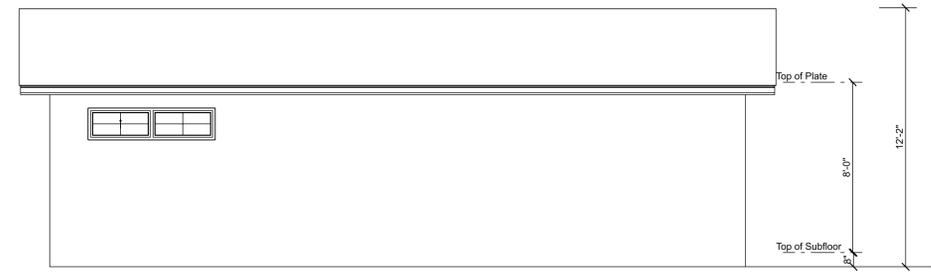
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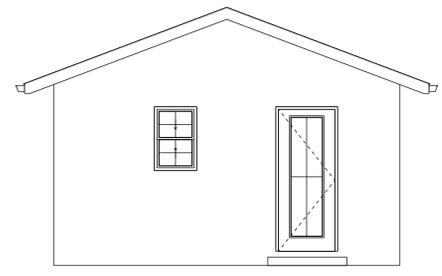
STREETSCAPE
SCALE: 1/8" = 1'-0"



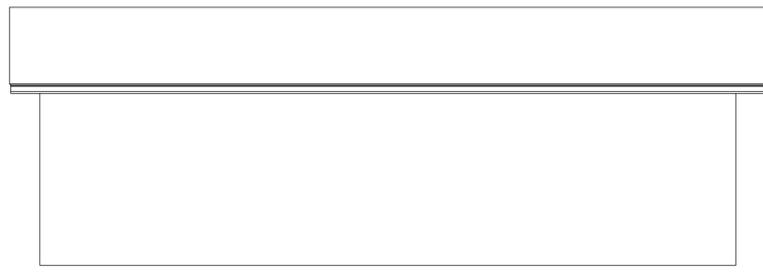
1/4" FRONT ELEVATION



1/4" RIGHT SIDE ELEVATION



1/4" REAR ELEVATION



1/4" LEFT SIDE ELEVATION

ADU ELEVATIONS

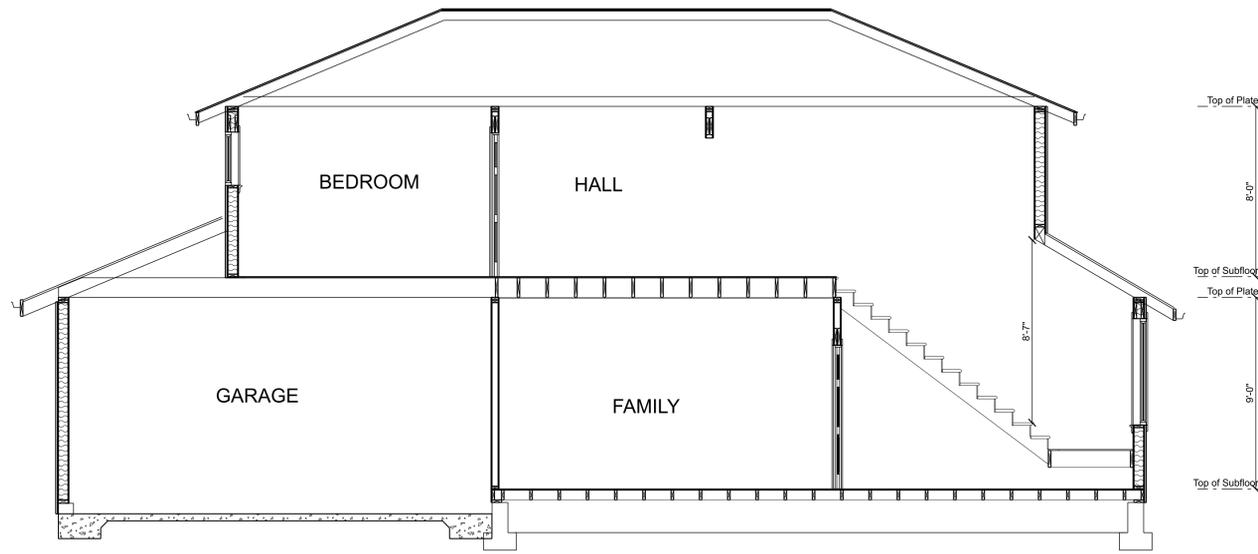
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| | | |
| DESIGNER'S SIGNATURE | | |
| <i>Michelle Miner</i> | | |
| <small>THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, SHOWN OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION MICHELLE MINER DESIGN.</small> | | |



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| | |
|---------|-----------|
| DRAWN | MM |
| CHECKED | MM |
| DATE | 9/28/2021 |
| SCALE | AS SHOWN |
| JOB NO. | |

