



CITY OF CAMPBELL
Community Development Department

March 25, 2022

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 1093 Normandy Dr
Zoning | Area Plan: R-1-8 | CVNP
Neighborhood Association(s): Campbell Village Neighborhood Assoc.
File No.: PLN-2022-12
APN: 414-01-008
Applicant: Rabbit Design
Property Owner: Nikky Chau
Application Type: Administrative Site and Architectural Review Permit
Project Description: Proposed 825 square-foot addition and exterior remodel to an existing single-family residence.



This project will be decided by the Community Development Director, and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 25, 2022 and ends on April 4, 2022. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 PM on **April 4, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

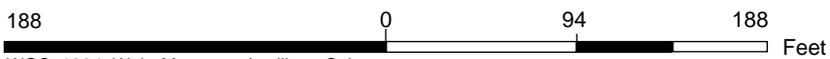
Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's website by scanning the QR code, below.

Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.





Location map 1093 Normandy Drive



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:1,128

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

SCOPE OF WORK

ONE STORY ADDITION WITH 826 S.F. NEW LIVING AREA:
 - DEMOLISH THE EXISTING SUNROOM IN THE BACKYARD AND ADD AN ADDITION AT THE BACK OF THE EXISTING HOUSE;
 - INTERIOR REMODELING OF THE LIVING ROOM, KITCHEN, HALF BATHROOM AND TWO BEDROOMS;
 - ADD A NEW FRONT PORCH.

EXISTING PHOTO



FRONT



BACK

NIKKY AND MIMI HOME RENOVATION

APN: 414-02-009

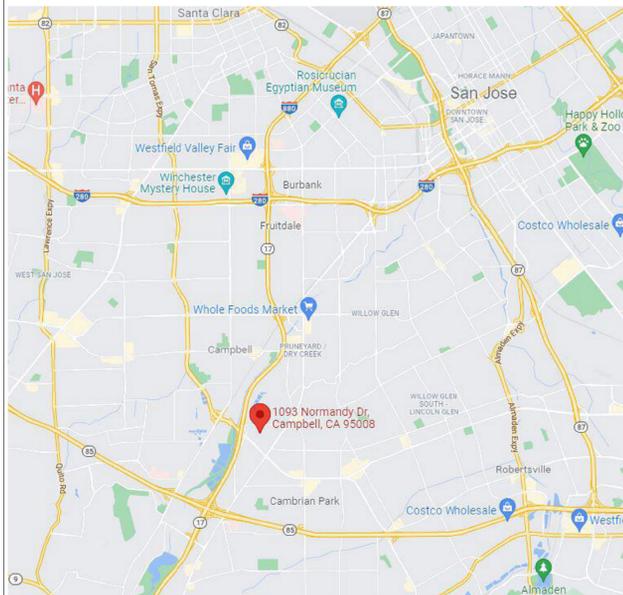


NIKKY AND MIMI HOME RENOVATION

Schematic Design

1093 Normandy Dr,
Campbell, CA 95008

VICINITY MAP



PROJECT DATA

LOT AREA: 9132 SF
 CONSTRUCTION TYPE: VB
 OCCUPANCY GROUP: R-3
 ZONING: R-1-8
 NO EXISTING FIRE SPRINKLER

EXISTING	PROPOSED
3 BEDROOMS + 2 BATHROOMS	3 BEDROOMS + 2.5 BATHROOMS
LIVING AREA = 1491 S.F.	LIVING AREA = 2317 S.F.
GARAGE AREA = 414 S.F.	GARAGE AREA = 346 S.F.
FRONT PORCH AREA = 36 S.F.	FRONT PORCH AREA = 30 S.F.
BACK COVERED PATIO AREA = 310 S.F.	BACK COVERED PATIO AREA = 310 S.F.
SUNROOM AREA = 230 S.F.	
FLOOR AREA = LIVING AREA + SUNROOM AREA + GARAGE AREA = 1491+414 + 230 = 2135 S.F.	FLOOR AREA = LIVING AREA + GARAGE AREA = 2317+346 = 2663 S.F.
FAR = 2135/9132 = 0.23	FAR = 2663/9132 = 0.29
LOT COVERAGE = (LIVING AREA + GARAGE + FRONT PORCH + SUNROOM + BACK PATIO)/LOT AREA = (1491+414+36+230+310)/9132 = 27%	LOT COVERAGE = (LIVING AREA + GARAGE + FRONT PORCH + BACK COVERED PATIO)/LOT AREA = (2317 +346+30+310)/9132 = 33%

