



CITY OF CAMPBELL
Community Development Department

March 25, 2022

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 1361 Peggy Ave.

Zoning | Area Plan: R-1-10 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2021-216

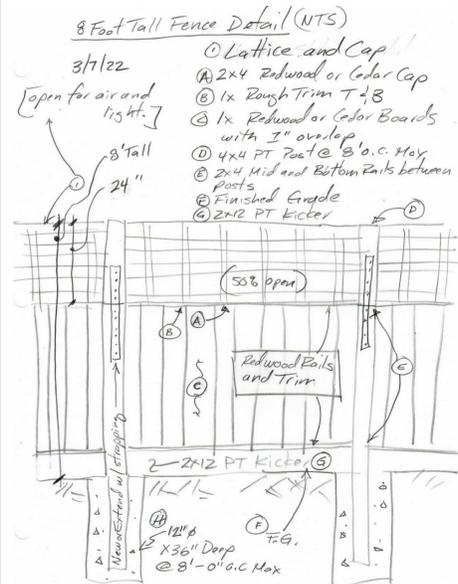
APN: 406-16-060

Applicant: Thomas Yates

Property Owner: Thomas Yates

Application Type: Fence Exception

Project Description: Request for installation of an 8-foot tall wood fence (6-ft board, 2-ft lattice) along a portion of the southerly property line, to be replace an existing unpermitted screen.



This project will be decided by the Community Development Director, and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 25, 2022 and ends on April 4, 2022. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 PM on **April 4, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

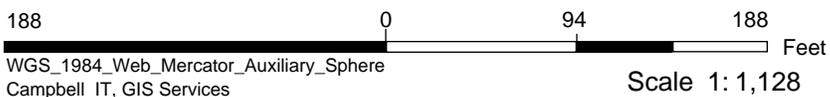
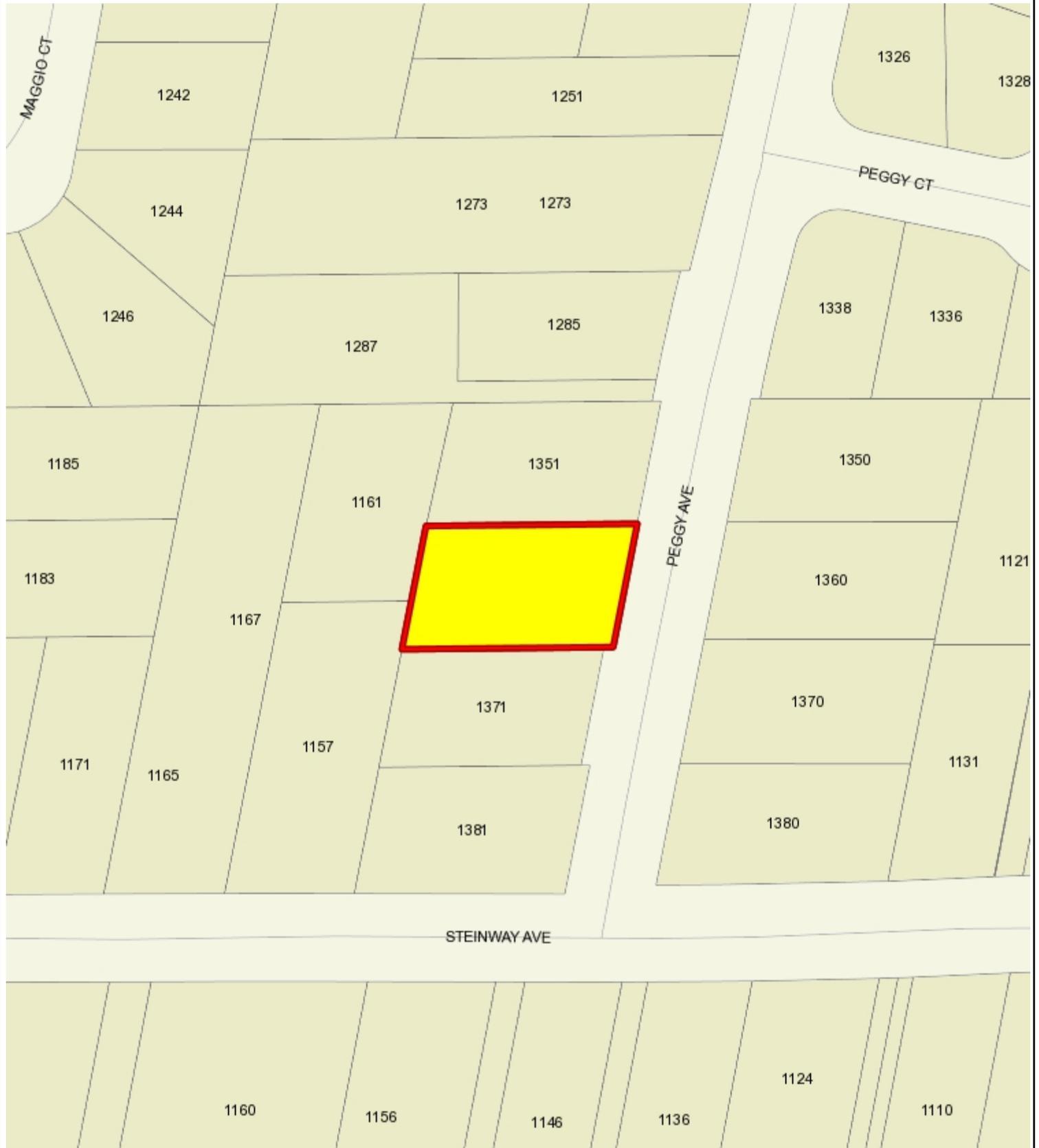
Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's website by scanning the QR code, below.

Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.

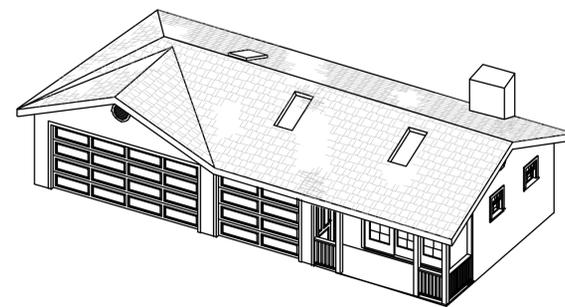
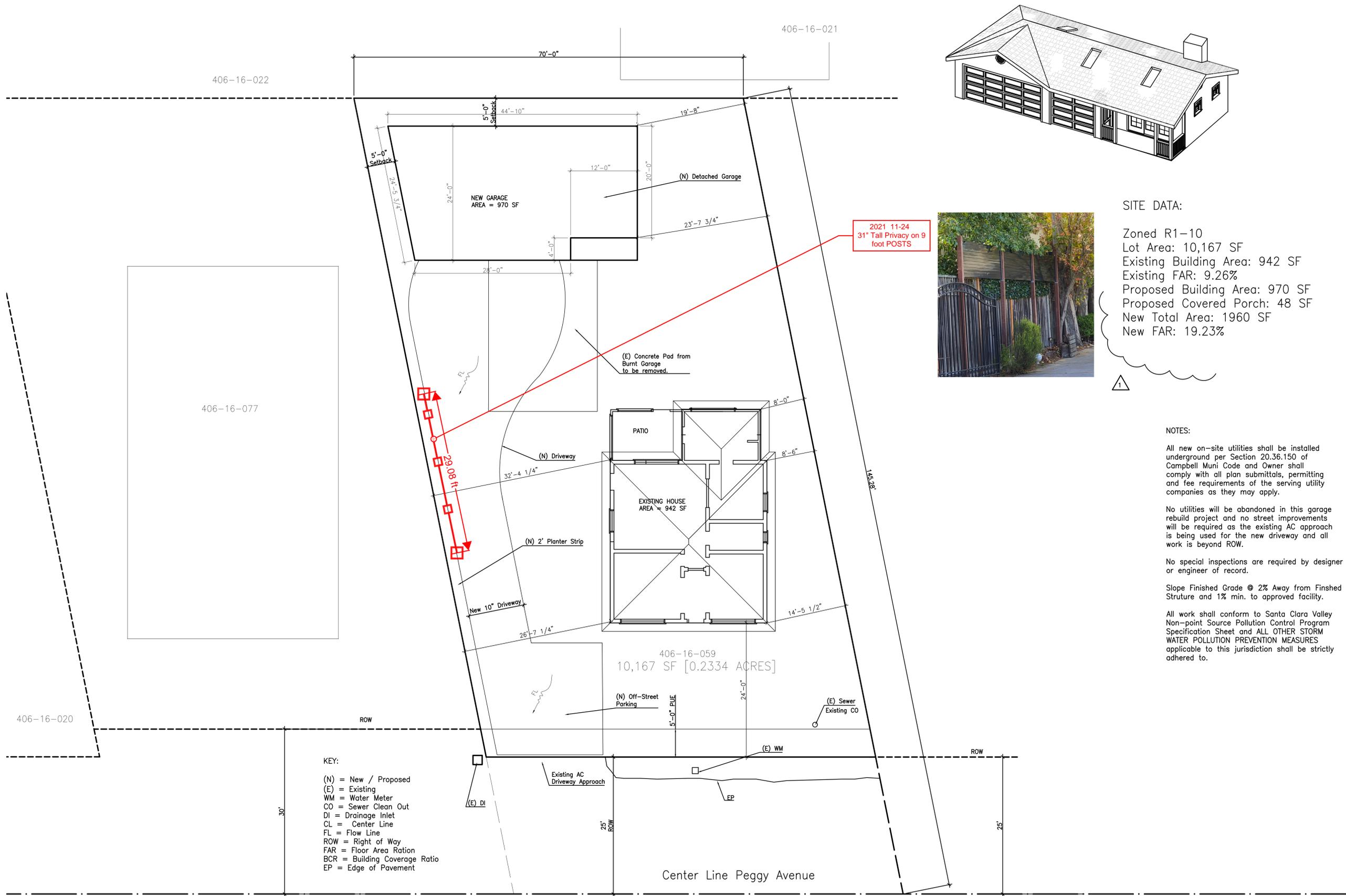




