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**City of Campbell**  
**Community Development Department**

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of Campbell has set the hour of 7:30 p.m., or shortly thereafter, on **Tuesday, May 24, 2022** in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the request of Brad Cox, Architect, Inc. to allow relocation of an existing office building (converted Folk-Victorian residence) from **1940 Hamilton Avenue to 1980 Hamilton Avenue** for use as an administrative office for the First Congregational Church of San Jose and removal of four protected trees. The applications under consideration include a Conditional Use Permit and a Tree Removal Permit. File No.: PLN-2021-33. Staff is recommending that this item be deemed Categorically Exempt under CEQA. Planning Commission action is final unless appealed in writing to the City Clerk within 10 calendar days.

This public hearing will be conducted in person as well as telecommunication and is compliant with provisions of the Brown Act.

Interested persons may appear and be heard in person or virtually at this hearing. Register to participate virtually in the Zoom City Council meeting at: <https://campbellca.gov/PCSignup>. This meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>.)

Please be advised that if you challenge the nature of the above in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the Planning Division at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the Community Development Department at 70 N. First Street, Campbell, CA 95008, (408) 866-2140 or [planning@campbellca.gov](mailto:planning@campbellca.gov) at least one week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

For more information you can contact the Community Development Department at (408) 866-2140 or [planning@campbellca.gov](mailto:planning@campbellca.gov).

PLANNING COMMISSION  
CITY OF CAMPBELL  
ROB EASTWOOD  
SECRETARY

PLEASE NOTE: When calling on this notice, please refer to **1980 Hamilton Ave.**





## Proposal & Agreement

**To: Janet Texeira**  
**Company: TRC**  
**Property: Campbell Shopping Center**

**Date: 7/6/21**

**We propose to furnish all labor, equipment and materials to perform the following:**  
**Arborist Work**

- Cut flush to the ground (2) dead Pine trees.
- Leave stumps.
- Install (2) 24" box Maple trees to replace dead trees.
- Install tree stakes to support canopy of the tree.
- Water in trees after install is completed.

**\*Note parking spaces will need to be cleared before removals can take place\***

***Project Cost*.....\$ 4,060.00**

Thank you again for the opportunity to present our proposal to you. If you have any questions, please contact me at your earliest convenience.

Authorized Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Customer acknowledges that Terracare Associates is not responsible for events beyond its control. Services shall be payable in full upon receipt of invoice. Quote valid for 60 days.

Respectfully Submitted,  
Chris Hegler | Account Manager

Monarch Landscape Companies

Committed to Be the Best Place to Work as a Landscape Professional

921 Arnold Dr., Martinez, CA 94553

Direct : | Cell : 925-723 - 2650 | [chris.hegler@monarchlandscape.com](mailto:chris.hegler@monarchlandscape.com)





Brad Cox  
Architect  
Inc

FORMATION

Brad Cox, Architect, Inc.  
LEED AP, AIA  
(408) 838-3667  
1155 MERIDIAN AVENUE, SUITE #208  
SAN JOSE, CA 95125



*Brad Cox*

**CHURCH OFFICE RELOCATION**

USE PERMIT MODIFICATION

1980 HAMILTON AVE. SAN JOSE, CA 95125

IF THIS DRAWING IS NOT 24" x 36", THEN ITS SIZE HAS BEEN ALTERED, WHICH WILL AFFECT THE SCALE OF THE DRAWINGS. DO NOT SCALE DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
NO.	DATE	DESCRIPTION