SHEET INDEX

A0.1	COVER
A1.0	SITE PLAN
A1.1	FLOOR PLAN
A2.0	PROPOSED ELEVATION
A2.1	EXISTING ELEVATION

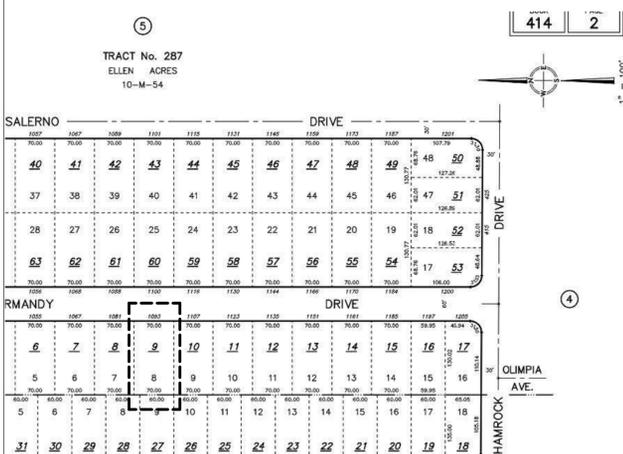
APPLICABLE CODES

2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA GREEN CODE
 2019 CALIFORNIA ENERGY CODE

GENERAL NOTES

1. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8, SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENT APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.
2. BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE WHICH INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINARIES.
3. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS.
4. DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION.
5. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.
6. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS AT THE TIME OR ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT. CGBSC SECTION 4.504.1
7. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.
8. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDING MUST BE PROVIDED TO THE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS, RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS REFERRED TO THE LOCAL JURISDICTION. RELATED TABLE IS REFERENCED TO AFFIX SHEET.
9. PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT.
10. FOR ALL REMODELS, INSULATION MEETING THE MANDATORY FEATURE REQUIREMENTS IN THE CALIFORNIA ENERGY CODE SHALL BE INSTALLED AT CEILINGS, WALLS, FLOORS AND WATER PIPES, WHEN THESE AREAS ARE EXPOSED DURING REMODELING.
11. NEW APPLIANCES INSTALLED AS PART OF ANY REMODEL, ADDITION OR NEW CONSTRUCTION SHALL BE ENERGY STAR APPLIANCES.
12. WHEN >40 FEET OF NEW OR REPLACEMENT SPACE-CONDITIONING DUCT SYSTEM DUCTS ARE INSTALLED, THE DUCTS SHALL BE INSULATED, SEALED AND FIELD TESTED. DUCTS SHALL BE INSULATED WITH A MINIMUM OF R6 IN UNCONDITIONED SPACE AND A MINIMUM OF R4.2 IN CONDITIONED SPACE. CENC 150.2(B)1D, 150.2(B)1E, 150.0(M)
15. 80% FLOOR AREA RECEIVING RESILIENT FLOORING MEET VOC-EMISSION LIMITS PER CHPS
16. PARTICLE BOARD, MDF, HARDWOOD PLYWOOD COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

ASSESSOR MAP

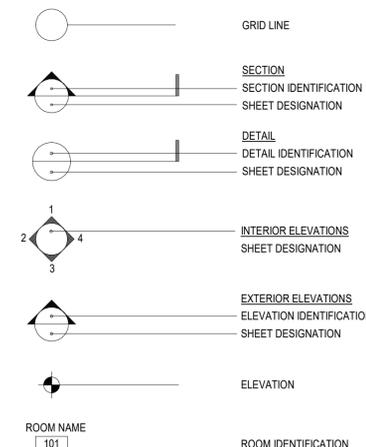


PROJECT CONTACTS

OWNER:
 NIKKY CHAU
 1093 NORMANDY DR,
 CAMPBELL, CA 95008
 PHONE: 408-250-8441
 EMAIL: NCHAU@SERVICETITAN.COM

ARCHITECT:
 XINXIN NONG
 RABBIT DESIGN
 811 WEAVER LANE
 CONCORD, CA 94518
 PHONE: (510)590-0578
 EMAIL: PIKE@RABBITDESIGN.COM