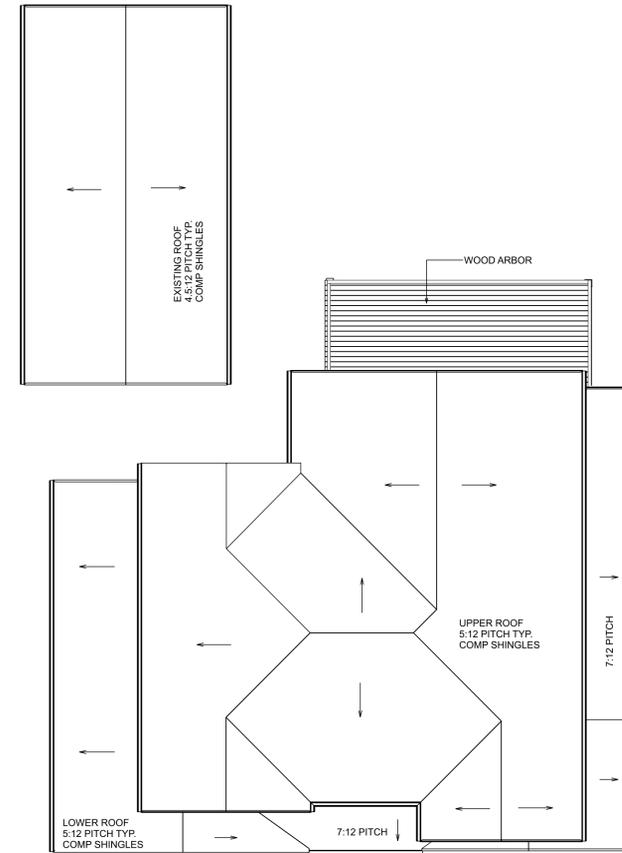


CROSS SECTION A
 SCALE: 1/4" = 1'-0"

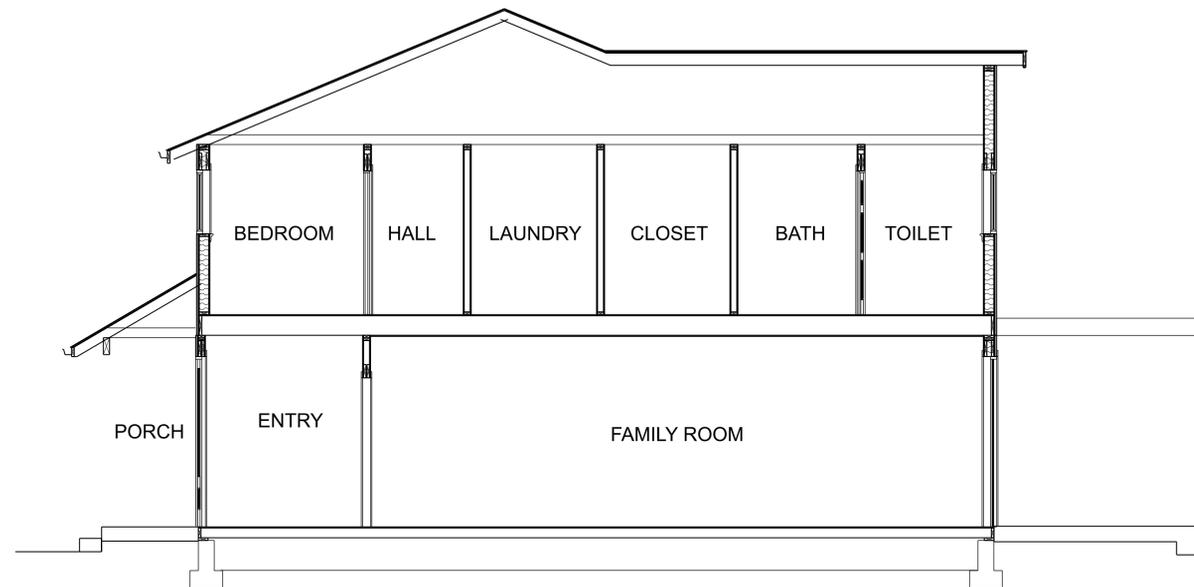
The 2019 California Building Code (CBC) requires installation of a photovoltaic system on all new homes.

ROOF PLAN NOTES

- ROOFING:
 CLASS "A" COMPOSITION SHINGLES,
 COLOR TO BE SELECTED BY OWNER.
 OVER 30 LB. ROOFING
 FELT, INSTALL PER MANUF.
 SPECS.
- BUILT-UP ROOF, CLASS "A"
 28 LB. BASE PLY, ATTACHED
 MECHANICALLY 3" OC EDGES,
 AND 18" OC FIELD. INNER PLYS,
 11 LB. FELT 1/4" MIN. 28 LB. MOFFING,
 18 LB. MINERAL SURFACE CAP SHEET.
- FLASHING & COUNTERFLASHING:
 26 GAUGE STEEL U.O.N., AS
 REQUIRED AT JUNCTURE OF
 ROOF AND VERTICAL SURFACES.
 SEE SHEET METAL NOTES ON
 SHEET 5F.
- VALLEY FLASHING:
 26 GAUGE GALV. STEEL OVER
 18 LB. FELT. CRICKETS SIMILAR.
- DOWNSPOUTS:
 2 1/4" DIA. ROUND GALV.
 STEEL DOWNSPOUTS. PROVIDE
 BASKET STRAINER AND SPLASH-
 BLOCK AT EACH DOWNSPOUT.
- GUTTERS:
 5" GALV. STEEL GUTTER



ROOF PLAN
 SCALE: 1/8" = 1'-0"



CROSS SECTION B
 SCALE: 1/4" = 1'-0"

REVISIONS

| REV # | DATE | BY |
|-------|------|----|
| | | |

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