10/20/21  
DATE

SITE PHOTOS

A-0.5  
SHEET

THIS DRAWING AND THE INFORMATION ENCLOSED HEREIN IS THE PROPERTY OF THE ARCHITECT, BRAD COX, ARCHITECT, INC. 2021



**A** VIEW OF EXISTING HOUSE PROPOSED TO BE RELOCATED



**B** VIEW FROM COURTYARD SIDEWALK AND EXISTING TREES TO BE REMOVED.



**C** VIEW FROM COURTYARD SIDEWALK.



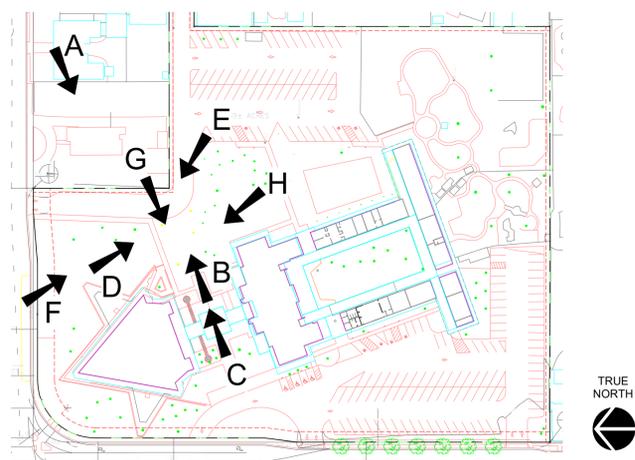
**D** VIEW OF PROPOSED SITE AND CORNER OF CHURCH BUILDING



**E** VIEW OF CHURCH FROM REAR PARKING LOT.



**F** VIEW FROM STREET - DRIVEWAY AND CORNER OF CHURCH BUILDING



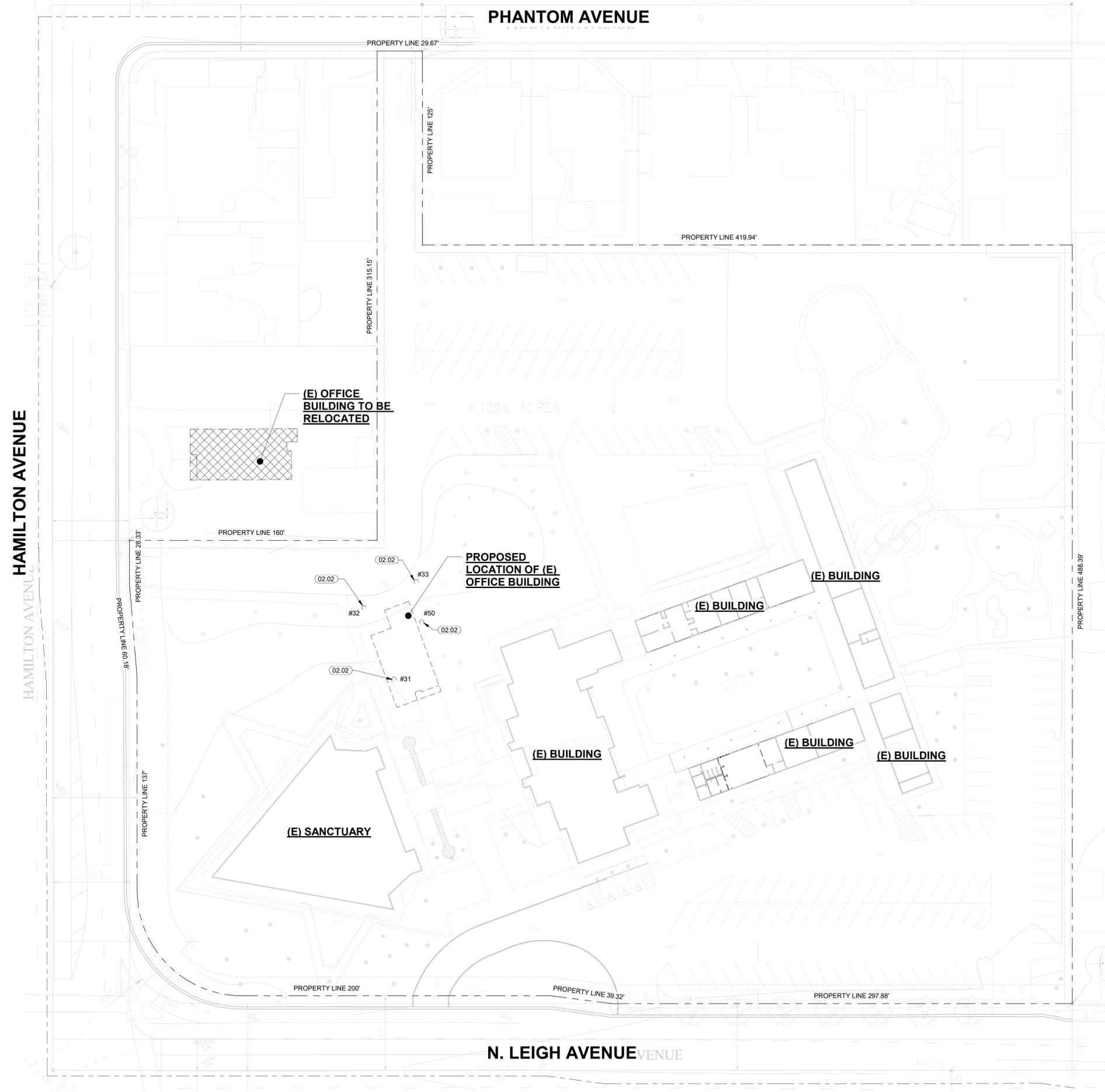
③ PHOTO LOCATIONS  
1" = 100'-0"



**G** VIEW OF COURTYARD FROM THE NORTHEAST.



**H** VIEW OF PROPOSED SITE FROM THE SOUTHEAST.



NO.	KEYNOTES	NOTE
02.02	(E) TREE TO BE REMOVED.	

**Brad Cox**  
**Architect**  
 Inc

FORMATION

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 LEED AP, AIA  
 (408) 838-3667  
 1155 MERIDIAN AVENUE, SUITE #208  
 SAN JOSE, CA 95125