REFERENCE SYMBOL



No.	Revision	Date
1	Planning Submittal	1/24/2022



COVER

Date 11/1/2021

Checked by

A0.1

Scale 12" = 1'-0"



NIKKY AND MIMI HOME RENOVATION

Schematic Design

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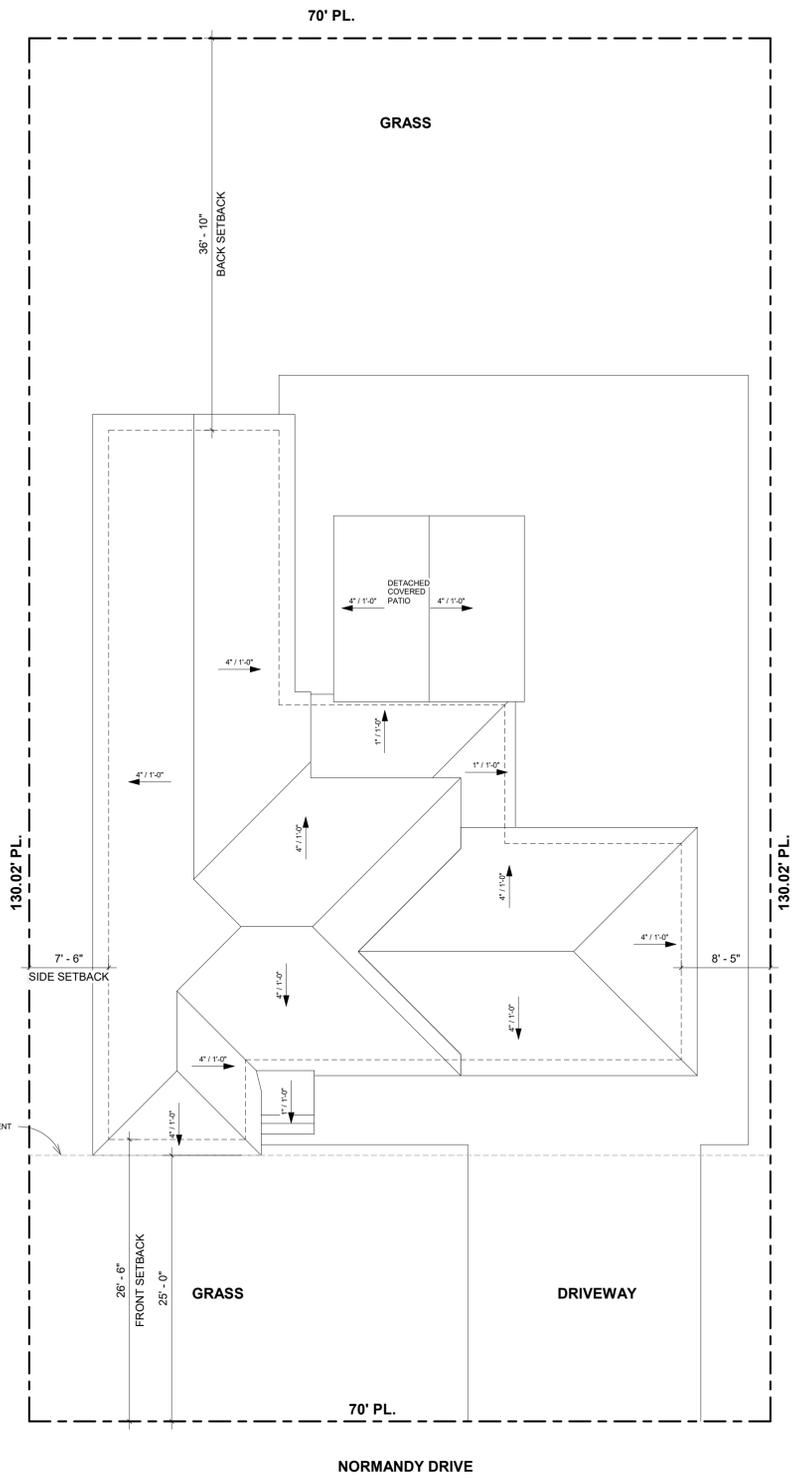
SITE PLAN