Location Map 1361 Peggy Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



2021 11-24
31" Tall Privacy on 9
foot POSTS

SITE DATA:
 Zoned R1-10
 Lot Area: 10,167 SF
 Existing Building Area: 942 SF
 Existing FAR: 9.26%
 Proposed Building Area: 970 SF
 Proposed Covered Porch: 48 SF
 New Total Area: 1960 SF
 New FAR: 19.23%

NOTES:
 All new on-site utilities shall be installed underground per Section 20.36.150 of Campbell Muni Code and Owner shall comply with all plan submittals, permitting and fee requirements of the serving utility companies as they may apply.
 No utilities will be abandoned in this garage rebuild project and no street improvements will be required as the existing AC approach is being used for the new driveway and all work is beyond ROW.
 No special inspections are required by designer or engineer of record.
 Slope Finished Grade @ 2% Away from Finished Structure and 1% min. to approved facility.
 All work shall conform to Santa Clara Valley Non-point Source Pollution Control Program Specification Sheet and ALL OTHER STORM WATER POLLUTION PREVENTION MEASURES applicable to this jurisdiction shall be strictly adhered to.

KEY:
 (N) = New / Proposed
 (E) = Existing
 WM = Water Meter
 CO = Sewer Clean Out
 DI = Drainage Inlet
 CL = Center Line
 FL = Flow Line
 ROW = Right of Way
 FAR = Floor Area Ration
 BCR = Building Coverage Ratio
 EP = Edge of Pavement



Thomas J. Yates
 Site Plan
 1361 Peggy Avenue
 Campbell, California 95008
 Replacement of Burnt Down Garage

Date: September 20, 2000

Revisions	
No.	Description
0	11.29.00 House Location
0	01.15.01 Detached Garage
0	06.20.01 Owner Changes
1	07.27.01 City Planning Comments by Stephanie Wilsey (7/25/01)
2	11.03.01 Simplified Framing o/ Rec
3	12.16.02 Elimination on Utilities
4	04.02.03 Siding Clarification

Project Number: 1508-00 Drawn By: AHY
 Designed By: TJY Scale: 1/8" = 1'-0"
 Sheet Title: Site Plan
 Sheet Number: A1