**CHURCH OFFICE RELOCATION**  
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REVISIONS		
NO.	DATE	DESCRIPTION

10/20/21  
 DATE

SITE PLAN  
 DEMOLITION

**A-1.0**  
 SHEET

1 SITE PLAN DEMOLITION  
 1/32" = 1'-0"



Brad Cox  
Architect  
Inc

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*Brad Cox*

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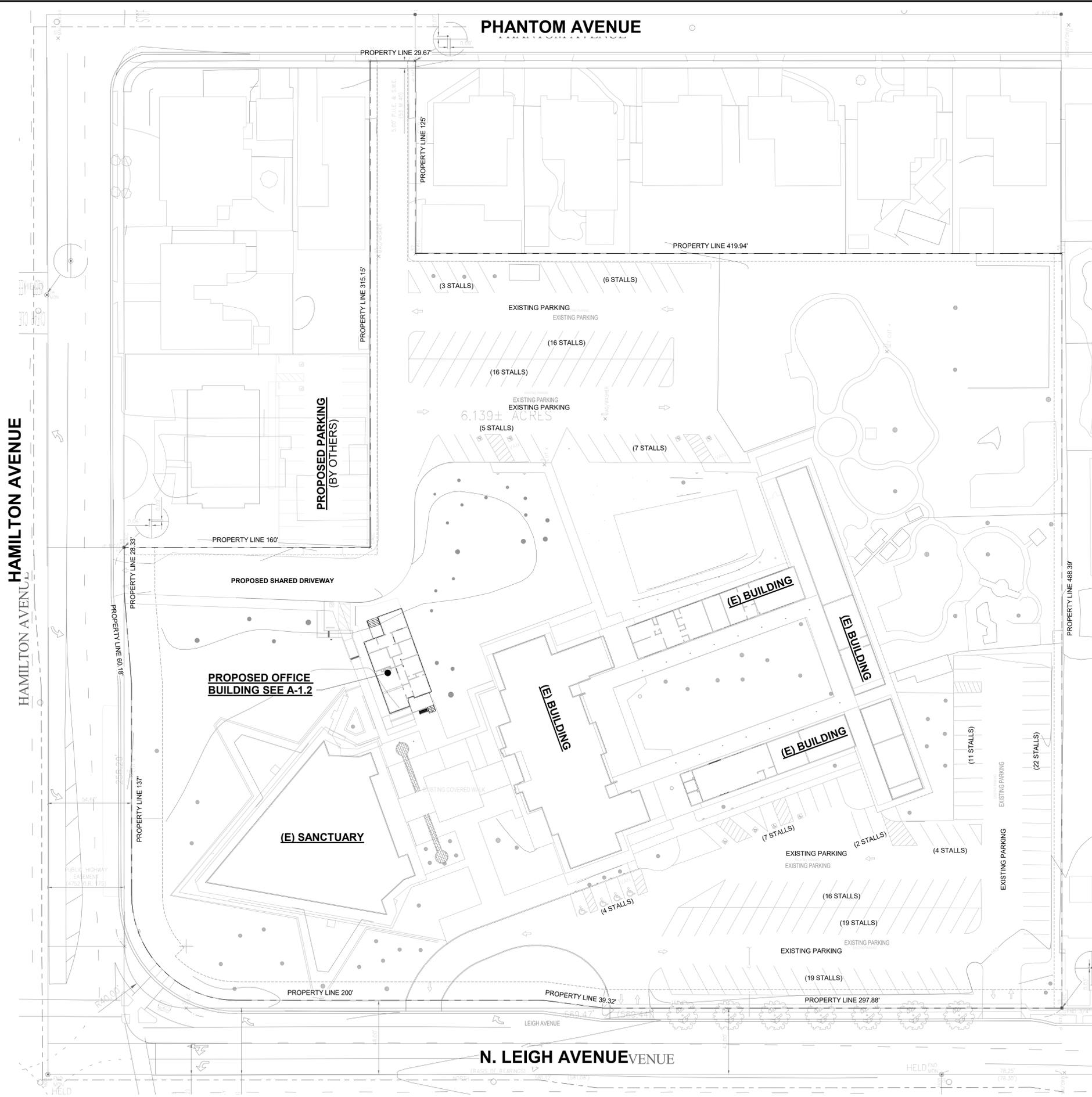
REVISIONS		
NO.	DATE	DESCRIPTION

10/20/21  
DATE

SITE PLAN

A-1.1  
SHEET

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1 SITE PLAN  
1/32" = 1'-0"



**Brad Cox  
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*Brad Cox*

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REVISIONS		
NO.	DATE	DESCRIPTION
1	10/20/21	PLN Comments