Date 11/1/2021

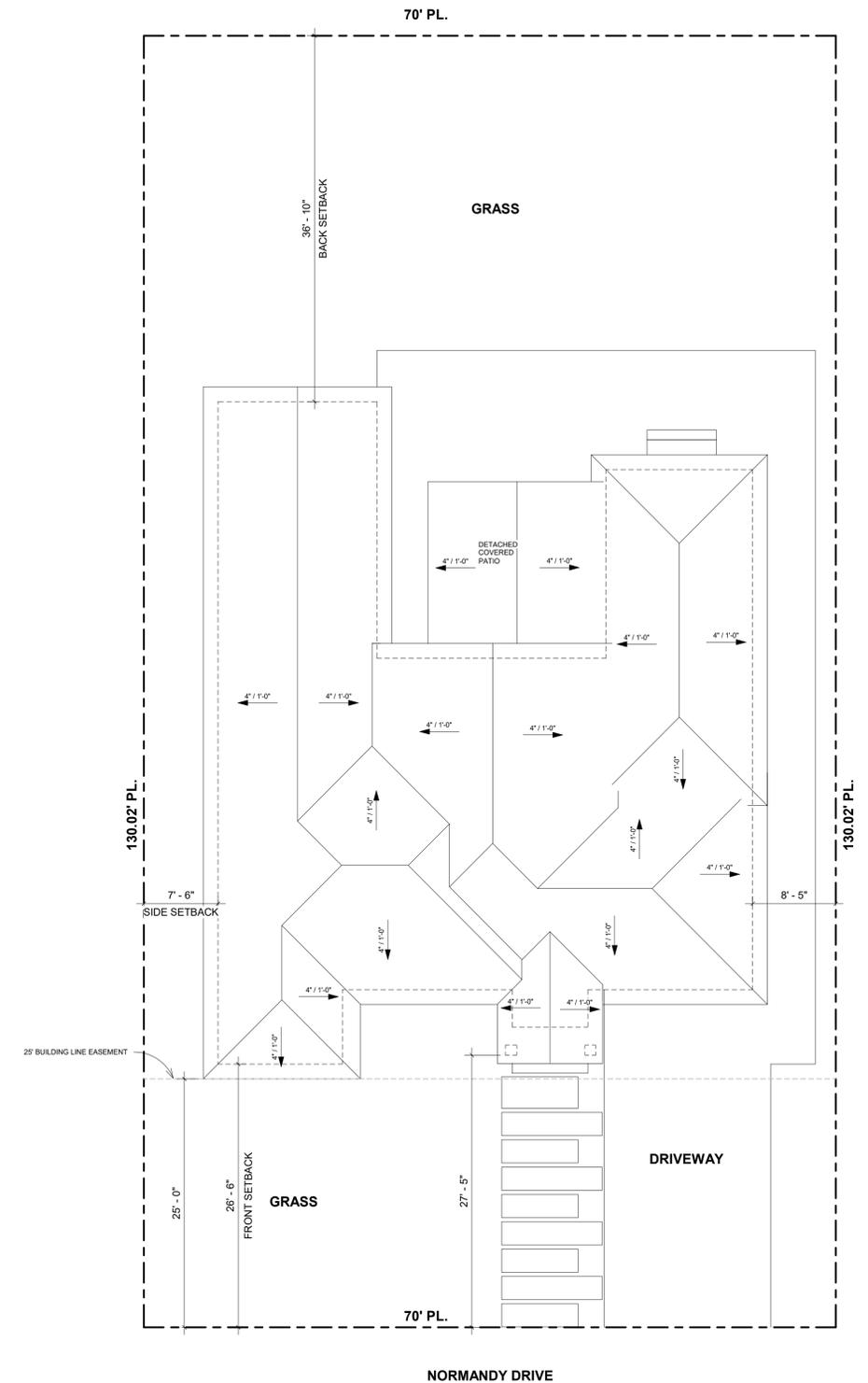
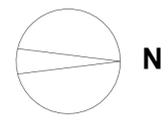
Checked by