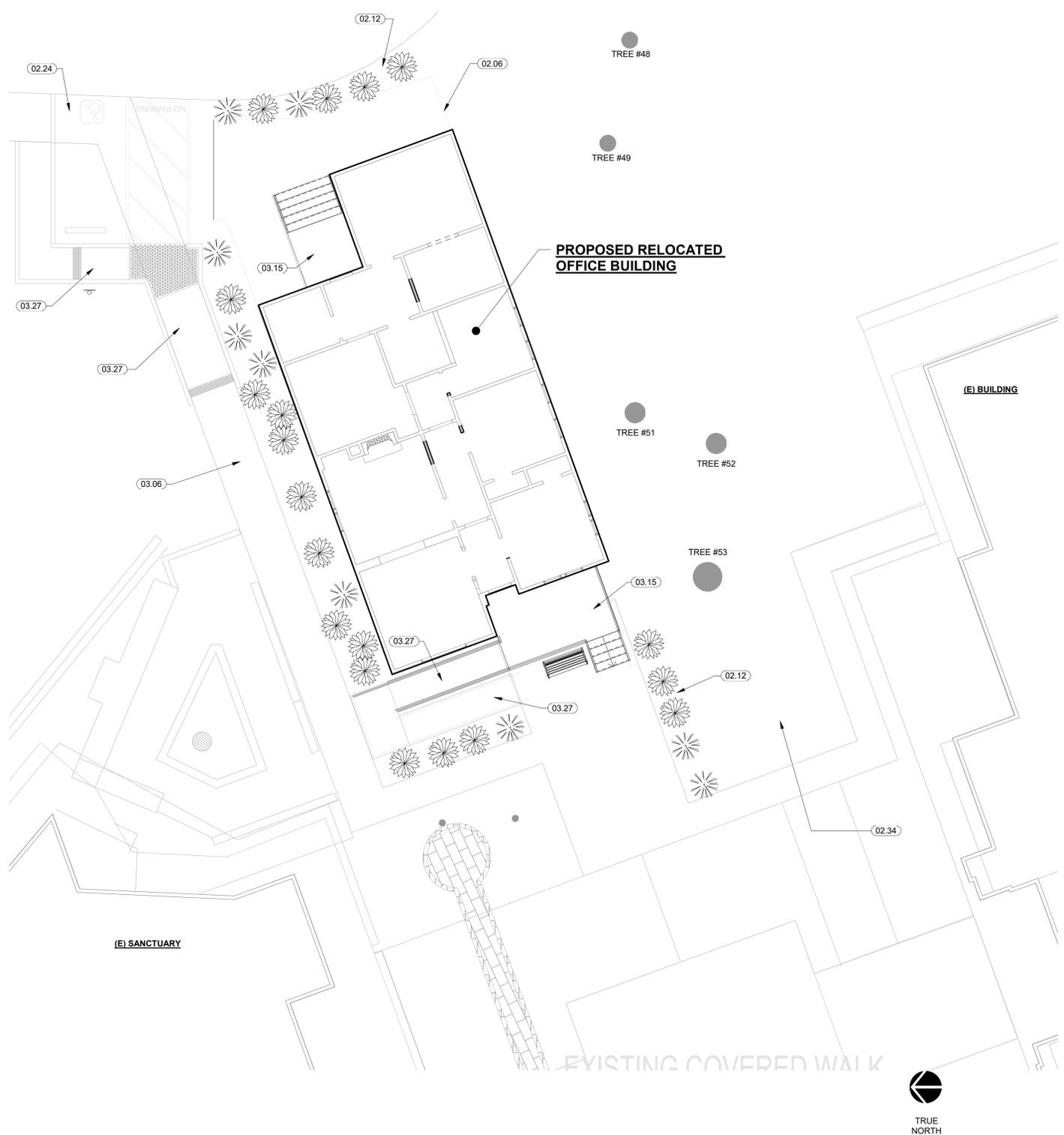
10/20/21  
DATE

ENLARGED  
SITE PLAN

**A-1.2**  
SHEET

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NO.	KEYNOTES	NOTE
02.06	FENCE.	
02.12	LANDSCAPING.	
02.24	ACCESSIBLE PARKING STALL.	
02.34	GRASS LAWN.	
03.06	CONCRETE SIDEWALK.	
03.15	CONCRETE LANDING.	
03.27	CONCRETE RAMP.	



1 SITE PLAN - ENLARGED  
1/8" = 1'-0"



**CHURCH OFFICE RELOCATION**  
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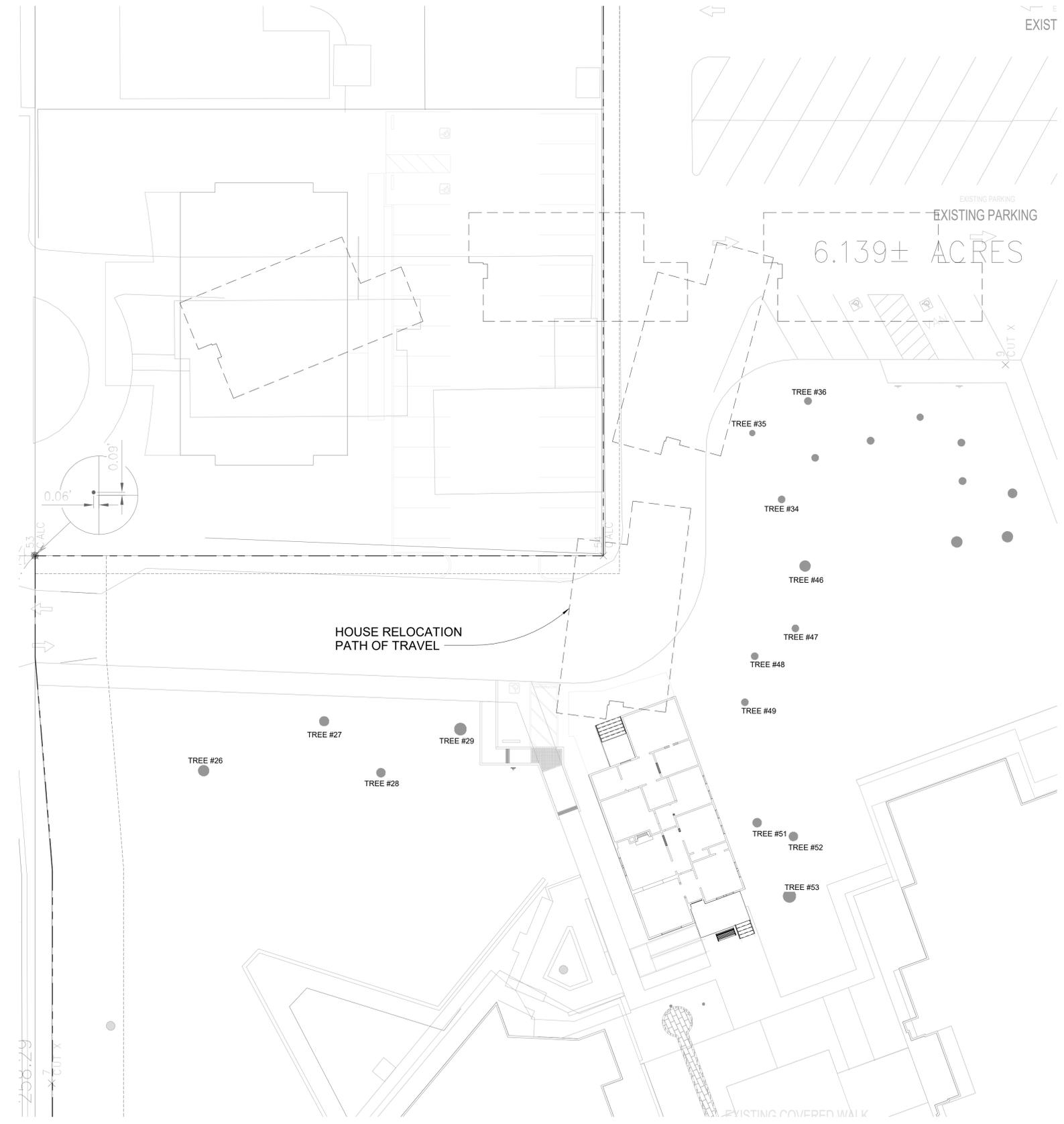
BUILDING  
RELOCATION  
PLAN

A-1.3  
SHEET

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KEYNOTES  
NO. NOTE

**BUILDING RELOCATION DESCRIPTION**  
THE BUILDING IS PROPOSED TO BE MOVED VIA THE REAR OF THE PROPERTY AT 1940 HAMILTON AVE., AND VIA THE EXISTING PARKING LOT AT 1980 HAMILTON AVE. THE EXISTING FENCES AND BUILDINGS AT 1940 WILL BE REMOVED, TO ALLOW THE PASSAGE OF THE BUILDING. THE BUILDING WILL BE TRANSPORTED OUT THROUGH THE BACK AND ONTO THE PARKING LOT AT 1980. ONCE AT 1980, THE BUILDING WILL TURN AND PROCEED TO THE NEW LOCATION VIA THE EXISTING PAVED ROAD THAT LEADS TO THE NEW SITE.



1 BUILDING RELOCATION PATH OF TRAVEL  
1/16" = 1'-0"

**Brad Cox  
Architect  
Inc**

FORMATION

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(408) 838-3667  
1155 MERIDIAN AVENUE, SUITE #208  
SAN JOSE, CA 95125

BRADLEY J. COX  
No. C-25753  
REN. 06-30-2023  
STATE OF CALIFORNIA

**CHURCH OFFICE RELOCATION**  
USE PERMIT MODIFICATION  
1980 HAMILTON AVE. SAN JOSE, CA 95125

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REVISIONS		
NO.	DATE	DESCRIPTION

KEYNOTES	
NO.	NOTE

10/20/21  
DATE  
CAMPUS  
FLOOR PLAN  
**A-3.1**  
SHEET

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1 FLOOR PLAN DEMOLITION  
1/16" = 1'-0"



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NO.	DATE	DESCRIPTION

10/20/21  
DATE

ENLARGED  
FLOOR PLAN

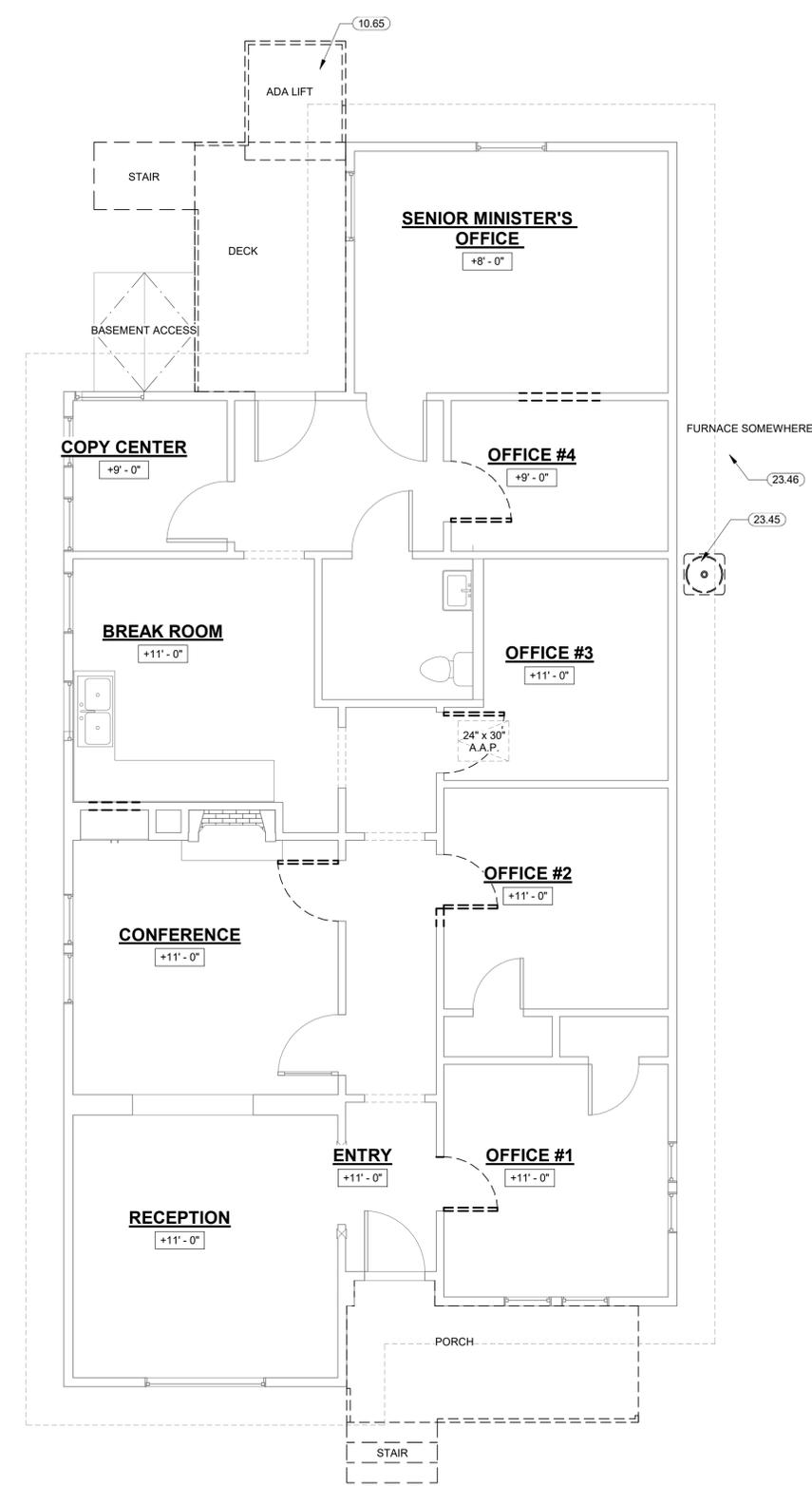
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SHEET