A1.0

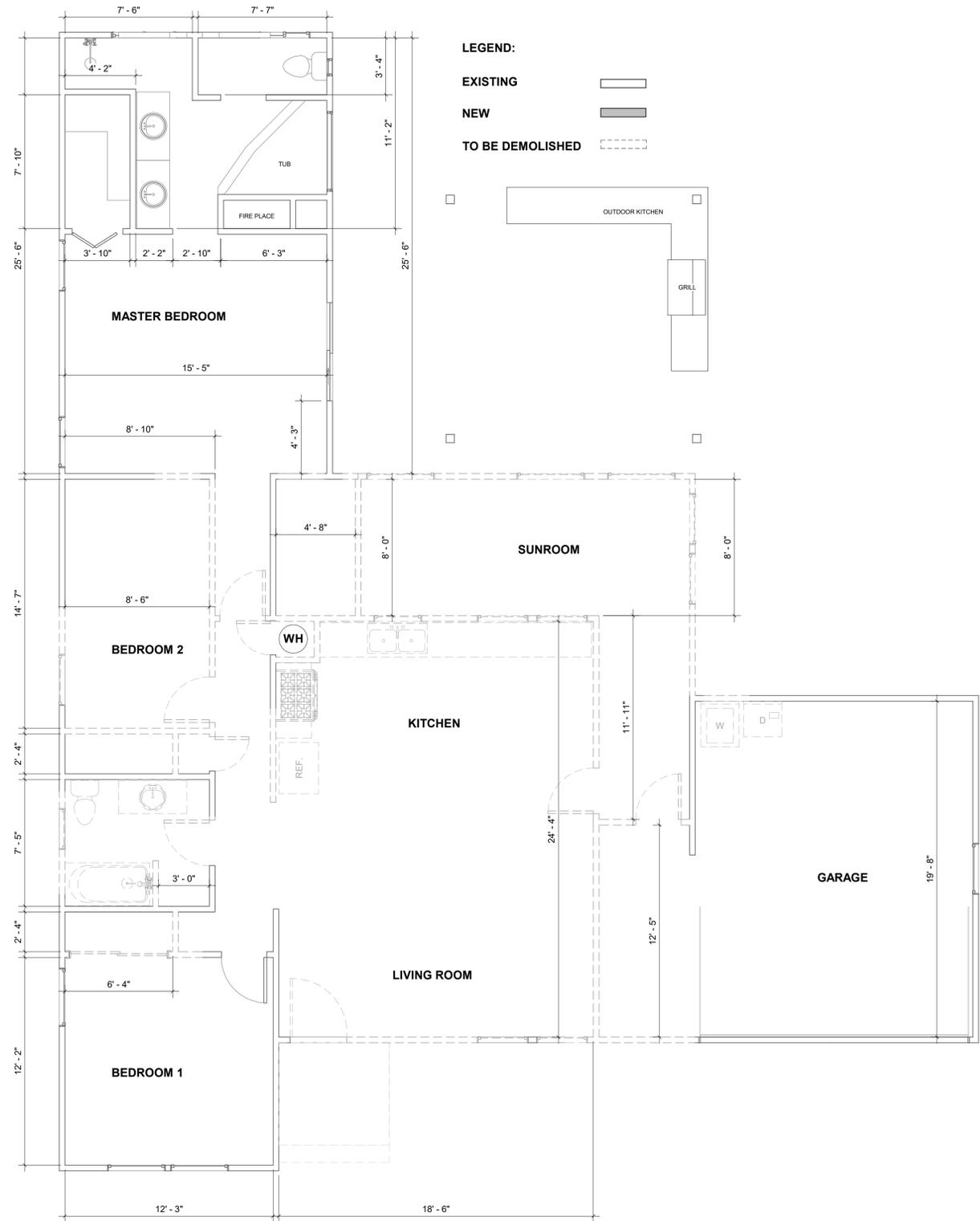
Scale 1/8" = 1'-0"



2 EXISTING SITE PLAN
1/8" = 1'-0"



1 PROPOSED SITE PLAN
1/8" = 1'-0"



2 EXISTING FLOOR PLAN
1/4" = 1'-0"

1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

LIVING AREA ADDITION = 826 S.F.