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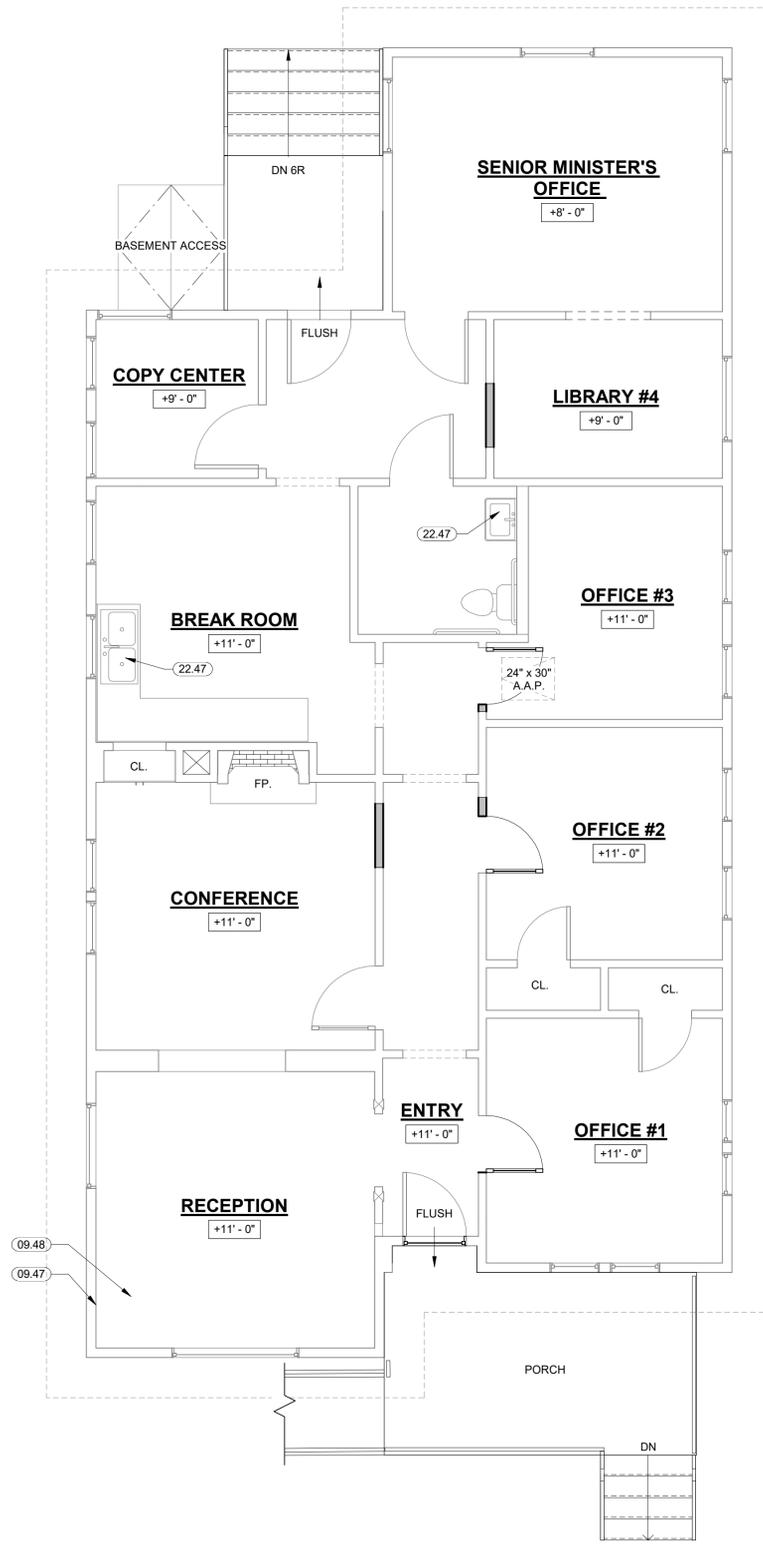
NO.	KEYNOTES	NOTE
09.47	PAINIT INTERIOR FINISH, TYPICAL.	
09.48	PATCH AND PAINT EXTERIOR FINISH, TYPICAL.	
10.65	(E) A.D.A. LIFT TO BE REMOVED.	
22.47	INSTANT HOT WATER HEATER UNDER SINK.	
23.45	(E) AIR CONDITIONING CONDENSER UNIT AND PAD TO BE RELOCATED.	
23.46	(E) DIRECT VENT FURNACE SYSTEM TO BE RELOCATED.	



③ OFFICE AREA DIAGRAM  
1/16" = 1'-0"



② First Floor (D) - New Office Building  
1/4" = 1'-0"



① FLOOR PLAN - NEW OFFICE BUILDING  
1/4" = 1'-0"

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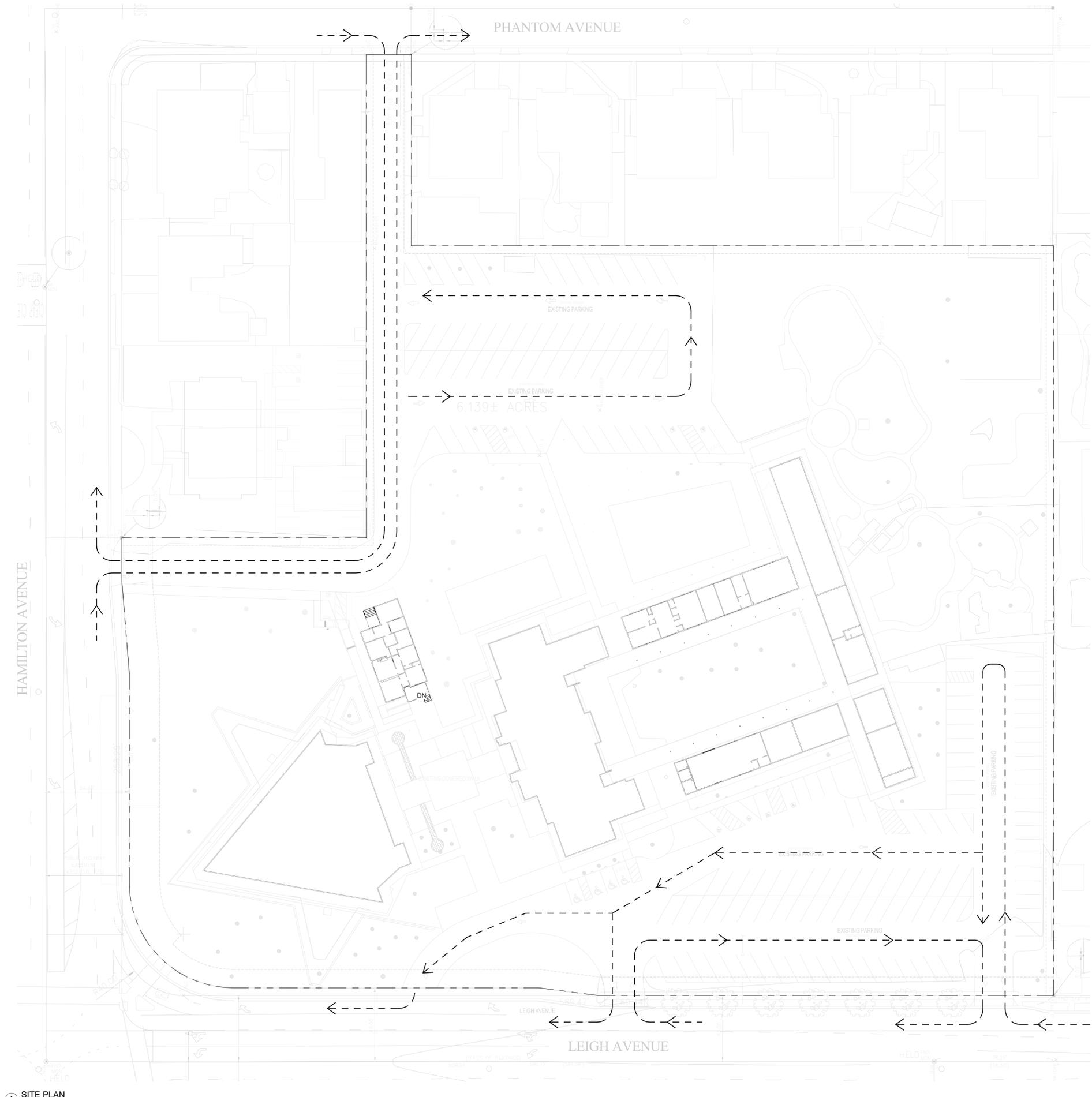
DATE

**FIRE TRUCK  
ACCESS**

**A-13.0**

SHEET

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BRAD COX, ARCHITECT, INC. 2021



**LEGEND**

- - - - - VEHICLE CIRCULATION PATH
- - - - -> DIRECTION OF TRAVEL

① SITE PLAN  
1/32" = 1'-0"



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REVISIONS table with columns: NO., DATE, DESCRIPTION. Row 1: 1, 10/20/21, PLN Comments