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FLOOR PLAN

Date 11/1/2021

Checked by

A1.1

Scale 1/4" = 1'-0"



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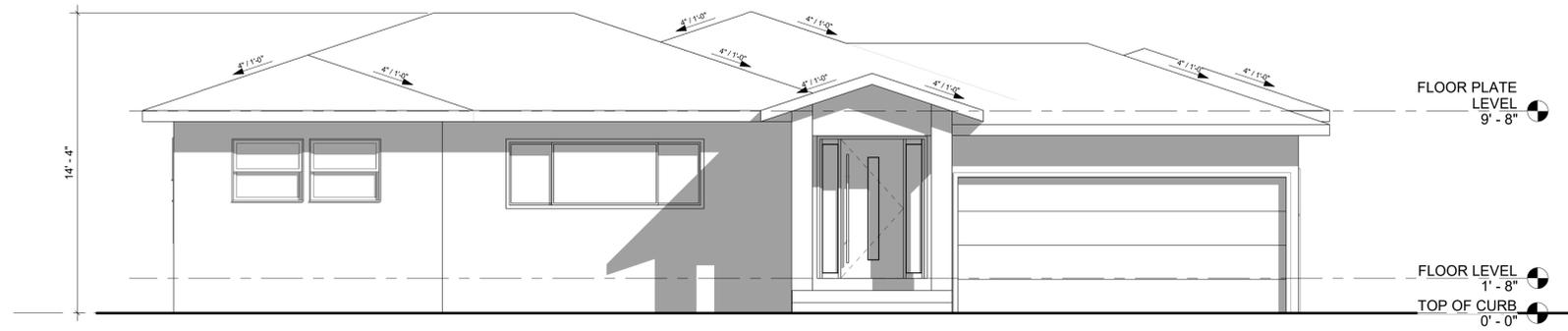
PROPOSED ELEVATION

Date 11/1/2021

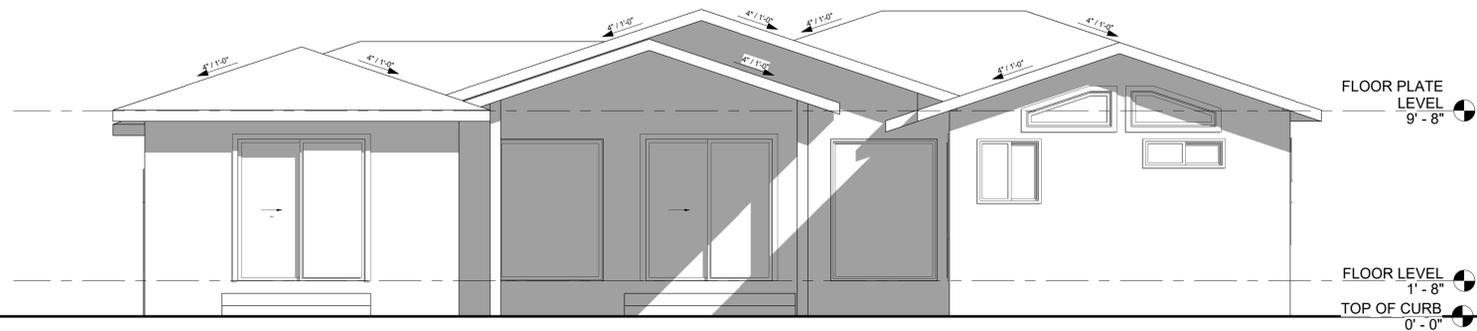
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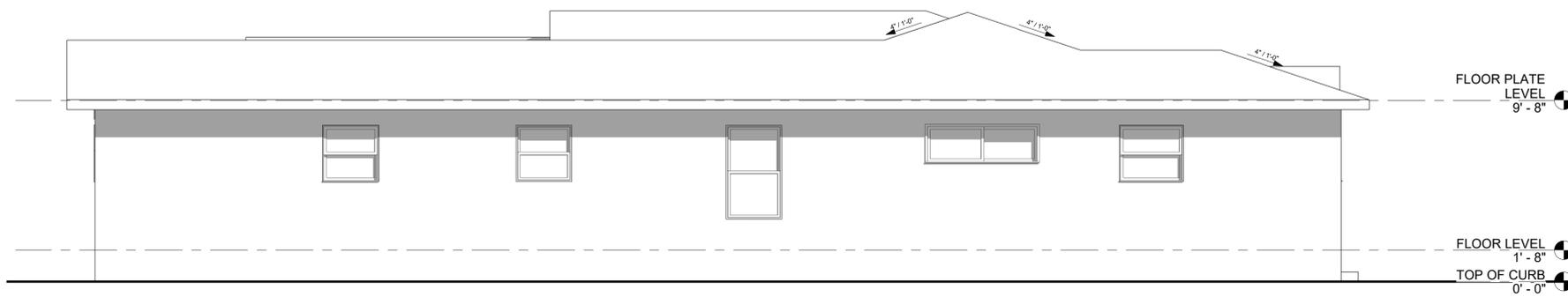
Scale 1/4" = 1'-0"



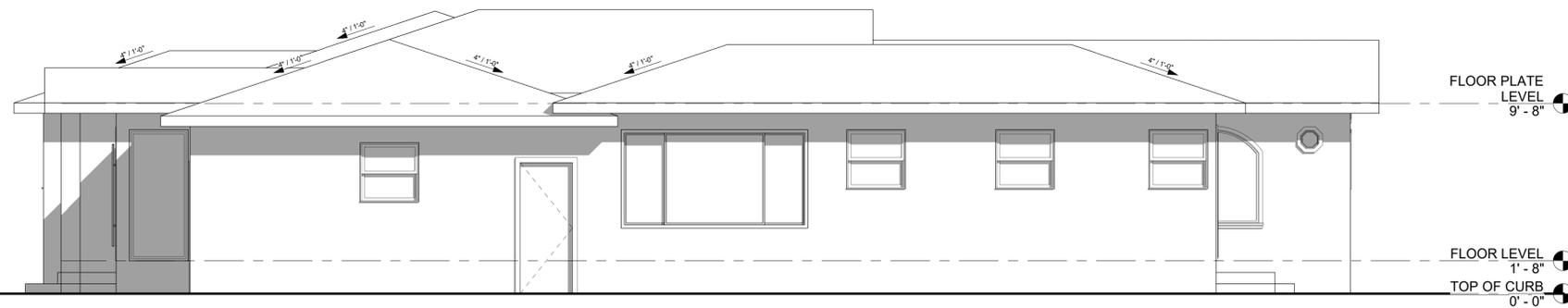
① PROPOSED FRONT ELEVATION
1/4" = 1'-0"



② PROPOSED BACK ELEVATION
1/4" = 1'-0"



③ PROPOSED LEFT ELEVATION
1/4" = 1'-0"



④ PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



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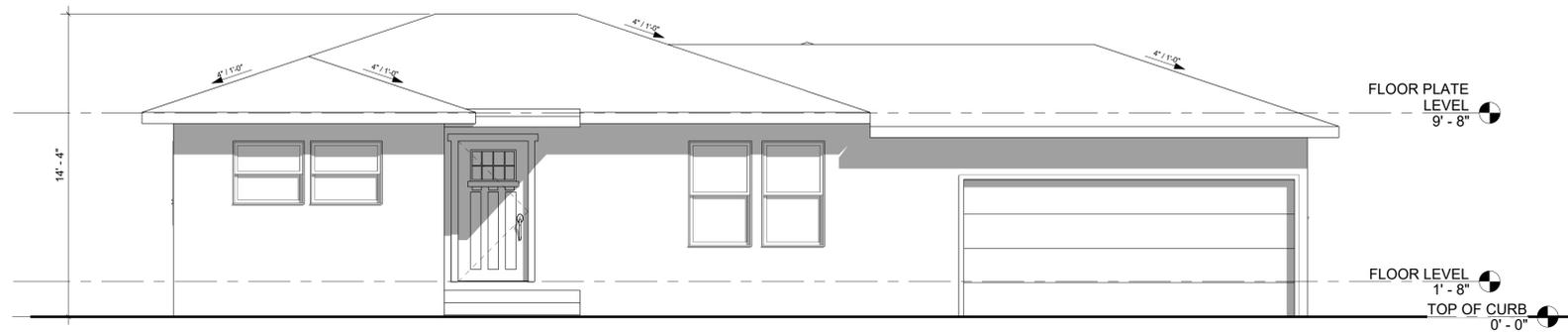
EXISTING ELEVATION