10/20/21  
DATE

TREE SURVEY & PROTECTION PLAN

A-14.0  
SHEET

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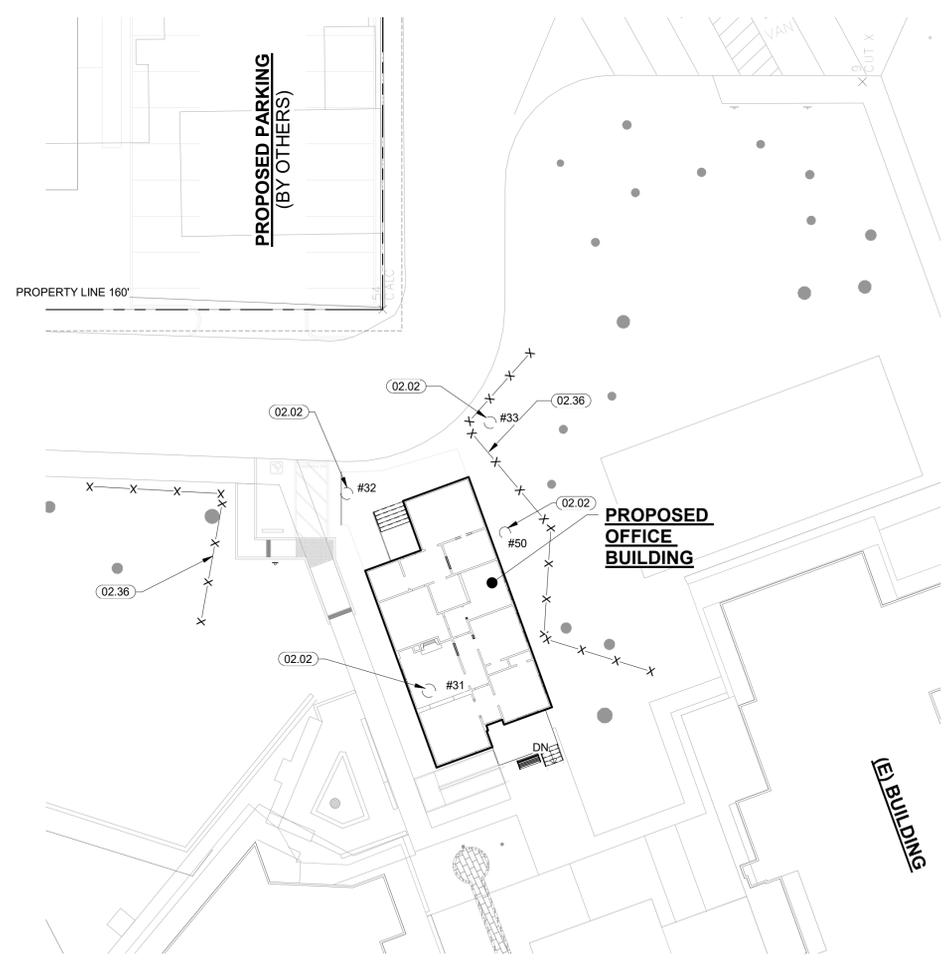
TREE INVENTORY

Table with columns: TREE #, YEAR PLANTED, DBH, COMMON NAME, SCIENTIFIC NAME, HEALTH, STABILITY, COMMENTS. Lists trees 1 through 49 with their respective details.

Table with columns: TREE #, YEAR PLANTED, DBH, COMMON NAME, SCIENTIFIC NAME, HEALTH, STABILITY, COMMENTS. Lists trees 50 through 107 with their respective details.

Table with columns: TREE #, YEAR PLANTED, DBH, COMMON NAME, SCIENTIFIC NAME, HEALTH, STABILITY, COMMENTS. Lists trees 108 through 128 with their respective details.

KEYNOTES  
NO. NOTE  
02.02 (E) TREE TO BE REMOVED.  
02.36 TREE PROTECTION FENCE.

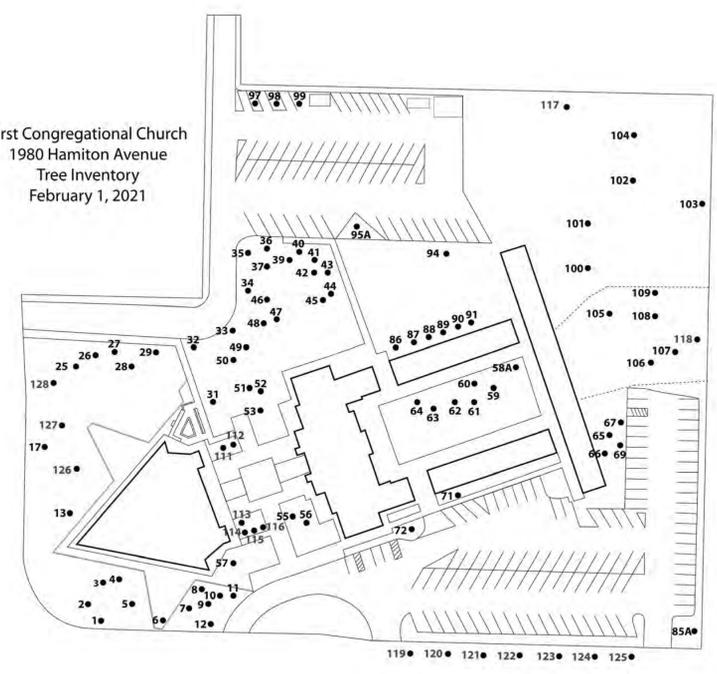


City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140

STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

- Construction of private property where protected trees are designated for preservation shall protected during development of a property by compliance with the following:
1. Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree.
2. The existing grade level around a tree shall normally be maintained out to the dripline of the tree.
3. Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree.
4. Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
5. Trees cannot be pruned to accommodate grading or construction without the express written approval of the City.
6. Soil compaction of the area under the dripline of the tree shall be avoided during all phases of site clearing and construction.
7. No soil sterilants or weed killer that will inhibit or restrict the tree's growth may be applied in the root area.
8. No signs, wires or any other object shall be attached to the tree.
9. Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
10. The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.

First Congregational Church  
1980 Hamilton Avenue  
Tree Inventory  
February 1, 2021



TREE LOCATION MAP

TREE PROTECTION PLAN  
1" = 20'-0"