Date 11/1/2021

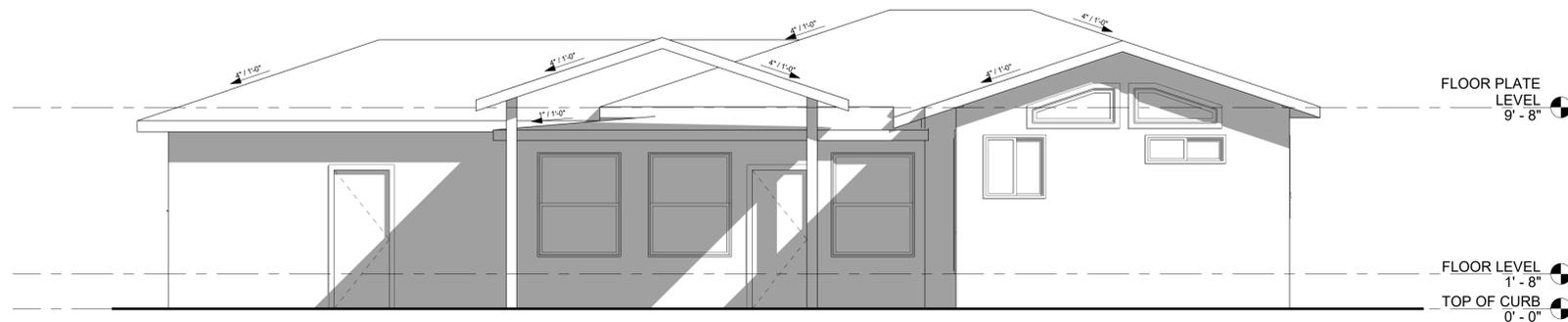
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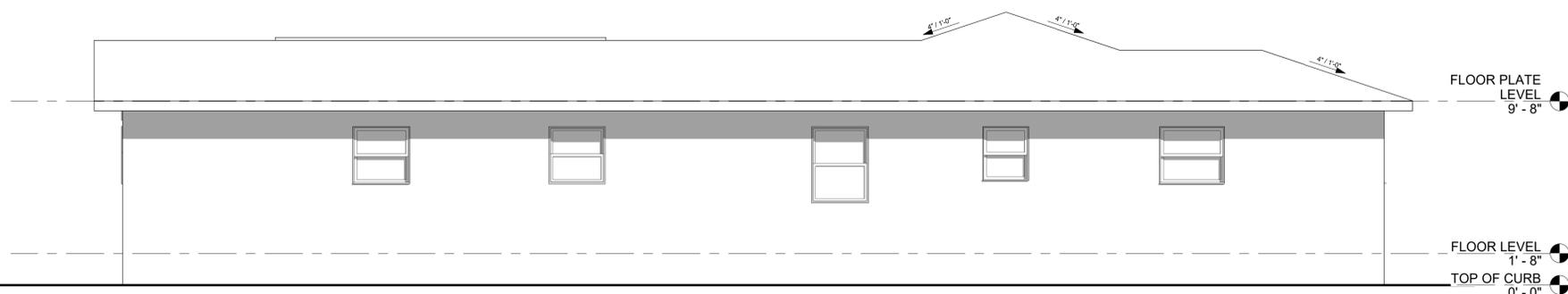
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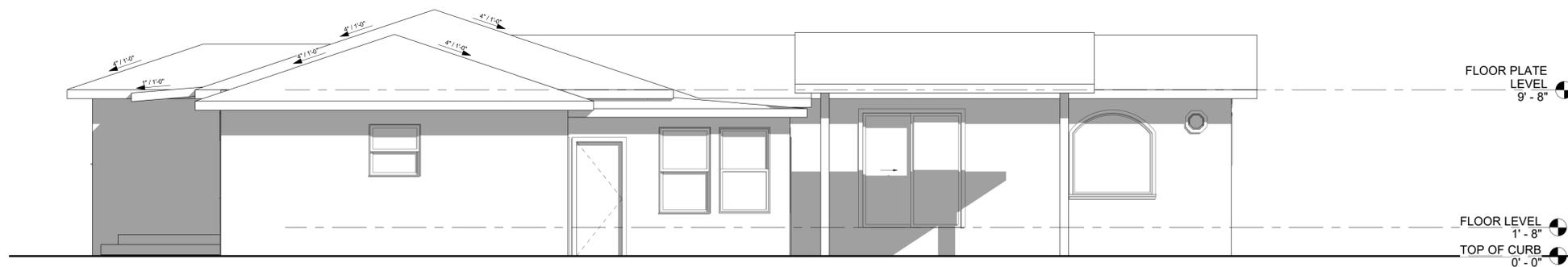
① EXISTING FRONT ELEVATION
1/4" = 1'-0"



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